



TO: Mayor Brennan and Members of City Council  
FROM: Kelly M. Thomas, Clerk of Council  
DATE: August 11, 2023  
RE: Planning Commission Decision

At its regular meeting held on Thursday, August 3, 2023, the Planning Commission made the following motion to be approved by City Council.

- A. Application from Drees Homes for the Demolition of Existing House  
Located at 2519 Claver (Homeowner: Friedman, Matis Mark & Shifra)  
for new house build. (Tabled at the July 6, 2023 meeting)**

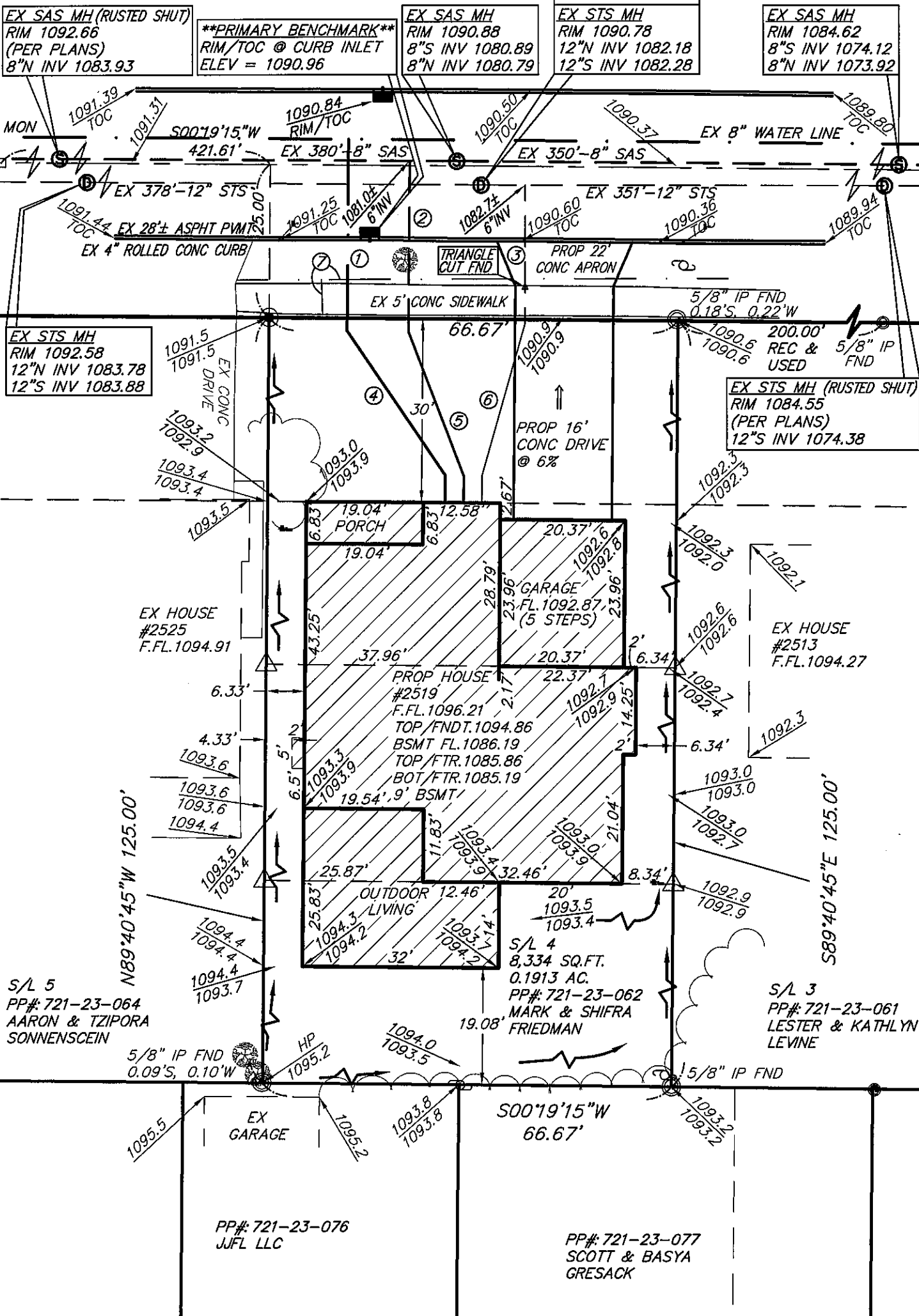
**MOTION BY MAYOR BRENNAN, SECONDED BY MR. CASEY to Recommend to City Council the approval of the Application from Drees Homes for the demolition of the existing home located at 2519 Claver Road and for the approval of the Site Plan for the construction of the new home as submitted contingent on the lot coverage variance. On roll call, all voted “aye,” except Mr. Reichel who “abstained”.**

CLAVER ROAD 50' R/W

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



**LEGEND**

- ☐ = MONUMENT BOX
- ⊙ = IRON PIN FND
- ⊙ = IRON PIN SET
- ⊙ = 5/8"X30" REBAR CAPPED "AZTECH 8249"
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊙ = POWER POLE
- ⊙ = CURB INLET
- ⊙ = LIGHT POLE
- ⊙ = TREE
- △ = OFFSET HUB
- ⌒ = TREE LINE
- = FLOW DIRECTION
- ⌒ = SWALE
- = EXISTING GRADE
- - - = PROPOSED GRADE

**ZONING:** U-1 ONE FAMILY RESIDENCE  
FRONT YARD: 30' SETBACK  
SIDE YARD: 12' TOTAL MIN  
REAR YARD: 25' MIN

**TYPE OF HOUSE: DOYL-133**  
PLAN #: BUCHANAN  
ELEVATION: V, 9' BSMT  
GARAGE: 2 CAR FRONT LEFT COVERED REAR PORCH W/ CONCRETE SLAB AS FOUNDATION & FP, 2' GAR EXTENSION, BSMT EGRESS WINDOW (2), DROP BRICK SIDES & REAR, REAR HOME EXTENSION & SIDE WIDTH EXTENSION, UNCOVERED EXTENDED REAR PORCH 32X14, FP, FULL BATH & 1/2 BATH & LAUNDRY IN BSMT, WET BAR IN BSMT, GAR SERVICE DOOR

\*\*\*ASSUMED LATERAL LOCATIONS. ALL LATERALS MUST BE FIELD LOCATED PRIOR TO CONSTRUCTION\*\*\*

- ① = EX WAT CONN
- ② = EX SAS LAT - 6" INV = 1081.0±
- ③ = EX STS LAT - 6" INV = 1082.7±
- ④ = PROP 1" TYPE 'K' COPPER WAT CONN
- ⑤ = PROP 6" PVC SDR 35 SAS CONN @ 1% MIN
- ⑥ = PROP 6" PVC SDR 35 STS CONN @ 1% MIN
- ⑦ = EX GAS LINE (MARKED BY OUPS)

**REFERENCES:**  
I. DEUTCHMAN RESUBDIVISION PLAT VOL.147, PG.32 DATED: DEC, 1950  
  
THE RAPID TRANSIT LAND SALES CO'S SUBDIVISION NO.25 PLAT VOL.96, PG.24 DATED: FEB, 1926  
  
CITY OF UNIVERSITY HEIGHTS SEWER MAP BY: GPD ASSOCIATES

**BUILDER: DREES HOMES CLEVELAND DIVISION**  
6650 W. SNOWVILLE ROAD  
SUITE J, BRECKSVILLE, OH 44141-3242  
440-717-9670

HORIZ. SCALE: 1"=20'	VERT. SCALE:	5425 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44125 440-602-9071 FAX 216-369-0259	HOUSE LAYOUT FOR DREES HOMES - DOYL 133 2519 CLAVER ROAD KNOWN AS SUBLOT 4 IN THE I. DEUTCHMAN RESUBDIVISION PLAT VOL.147, PG.32 CITY OF UNIVERSITY HEIGHTS COUNTY OF CUYAHOGA, OHIO				
DRAWN BY: JDC	DATE: 7/19/2023	 <b>ENGINEERING + SURVEYING</b> Civil Engineering + Land Surveying					
CHECKED BY: SRL	DRAWING NO.: 20233898						
JOB NO.: 20233898	SHEET: 1 OF 1						

## Square Footage

Living Areas	
Finished Lower Level	2019 SF
First Floor	2335 SF
Second Floor	2225 SF
	6579 SF

Unfinished Areas	
Covered Front Porch	139 SF
Garage	488 SF
Outdoor Living	242 SF
Unfinished Basement	326 SF
Square Footage total may vary by +1 SF due to automated rounding of first and second floor area	

## Redraws

- Plan Review: 6/26/23**
- REMOVE 2640 WINDOW AT GAME ROOM, ADD DBL 3050
  - HORIZONTAL SIDING AT FRONT ELEVATION- REVISE ROOF LINE
  - REAR UNCOVERED PORCH
  - MIRROR POCKET DOOR
  - CLIP CORNER OF W.I.C.
  - WIDEN BASEMENT POWDER ROOM 12'
  - STRUCTURE ADDED PER REDLINES
  - 8' TALL SECOND FLOOR DOORS
  - GARAGE COACH LIGHTS
  - REMOVE CLG LIGHTS AT LIVING ROOM AND STUDY
  - PREWIRE TO ODJ
  - FIREPLACE SWITCHES
  - 6" SERVICE DOOR
  - REVISE FAMILY FOYER AND POWDER BATH LAYOUT
  - BRICK TO GRADE

- Plan Review: 07/13/23**
- Redraw per plan review:
- Delete transom and sidelight at front door and change door to a 30"x80" door.
  - Change front elevation vertical siding to shakes.
  - Add pocket door at Recreation Room hallway to bedrooms.
  - Flip tub valve location at Bath #5.
  - Make Powder #2 bigger so the door can swing in.
  - Add closet at Playroom.
  - Add soffit at Living Room fireplace for vent.
  - Add Living Room drywall beamed ceiling.
  - Change Living Room side windows to casement and re-center with fireplace.
  - Change Breakfast Room sliding glass doors to be single panel operation per redlines.
  - Include extended concrete porch at rear per original study.
  - Delete 2640 window at Butler's Pantry.
  - Change 5040 slider at Kitchen sink to a 8050 fixed.
  - Change (2)2640 fixed at Kitchen to (2) 3060 casements.
  - Add (2) 1260 fixed at Dining Room.
  - Revise Family Foyer per redlines.
  - Revise Owners Bath per redlines.
  - Change Owners Bath window to 3050 s/h.
  - Change Owners Suite and Sitting Room windows per redlines.
  - Delete Family Room beamed ceiling.
  - Add pocket door to Bedroom #3/Bedroom #4 hallway.
  - Reverse tub valve location at Bath #4 and Hall Bath shower.
  - Add door to Bedroom #2 hallway.
  - Add 3" to the width of the refrigerator wall by changing the pantry door to a 20'.

## Division: Cleveland DOYL

Building Code: 2019 Residential Code of Ohio

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Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
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House Name: <b>the BUCHANAN</b>	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>Brian W.</b>
Born on Date: <b>08/27/2023</b>	CDs Drawn By: <b>SSP</b>	Series: <b>N/A</b>
		Plan No.: <b>N/A</b>

# 0C.1

Cover Sheet  
Elevation "V"

6860 West Snowville Road, Suite 105, Brecksville, OH 44141-3242  
Phone: [440] 717-9670

Architecture Plan Review:  No Comments  See Comments Items drawn on any drawings and not written in the contract sections **WILL NOT** be included in the site specific drawings.

Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. XXX	1. XXX	1. XXX	1. XXX
2. XXX	2. XXX	2. XXX	2. XXX
3. XXX	3. XXX	3. XXX	3. XXX
4. XXX	4. XXX	4. XXX	4. XXX

Customer Plan Review Signature

I understand that my new Drees home will be built in general conformance to the plans, specifications, selections and the Purchase Agreement, all of which I have reviewed and approved. This set of plans may not reflect the elevations or options for my house. Drees draws the standard plans complete with the most common options. The subcontractor's sets will show only the options I selected in my selection sheets. I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the lot. I further understand that my home will not be built exactly like any other Drees home or Model and that some minor variations from my plans and specifications may occur since every home that is built has it's own set of unique construction problems that must be dealt with as the home is being built.

Customer: \_\_\_\_\_ Date: \_\_\_\_\_

Customer: \_\_\_\_\_ Date: \_\_\_\_\_

C:\Contract\1\DWG\DOYL\DOYL-0133-00\DOYL-0133-00\DOYL-0133-00.rvt

7/13/2023 11:58:10 AM

**GENERAL NOTES - CLEVELAND**

**FOUNDATION NOTES**

- ALL FOUNDATION WALLS TO BE 8" THICK POURED CONCRETE UNLESS OTHERWISE NOTED.
- PROVIDE FOOTER DRAIN TILE ON OUTSIDE OF FOOTER TO SUMP PUMP OR TO DAYLIGHT.
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- WATERPROOF FOUNDATION WITH POLY MODIFIED ASPHALT SPRAY.
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE - 2,000 PSF
- PROVIDE FOOTER DRAIN CLEANOUT 10' FROM BACK CORNER ON SIDE OF HOUSE OPPOSITE THE GARAGE.
- EXTERIOR FLATWORK AND GARAGE SLABS SHALL BE POURED WITH A MINIMUM CONCRETE STRENGTH OF 4,500 LBS.
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:
  - 1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "T" WALLS AND CORNERS COUNT AS A BRACE).
  - 2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.
  - 3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.
  - 4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.
  - 5) DOORS DO NOT GET CONTROL JOINTS.
  - 6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.
  - 7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.
- OVERALL FOUNDATION WALL HEIGHT MAY VARY BY UP TO 1".
- GARAGE AND BASEMENT SLABS TO HAVE A MINIMUM 6 MIL. VAPOR BARRIER BETWEEN GRAVEL AND SLAB.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- PLACE GARAGE SLAB CONTROL JOINTS PERPENDICULAR TO ONE ANOTHER, EACH STARTING FROM THE CENTERLINE OF GARAGE WALL. WHEN OVERDIG EXCEEDS 2'-0", SLAB CONTROL JOINTS SHOULD BE OFFSET FROM PILASTER 2'-0" WITH ANOTHER JOINT RUNNING PERPENDICULAR.
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

**FRAMING NOTES**

- DESIGN LOADS:  
 FLOORS: 40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf GARAGE FLOOR: 50 psf LIVE LOAD SEISMIC: "A" & "B"  
 ROOF: 25 psf LIVE LOAD + 20 psf DEAD LOAD = 45 psf WIND SPEED: 115 MPH
- DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):  
 RAFTERS GREATER THAN 3:12 L/180 CEILINGS L/240  
 MASONRY VENEER L/600  
 NOMINAL LUMBER FLOORS: L/360  
 MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 38 (OR EQUIVALENT)\* NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.
- \* IF PRO-RATING EQUIVALENCY CANNOT BE EVALUATED, ADHERE TO THE FOLLOWING MINIMUMS:  
 - L/480 [LIVE LOAD] FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION  
 - L/600 [LIVE LOAD] FOR SPANS OVER 16'-0" IF SIMPLE SPAN; L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. NO GREATER THAN 1/2" DEFLECTION
- JOIST SPACING: 19.2' o.c. MAXIMUM SPACING  
 DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS  
 INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2' o.c. FLOOR JOIST SPACING  
 GLUE AND MECHANICALLY FASTEN [SCREWS] WOOD FLOOR IF 19.2' o.c. FLOOR JOIST SPACING
- MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PROVIDE I-JOIST PROTECTION AS REQUIRED BY 2019 RCO SECTION 302.13.
- JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- ALL WOOD BEAMS/HEADERS: 2x6 TO BE SPF STUD GRADE OR BETTER  
 2x8 OR LARGER TO BE NORTHERN HEM FIR #2 KD WITH E-1,400,000 p.s.i.
- ALL WOOD JOISTS TO BE S. PINE #2 KD WITH E-1,700,000 p.s.i., SPAN MUST BE LESS THAN 20', USE HEM FIR IF SPAN IS 20' OR MORE.
- ALL LVL's TO BE TJM MICROLAM WITH Fb=2600, Fv=285, MOE=1.9, Fc=750.
- ALL STEEL BEAMS TO HAVE A 2x6 TOP PLATE.
- ALL STEEL COLUMNS TO BE 3-1/2" IN DIAMETER AND ADJUSTABLE, UNLESS OTHERWISE NOTED.
- EXTERIOR WALL TO BE 2x4 SPF STUD GRADE AT 16" O.C. UNLESS OTHERWISE NOTED (WALL HEIGHTS 10'-0"+, SIZES WILL BE NOTED PER PRINTS)
- ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, AND GARAGE TO BE 2x4 SPF STUD GRADE AT 16" O.C.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 24" O.C. UNLESS OTHERWISE NOTED.
- ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
- PROVIDE 4-1/2" SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS, AND GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.
- CHECK SELECTIONS FOR FLOOR COVERINGS AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISER HEIGHT AS NEEDED.
- SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY, AND SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE.
- PROVIDE BLOCKING AT ALL HANDRAIL BRACKETS, TOWEL BARS AND TOILET PAPER HOLDER LOCATIONS.
- PROVIDE 20 MIN. FIRE-RATED DOOR AT GARAGE/HOUSE ENTRY.
- PAD OUT GARAGE WALL CAVITIES/ FLOOR JOIST CAVITIES 3-1/2" TO RECEIVE FULL BATT INSULATION IF HEATING/ PLUMBING ARE PRESENT. FRAMING FOR HVAC CHASE TO EXTEND DOWN TO GARAGE SLAB.
- ALL BEARING WALLS TO HAVE DOUBLE TOP PLATE.
- A PARTIALLY EXPOSED EXTERIOR WALL, WALL SHEATHING SHOULD CONTINUOUSLY RUN TO BOTTOM OF SUB FLOOR.
- ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.
- ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- STAIR NOSING SHOULD BE 3/4" TO 1-1/4" MAX. STAIR TREADS ARE DIMENSIONED FROM NOSING TO NOSING, WITH A 9" MIN. TREAD.
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.
- 5/8" (MIN.) OSB TO BE INSTALLED ON PORCH CEILINGS WHEN LIVING SPACE IS ABOVE.
- ALL EGRESS WINDOWS TO HAVE MINIMUM OPENING DIMENSIONS OF 24" IN HEIGHT, 20" IN WIDTH, AND HAVE A MINIMUM OPENING AREA OF 5.7 S.F. - ALL EGRESS WINDOWS TO BE A MAXIMUM OF 44" OFF OF FINISHED FLOOR.

**FRAMING NOTES**

- GUARDRAIL DESIGN LOAD TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE.
- ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS).
- IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.
- STAIRS IN LOWER LEVEL: IF THERE IS A DOOR INTO SPACE UNDER STAIR, THEN 1/2" GYP. BOARD REQ'D ON INSIDE OF STORAGE SPACE & UNDERSIDE OF STAIR IF THERE IS NO DOOR INTO SPACE
- UNDER STAIR, IT IS CONSIDERED OPEN AND NO GYP. BOARD IS REQ'D.

**MECHANICAL NOTES**

- SMOKE DETECTORS TO BE 110V AND HARD WIRED. PROVIDE BATTERY BACK-UP AND INTERCONNECT (WHEN ONE SOUNDS, ALL SOUND).
- ALL GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- A STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 3 OR MORE RISERS, HANDRAIL HEIGHT SHALL BE 34" MIN. / 38" MAX.
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2 5/8" IN CROSS-SECTIONAL DIMENSION.
- KITCHEN BACKSPASH OUTLETS TO BE LAID FLAT, 37-1/4" FROM TOP OF SUBFLOOR TO BOTTOM OF BOX.
- GUARDRAILS TO BE 36" (MIN.) HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS TO BE 36" (MIN.) HIGH, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8; ADD TAMPER RESISTANT AND GFCI.
- ARC FAULT CIRCUIT OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.12
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED, UNLESS OTHERWISE NOTED ON THE PLANS.
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS
- ALL HOUSES TO HAVE A PROGRAMMABLE THERMOSTAT.
- TO COMPLY WITH SECTION 405 OF THE 2018 IECC (PERFORMANCE PATH).

**SECTION, DETAILS & ROOF PLAN NOTES**

- PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE.
- SEE TRUSS MANUFACTURER'S SHOP DRAWINGS FOR TRUSS LAYOUT AND DESIGN INCLUDING GIRDER TRUSSES AND BEAM LOCATIONS.
- ALL GIRDER TRUSSES TO BE BOLTED TOGETHER ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- TRUSSES TO BE BRACED AND INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS.
- TRUSS MANUFACTURER'S DIMENSIONS ARE TO OUTSIDE OF SHEATHING.
- ROOF TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS ON SHOP DRAWINGS.
- REFER TO HIB-91 OF TPI (TRUSS PLATE INSTITUTE) FOR SPECIFIC BRACING RECOMMENDATIONS AND REQUIREMENTS.
- TRUSS MANUFACTURER TO PROVIDE ENGINEERED TRUSS DRAWINGS TO THE FIELD ALONG W/ HIB-91 PRIOR TO ERECTION OF TRUSSES.
- PROVIDE A 2x4 LEDGER TO ACCEPT ROOF SHEATHING WHERE A FIRST FLOOR ROOF MEETS THE SIDE OF A SECOND FLOOR.
- PROVIDE 15# FELT PAPER UNDER SHINGLES
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SHORING AND BRACING DURING CONSTRUCTION FOR ALL ELEMENTS INCLUDING WALLS, JOISTS, TRUSSES COLUMNS, MASONRY AND OTHERS AS REQUIRED.
- PROVIDE ICE AND WATER GUARD AT ALL EAVES AND VALLEYS.
- ROOF TRUSSES WILL BE FASTENED BY CONNECTORS THAT WILL RESIST A MINIMUM OF 175 LBS OF UPLIFT
- PROVIDE 7/16" ROOF SHEATHING.
- INSTALLATION OF AN ICE BARRIER IS REQUIRED. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. THE 24 INCH MEASUREMENT SHALL BE ALONG THE SLOPE OF THE ROOF FROM THE POINT WHERE THE PROJECTED OUTSIDE FACE OF THE WALL INTERSECTS THE ROOF DECK. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN EIGHT UNITS VERTICAL IN 12 UNITS HORIZONTAL (67-PERCENT SLOPE), THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (914 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.
- DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS AND/OR HVAC CHASES.

**ELEVATION NOTES**

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.
- FRONT DOOR COACH LIGHTS (IF ANY) TO BE SET AT 5'-8" ABOVE FINISHED SURFACE.
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- PROVIDE BRICK WEEP HOLES WITH WEEP CARDS AT 24" o.c. WITH BRICK VENEER.
- PROVIDE FLASHING AND WEEP HOLES AT 32" O.C. ABOVE BRICK ANGLE IRONS.
- PROVIDE BRICK WALL TIES AT 16" o.c. HORIZONTALLY AND VERTICALLY. PROVIDE BRICK WALL TIES WITHIN 12" OF ANY BRICK OPENINGS AT A MAXIMUM OF 36" o.c. AROUND OPENING.
- WRAP ALL FRIEZE AND FASCIA TRIM BOARDS IN ALUMINUM.
- REFER TO DETAIL ON SHEET IN THE BUILDER BOOK FOR STONE INSTALLATION DETAILS.
- PAD OUT ALL GABLE ENDS (WITHOUT GABLE EXTENSIONS) W/ (2) 1x3s PLACED SIDE BY SIDE WITH THE 1x8 OVER THE TOP TO COVER THE ENDS OF THE SIDING.
- USE EXTERIOR PROTECTIVE COVERINGS ON ALL DIRECT VENT FIREPLACES (IF ANY).
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

**2019 RESIDENTIAL CODE OF OHIO METHOD USED FOR CHAPTER 11 ENERGY EFFICIENCY OHBA PATH #2 (SECTION 1112)**

**WALLS R VALUE R13**

**CEILINGS R VALUE R49**

**WINDOWS U VALUE 32U**

**BASEMENT FOUNDTION WALLS R11 4 FT DOWN ALL WALLS**

**FLOOR OVER UNCONDITIONED SPACE R30**

**RIM JOIST R13**

**INCLUDES ALL DESIGNATED MANDATORY CODE SECTIONS CHAPTER 11**

Space for Architect Seal

**RESIDENCE FOR:**

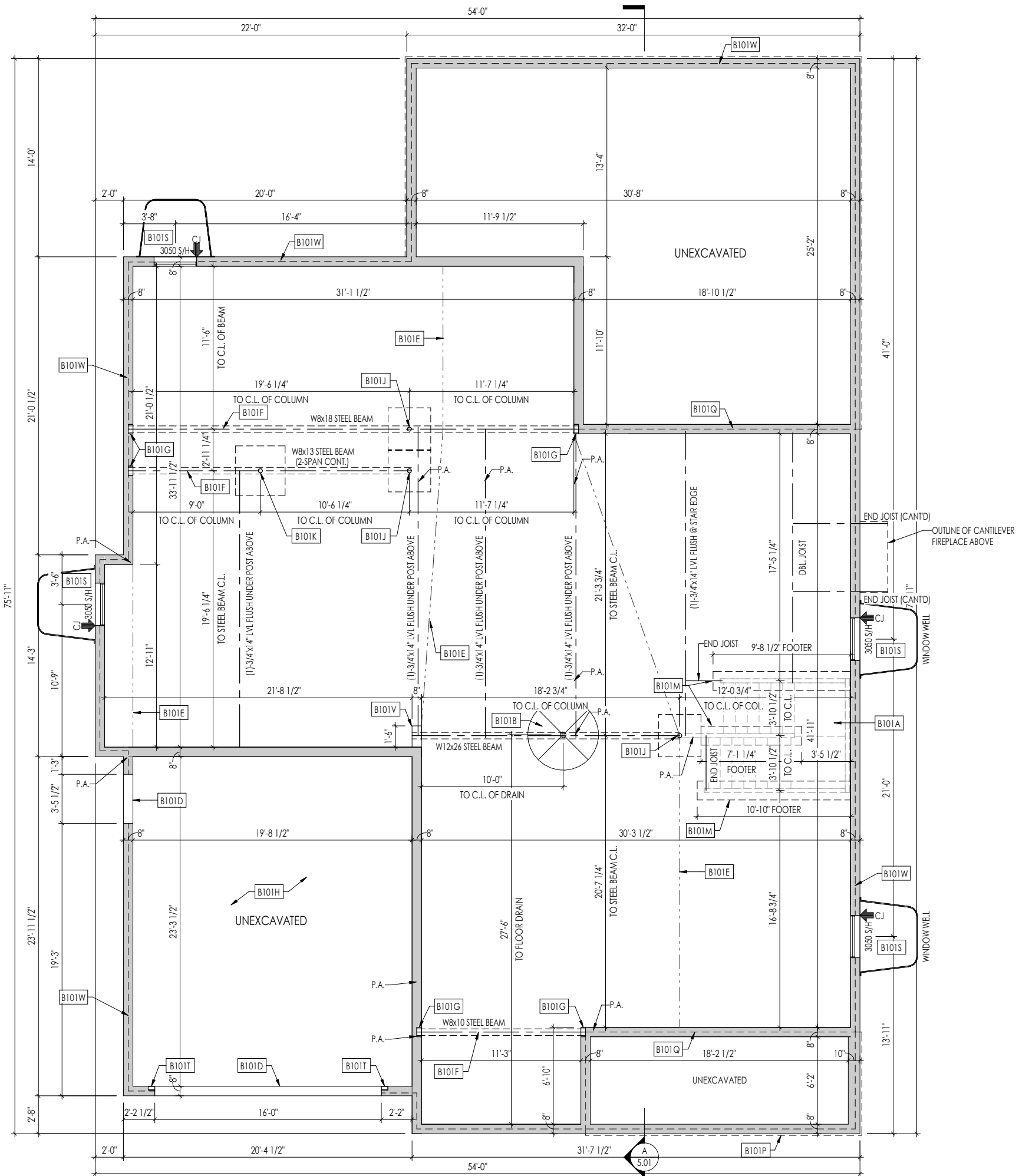
**Mark and Shifra Friedman**

**2519 Claver Road**

**Drees On Your Lot, University Heights OH**

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
			Series: <b>N/A</b>
Born on Date: 08/27/2023		CDs Drawn By:	SSP <b>N/A</b>

 Copyright © 2023   2023   The Drees Company. All Rights Reserved. 6860 West Snowville Road, Suite 105, Brecksville, OH 44141-3242 Phone: [440] 717-9670	Sheet Information	<b>0N.1</b> General Notes Elevation "V"



**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES AND SHEET SD-0 FOR ENGINEERING NOTES.
2. ALL FOUNDATION WALLS TO BE 9'-0" TALL AND 8" THICK UNLESS OTHERWISE NOTED.
3. OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
4. SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.

**Key Notes:**

B101A	OUTLINE OF BASEMENT STAIRS
B101B	5'-0" DIA. AREA SLOPED TO DRAIN - 2" LOWER THAN TOP OF SLAB
B101D	CONTINUOUS FOOTING AND FOUNDATION - DROP TO BE FIELD DETERMINED
B101E	SLAB CONTROL JOINT
B101F	SLAB CONTROL JOINT LOCATED DIRECTLY UNDER STEEL BEAM
B101G	8"W x 8"H x 4"D BEAM POCKET
B101H	RE: STANDARD DETAIL SHEET S-1A FOR GARAGE SLAB DETAILS
B101J	STEEL COLUMN PER MANUFACTURER (12.0K MAX) ON 36"x36"x12" PLAIN CONCRETE PAD
B101K	3-1/2" DIA. ADJ. P.C. (18K CAP.) ON 42"x42"x12" FOOTING W/ #4 BARS @ 12" O.C. EA. WAY @ BOTTOM
B101M	8" DEEP x 16" WIDE THICKENED SLAB AT BEARING WALL
B101P	1-1/2" TYP. OVERHANG AT CONCRETE PORCH SLAB ABOVE - RE: SPECIFICATION MANUAL FOR FRONT PORCH CONSTRUCTION
B101Q	OUTLINE OF STUD WALL / PORCH SLAB ABOVE
B101S	LARGER BSMT WINDOW TO USE CONCRETE HEADER - BOTTOM OF WINDOW SILL 40" MAX. ABOVE FINISHED FLOOR AS REQ'D. FOR EGRESS
B101T	PROVIDE 3'x5-1/2" NOTCH FOR GARAGE DOOR TRACK - DROP TO BE FIELD DETERMINED TO CATCH GARAGE SLAB. RE: SPECIFICATION MANUAL FOR DETAILS
B101V	DROP TOP OF FOUNDATION WALL 8" FOR STEEL BEAM SUPPORT
B101W	DROPPED BRICK LEDGE AS REQUIRED - RE: DETAIL SHEET D1.1 (FIELD VERIFY EXACT LOCATIONS)

Space for Architect Seal

**REISSUED: 07/13/2023**

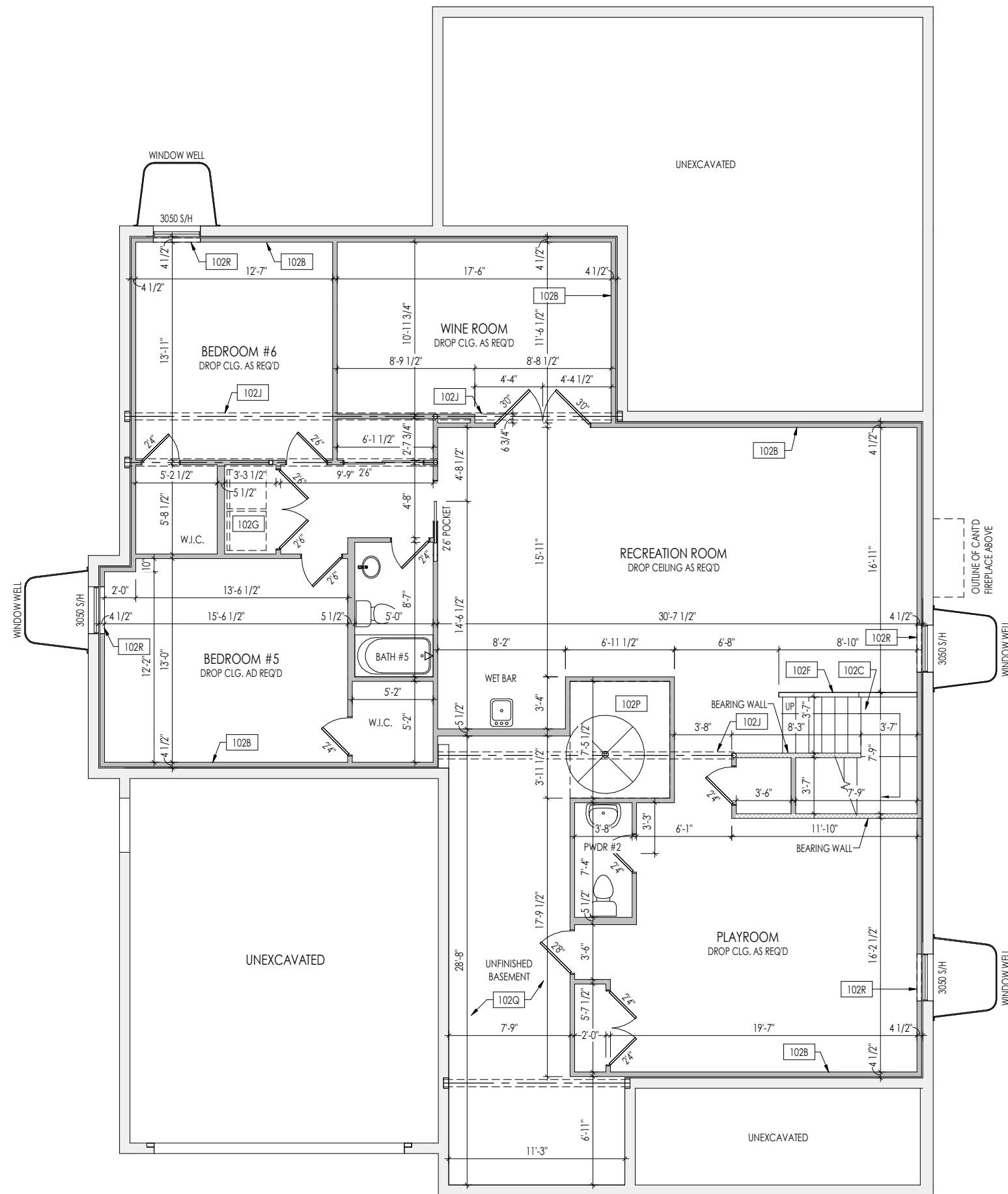
RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'-0"	
Contract Drawn By: <b>Brian W.</b>		Series: <b>N/A</b>	Plan No.: <b>N/A</b>
Born on Date: <b>08/27/2023</b>	CDs Drawn By: <b>SSP</b>		

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Sheet Information

**1.01**  
 Foundation Plan  
 Elevation "V"



**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

**Key Notes:**

- 102B 2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" INSULATION
- 102C RE: DETAIL A/7.02 FOR BASEMENT STAIR FRAMING
- 102F SLOPE WALL EVEN WITH TOP OF STAIR STRINGER FOR RAILING
- 102G TAP AND DRAIN
- 102J BOX OUT AROUND COLUMNS AND BEAMS IN FINISHED AREA
- 102P 80 SQ. FT. MAX. AREA OF CEILING COMPLYING WITH EXCEPTIONS 3.1 + 3.2 NOT REQUIRING DRYWALL - PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY
- 102Q UNFINISHED BASEMENT CEILING TO BE COVERED IN 1/2" GYPSUM BOARD (WITH THE EXCEPTION OF THE 80 SQ. FT. AREA) - JOINTS DO NOT NEED TO BE TAPED OR MUDDED
- 102R RIPPED 1x FOR WOOD SILL

Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

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House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
Drawing Scale: 1/8" = 1'0"			Series: N/A
Plan No.:			N/A

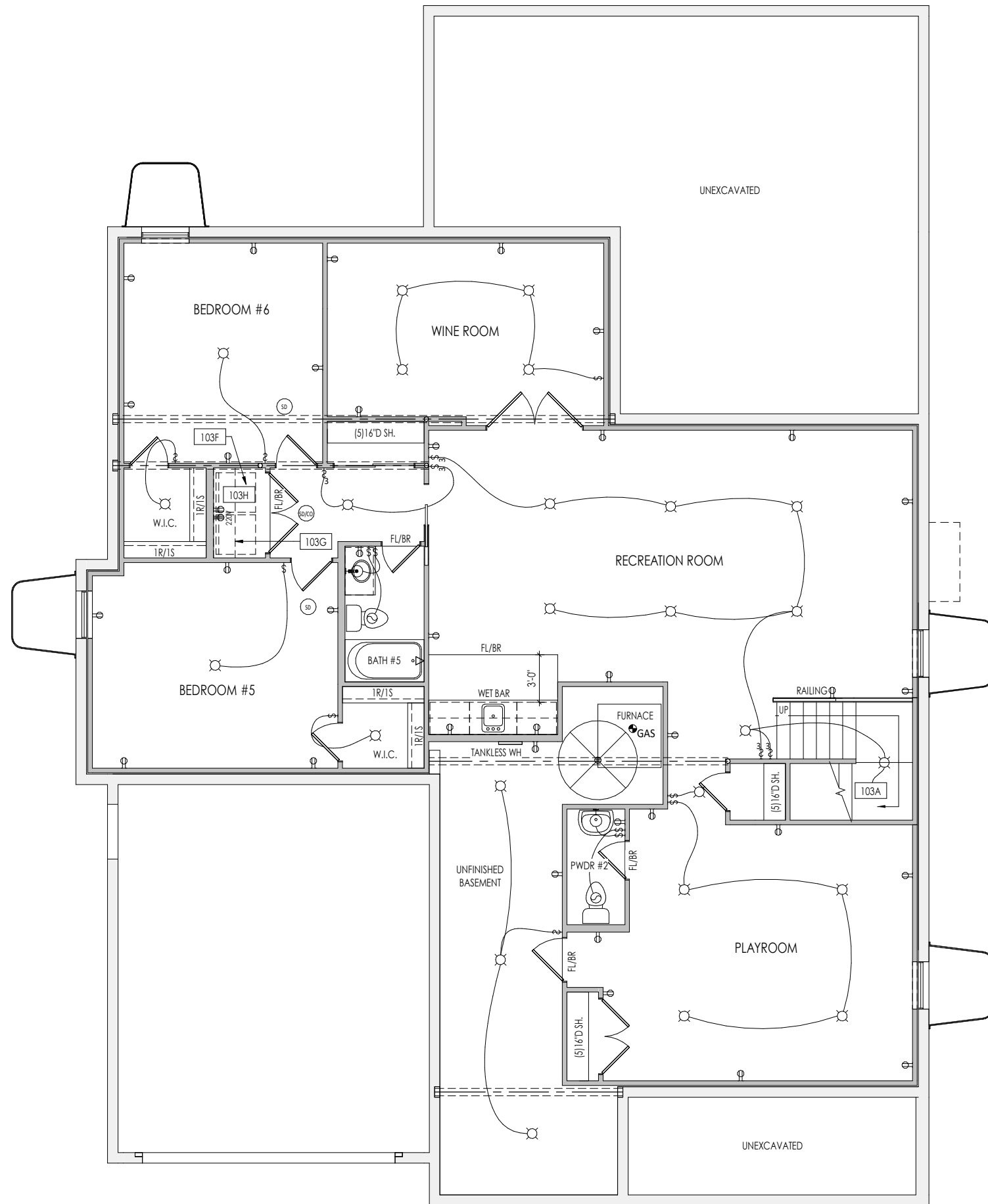
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Sheet Information

**1.02**  
 Lower Level Framing Plan  
 Elevation "V"

**REISSUED: 07/13/2023**

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**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

103A	TO LIGHT/SWITCH ABOVE
103F	LOCATE WASHER TO LEFT OF DRYER
103G	UPPER WALL CABINETS OR 16' DEEP x 5'-6" LONG SHELF HELD AT 5'-7" A.F.F. - REFER TO SELECTIONS
103H	TAP AND DRAIN

**MECHANICAL LEGEND**

◀ DATA JACK	○ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊕ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊕ WEATHERPROOF GFCI OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊕ 220 VOLT OUTLET	○ DOUBLE SPOTLIGHT FIXT.	⊕ GAS GAS HOOK UP
⊕ GFCI OUTLET	○ DIRECTIONAL CAN LIGHT	⊕ FLOOR DRAIN
⊕ FLOOR OUTLET	○ PIN LIGHT	⊕ SMOKE DETECTOR
⊕ CABLE TELEVISION JACK	⊕ WALL SCONCE @ 5'-6" A.F.F.	⊕ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊕ SINGLE POLE SWITCH	⊕ FLUORESCENT LIGHT	⊕ EXHAUST FAN AND LIGHT COMBINATION
⊕ 3-WAY SWITCH	⊕ UNDER CABINET LIGHTING	⊕ CLG. MTD. EXHAUST FAN
⊕ 4-WAY SWITCH	⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	

Space for Architect Seal

**REISSUED: 07/13/2023**

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
Drawing Scale: 1/8" = 1'0"			Series: N/A
			Plan No.: N/A

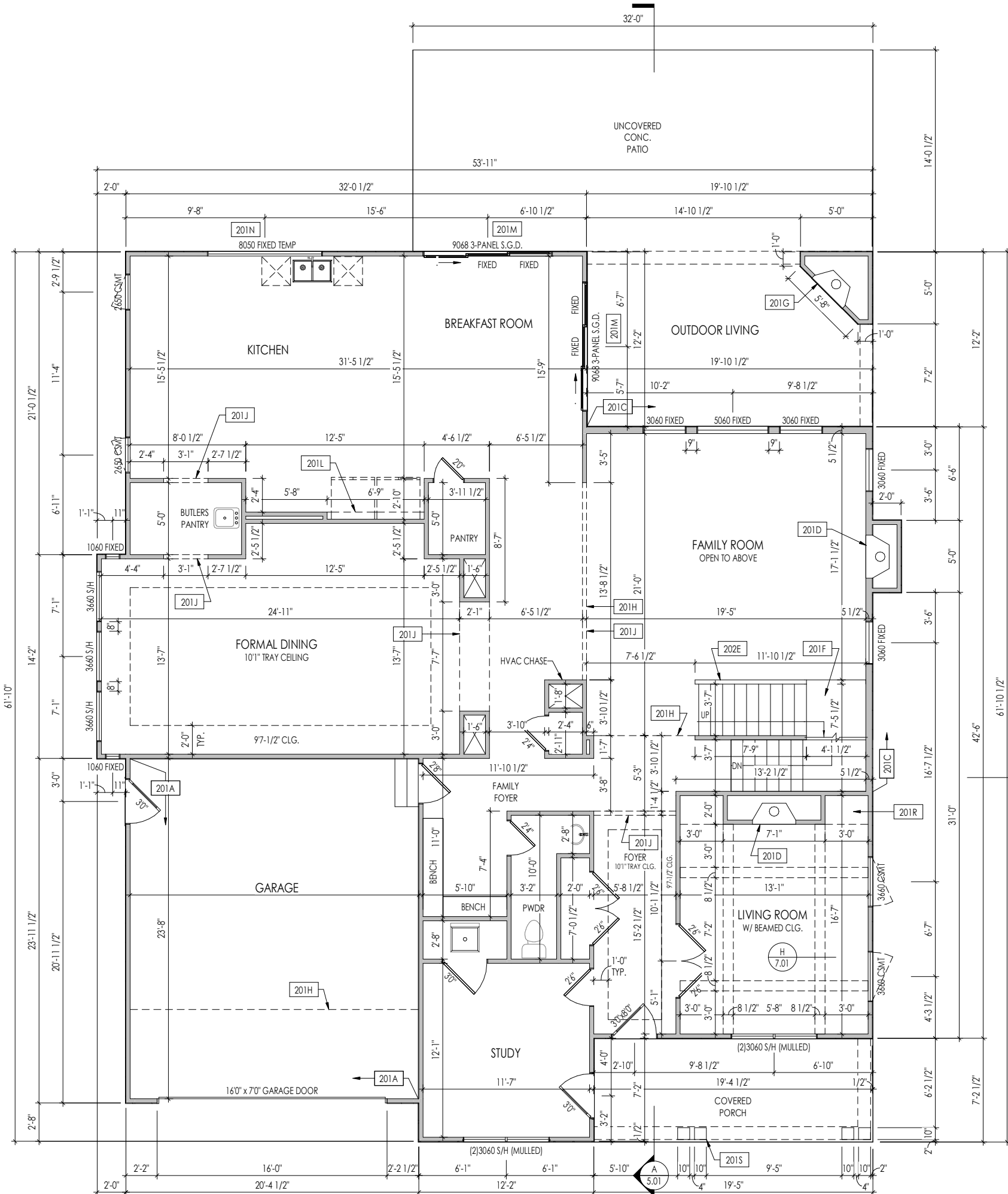
**1.03**

Lower Level Mechanical Plan  
Elevation "V"

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PROVIDE 8' TALL DOORS  
THROUGHOUT FIRST FLOOR



**General Notes:**

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ALL FIRST FLOOR CEILINGS TO BE 10'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
3. FRAME TOP OF ALL WINDOWS AT 1'-10" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-3" FROM CEILING.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
6. ALL FIRST FLOOR EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 10'-1" HIGH WITH 2x4 STUDS @ 16" O.C.

**Key Notes:**

- |      |  |
|------|--|
| 201A | FRAME GARAGE WALL AT 11'-5 1/4" WITH (2)2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WAL - IF ELECTRICAL PANEL LOCATED IN GARAGE PAD OUT WALL FOR ELECTRICAL PANEL |
| 201C | 2x6 BALLOON FRAMED WALL - RE: SHEET 2.01S FOR FRAMING  |
| 201D | DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFORMATION  |
| 201F | RE: DETAIL A/7.02 FOR STAIR FRAMING  |
| 201G | DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-2 FOR FRAMING INFORMATION  |
| 201H | OUTLINE OF SECOND FLOOR ABOVE  |
| 201J | FRAME TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES ON THIS SHEET  |
| 201L | FRAME TOP OF OPENING AT REFRIGERATOR AT 6'-8" A.F.F.   |
| 201M | (3)3010 FIXED (MULLED) ABOVE DOOR - TOP OF TRANSOM AT 10'-1 1/4" BELOW TOP PLATE   |
| 201N | FRAME TOP OF WINDOW AT TO X'-X" BELOW TOP PLATE  |
| 201R | DROP TOP OF OPENING AS REQUIRED FOR DIRECT VENT FIREPLACE VENTING AND MATCH OPENING HEIGHT ON OTHER SIDE   |
| 201S | 10"x10" BOX COLUMN - RE: DETAIL B/7.01 FOR FRAMING   |

Space for Architect Seal

**REISSUED: 07/13/2023**

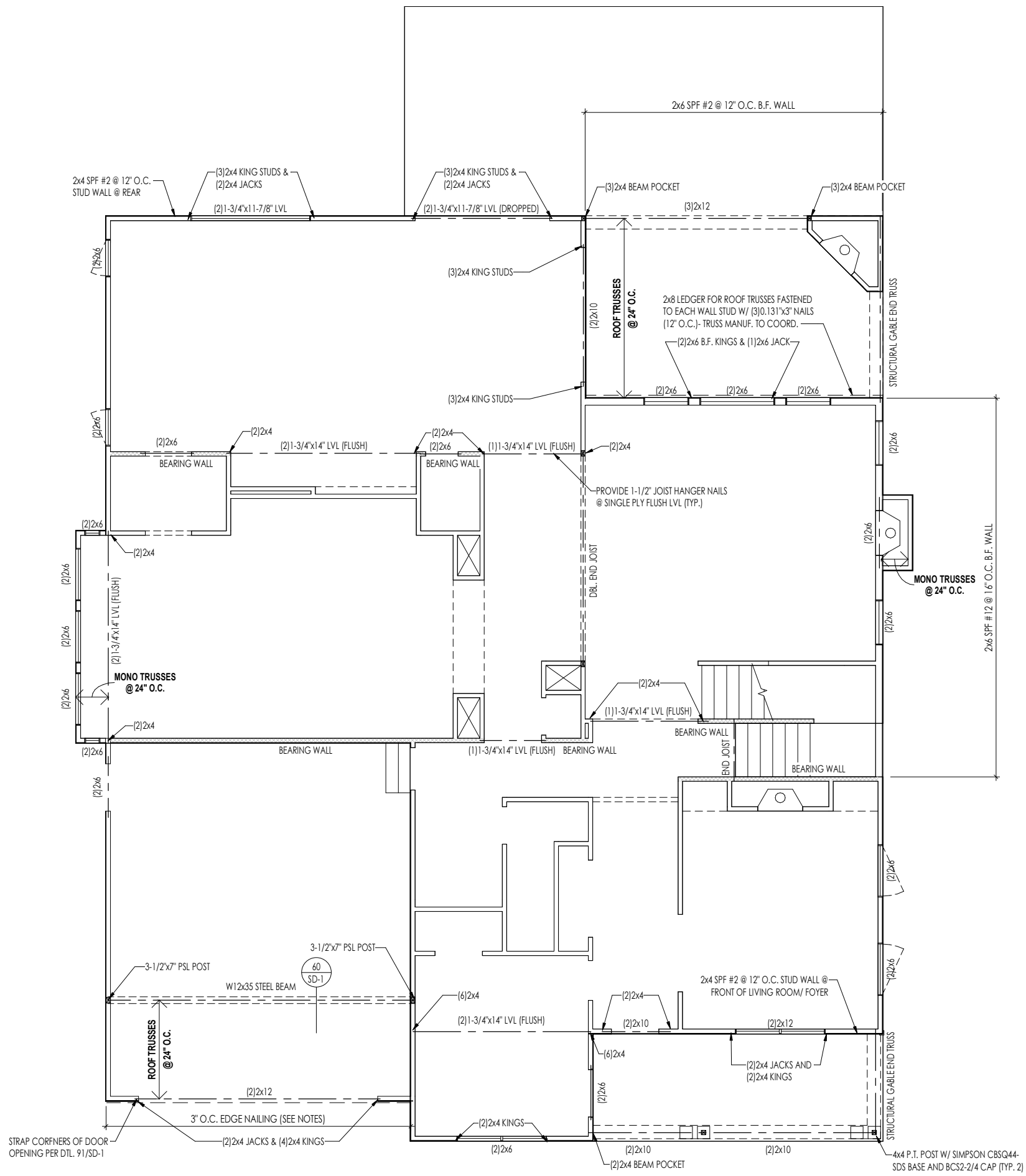
RESIDENCE FOR:  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
Series: <b>N/A</b>		Plan No.: <b>N/A</b>	

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**2.01F**  
First Floor Framing Plan  
Elevation "V"





General Notes:

1. REFER TO SHEET S-0 FOR ENGINEERING NOTES.

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
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Born on Date: 08/27/2023			CDs Drawn By: SSP
Drawing Scale: 1/8" = 1'0"			Series: N/A
Plan No.:			N/A

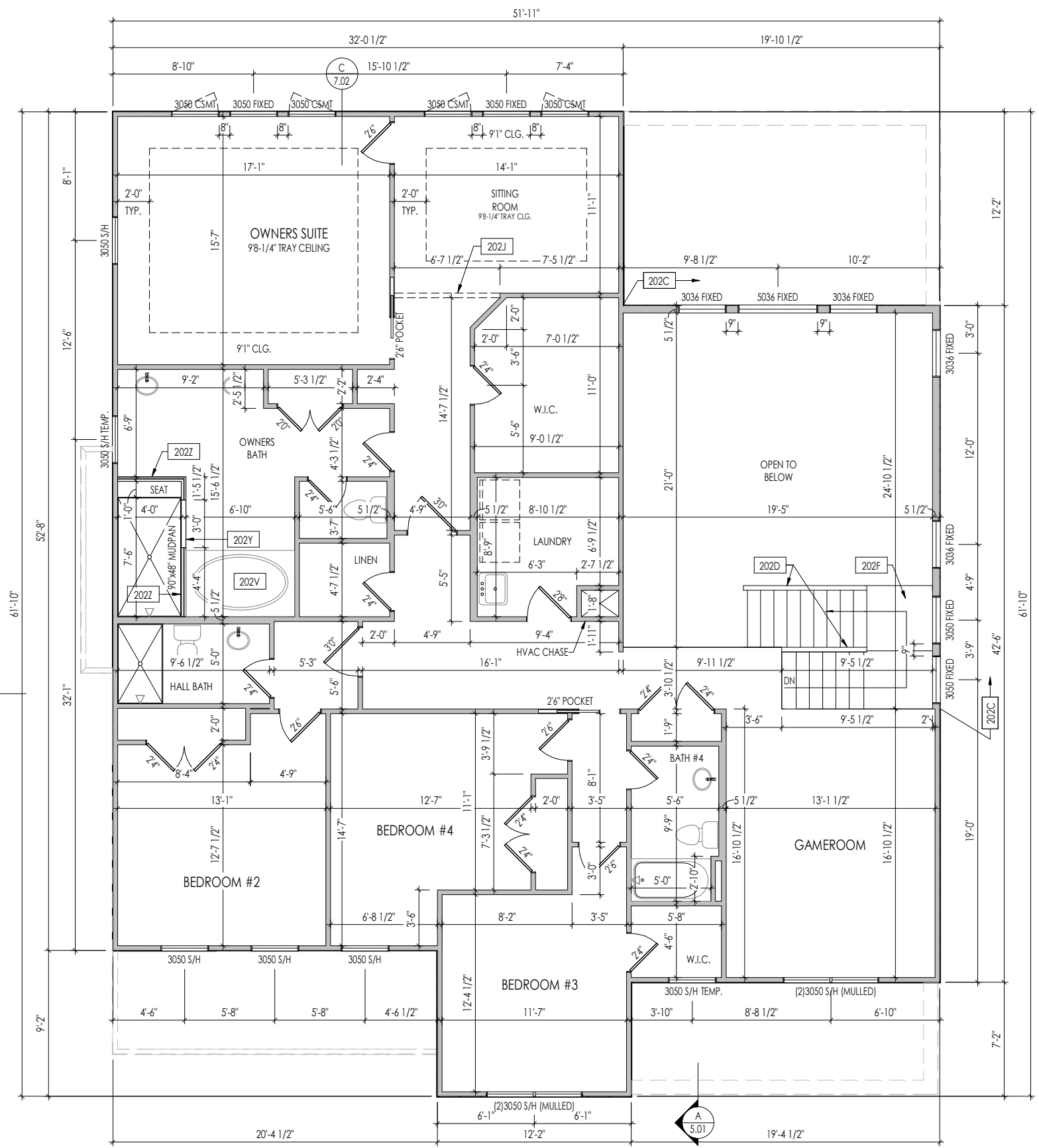
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**2.01S**  
 First Floor Structural Plan  
 Elevation "V"

**REISSUED: 07/13/2023**

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PROVIDE 8' TALL DOORS  
THROUGHOUT FIRST FLOOR



**General Notes:**

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ALL SECOND FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

**Key Notes:**

202C	2x6 BALLOON FRAMED WALL - RE: SHEET 2.02S FOR FRAMING
202D	RAILING- SLOPE WALL WITH STAIR STRINGER
202F	RE: DETAIL A/7.02 FOR STAIR FRAMING DETAILS
202J	FRAME TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES ON THIS SHEET
202V	RE: DETAIL B/7.02 FOR TUB PLATFORM FRAMING
202Y	PROVIDE 4-1/2" SHOWER CURB
202Z	36" HIGH WALL WITH SHOWER GLASS ABOVE

Space for Architect Seal

**RESIDENCE FOR:**  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023		CDs Drawn By: SSP	Plan No.: N/A

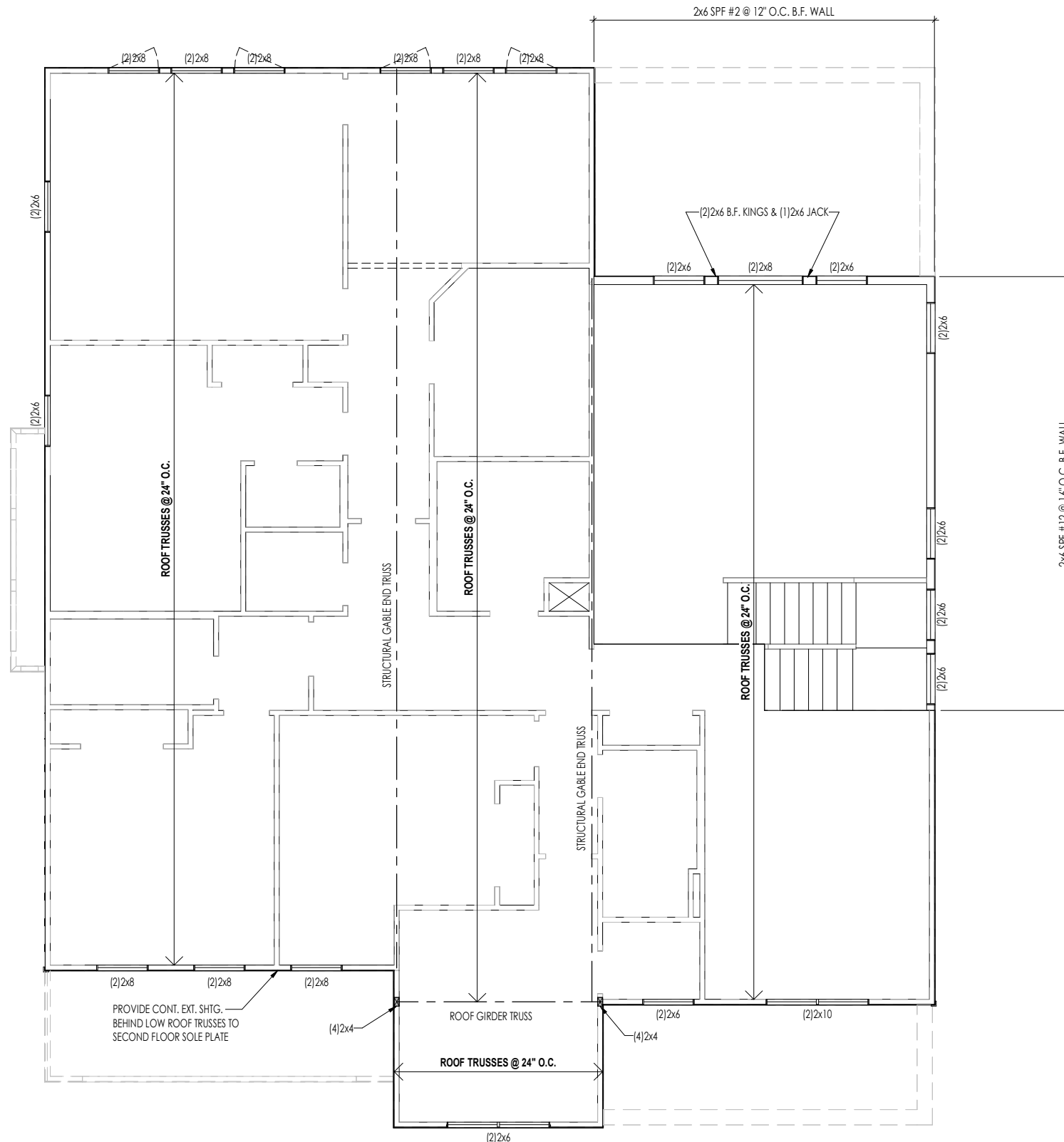
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**2.02F**  
 Second Floor Framing Plan  
 Elevation "V"

**REISSUED: 07/13/2023**

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General Notes:

1. REFER TO SHEET S-0 FOR ENGINEERING NOTES.

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: DOYL-0133-00	Drawing Date: 06/08/23	Coord Name: Luke R.	Coord Phone: 859 578-4212
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House Name: the BUCHANAN	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: Brian W.
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Series: N/A
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Born on Date: 08/27/2023	CDs Drawn By: SSP	Plan No.: N/A
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Sheet Information

**2.02S**  
 Second Floor Structural Plan  
 Elevation "V"

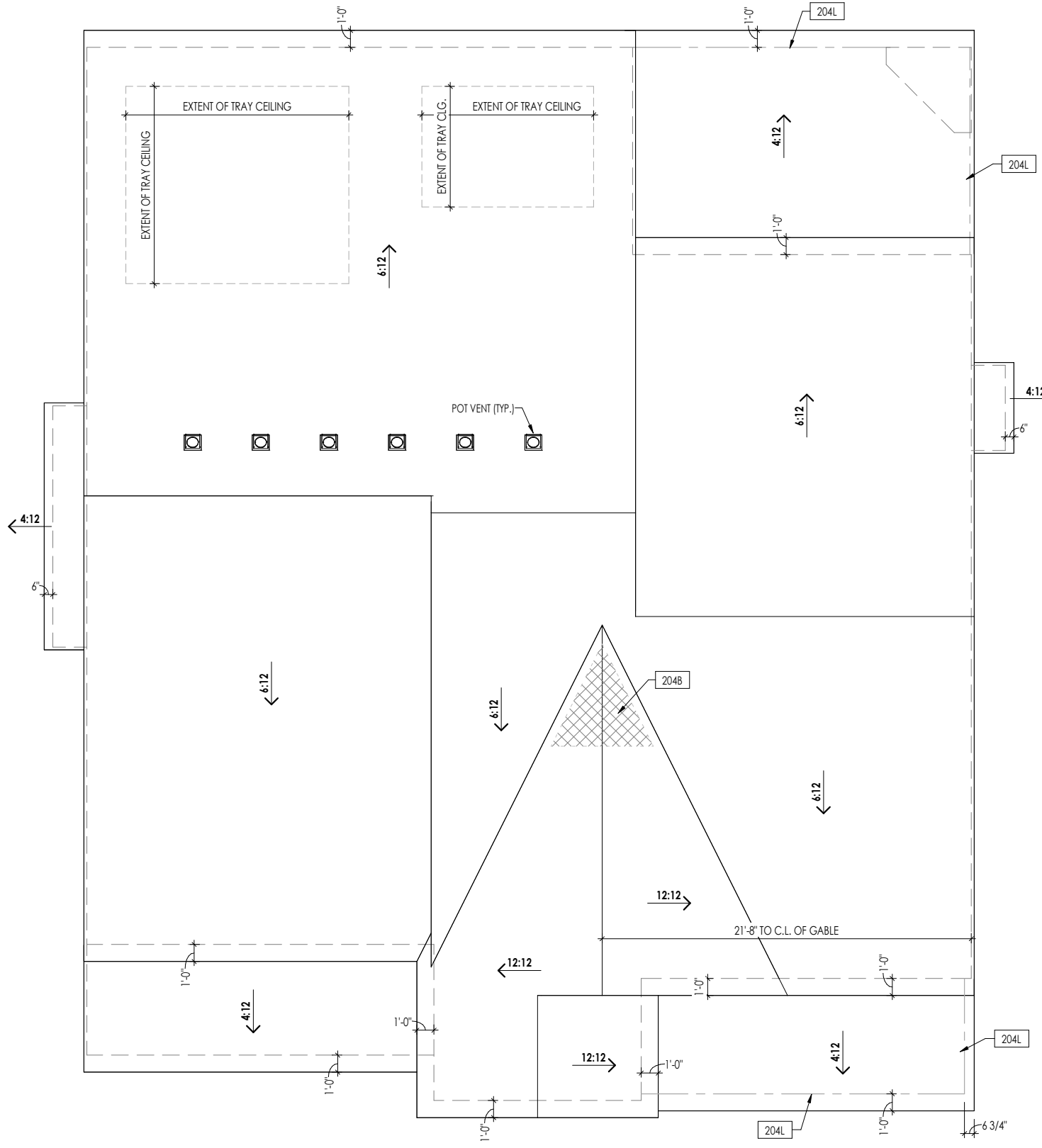
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TRUSS MANUFACTURER TO VERIFY THE FOLLOWING:  
 (REFER TO SHEETS 2.01F AND/OR 2.02F)  
 1) DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS OR KITCHEN HOOD WALLS  
 2) DO NOT LOCATE ROOF TRUSSES ABOVE HVAC CHASES (OR LEAVE A MIN. 22-1/2" WIDE CLEAR SPACE OVER CHASE)

HEEL CUT STANDARDS		
	OVERHANG	
	1'-0"	2'-0"
4:12	3-3/4"	7-3/4"
5:12	4-3/4"	9-3/4"
6:12	5-3/4"	11-3/4"
7:12	6-3/4"	13-3/4"
8:12	7-3/4"	N/A
9:12	8-3/4"	N/A
10:12	9-3/4"	N/A
12:12	11-3/4"	N/A
14:12	13-3/4"	N/A

General Notes:  
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES AND SHEET SD-0 FOR ENGINEERING NOTES.

Key Notes:  
 204B NO ROOF DECKING UNDER OVER-FRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION  
 204L BEAM BELOW - RE: SHEET 2.01S FOR SIZE AND LOCATION. DIMENSION SHOWN IS TO FACE OF BEAM



ROOF VENTILATION	
CITY/SERIES:	CLEVELAND
	Main Roof
TOTAL ATTIC AREA:	2,800
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	9.33
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	9.50
DOWNSPOUT CALCULATION	
	Main Roof
TOTAL DRAINABLE ROOF AREA:	3640
MINIMUM # OF DOWNSPOUTS:	7

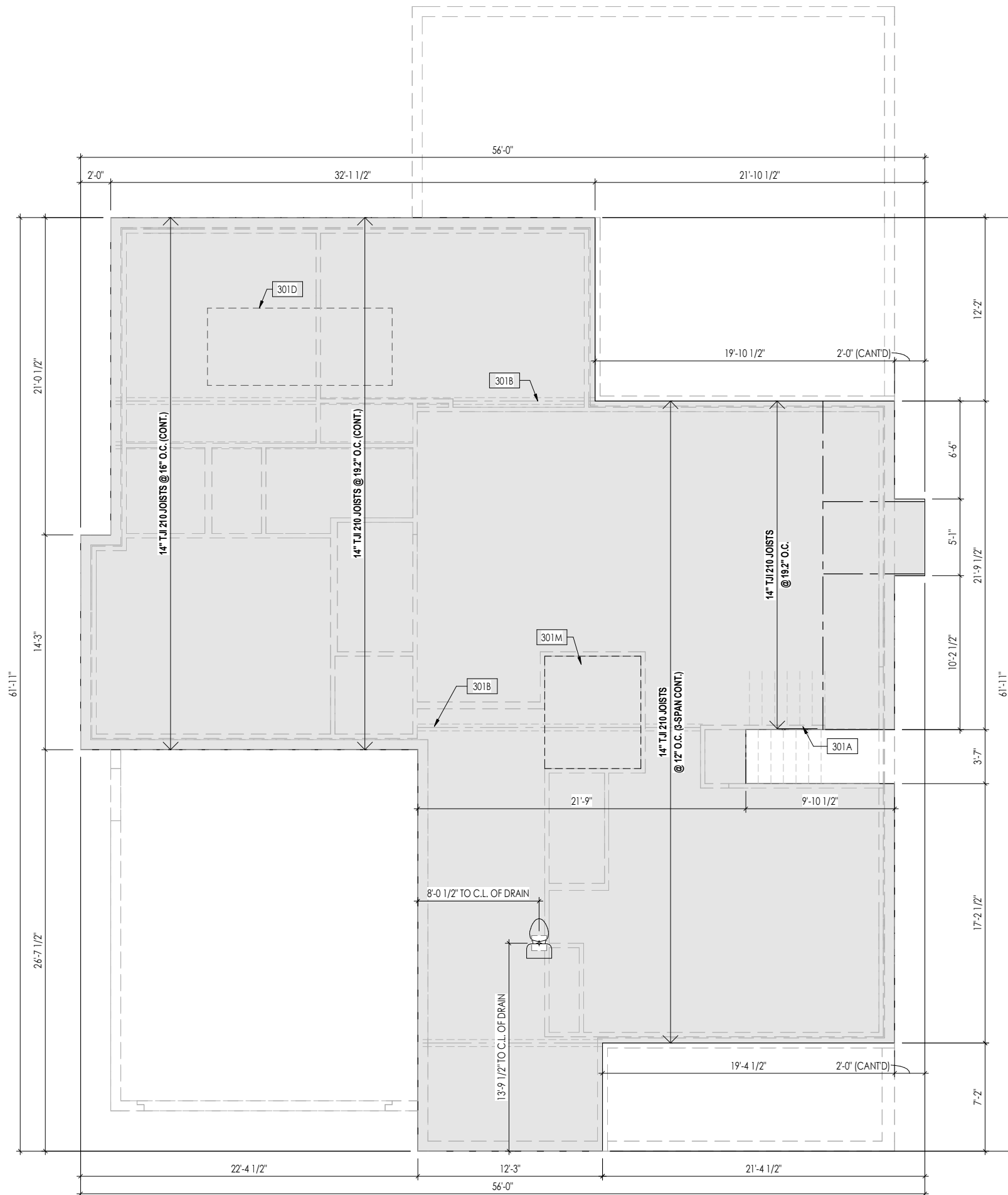
Space for Architect Seal

**REISSUED: 07/13/2023**

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: DOYL-0133-00	Drawing Date: 06/08/23	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: Brian W.			Series: N/A
Born on Date: 08/27/2023			CDs Drawn By: SSP
Plan No.: N/A			

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**General Notes:**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- FLOOR JOISTS TO BE 14" TJI 210 SERIES, UNLESS OTHERWISE NOTED.
- JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
- ADD'L JOISTS MAY BE LOCATED UP TO 2' AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

**Key Notes:**

301A BEARING WALL BELOW

301B BEAM BELOW - SEE FOUNDATION PLAN FOR MORE INFO

301D OUTLINE OF KITCHEN ISLAND ABOVE - DOUBLE EVERY OTHER JOIST IN THIS AREA (MIN. 2 INSTANCES)

301M OHIO ONLY: AREA OF SUBFLOOR TO BE FIREBLOCKED AT PERIMETER TO KEEP SEPARATE FROM THE REST OF FLOOR ASSEMBLY, COMPLYING WITH RCO 302.12 EXCEPTION 3.2

Space for Architect Seal

**REISSUED: 07/13/2023**


**RESIDENCE FOR:**  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'0"	
Born on Date: 08/27/2023		CDs Drawn By: SSP	

Contract Drawn By:  
**Brian W.**

Series:  
N/A

Plan No.:  
N/A



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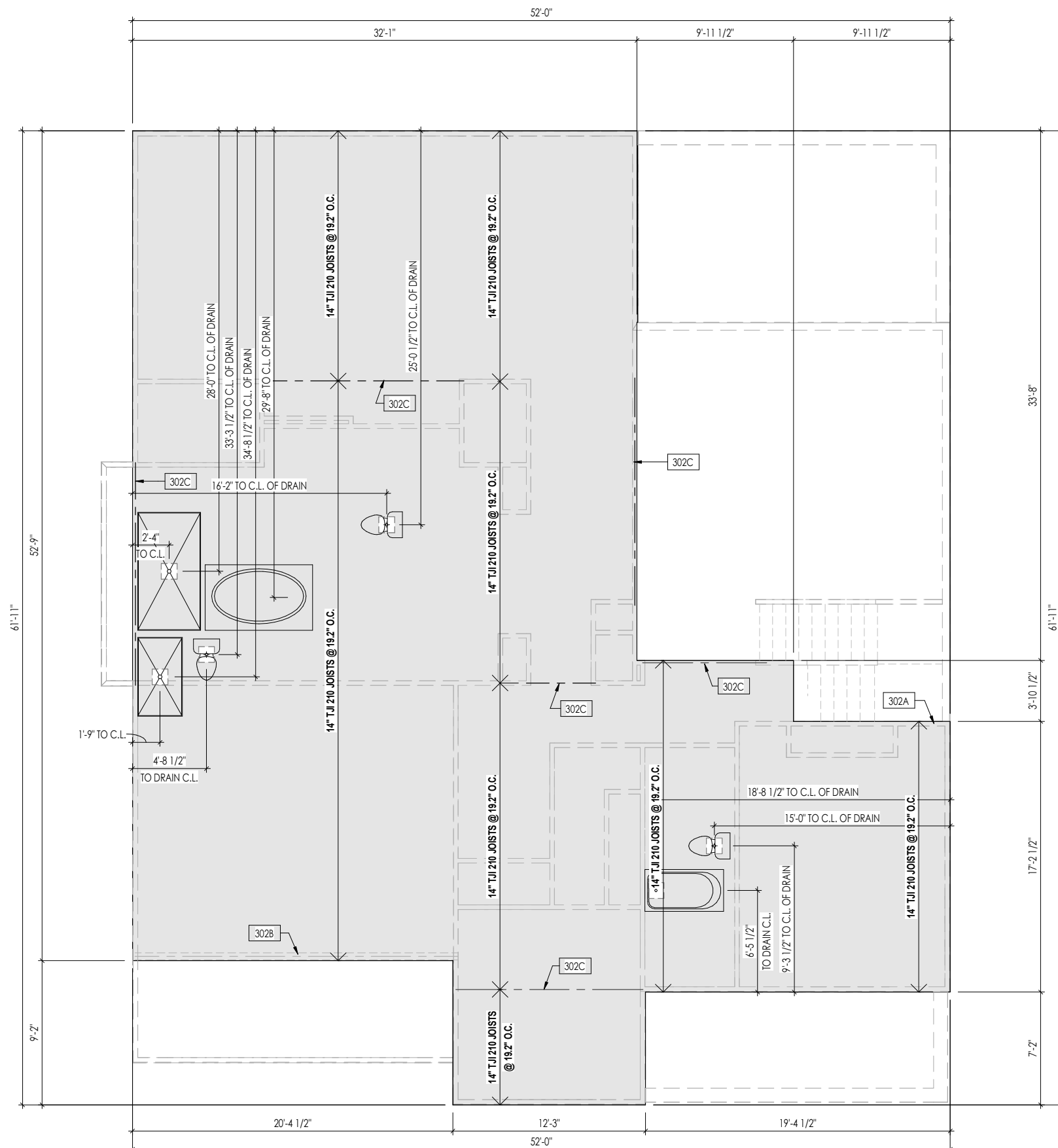
Sheet Information

# 3.01

**First Floor Subfloor Plan**  
Elevation "V"

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**General Notes:**

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. FLOOR JOISTS TO BE " " TJI " " SERIES, OR EQUAL, @ " " O.C., UNLESS OTHERWISE NOTED.
3. JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
4. ADDL JOISTS MAY BE LOCATED UP TO 2' AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

**Key Notes:**

302A BEARING WALL BELOW

302B BEAM BELOW - SEE SHEET 2.01S FOR MORE INFO

302C FLUSH BEAM - SEE SHEET 2.01S FOR MORE INFO

Space for Architect Seal

**REISSUED: 07/13/2023**

**RESIDENCE FOR:**  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

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Born on Date: 08/27/2023		CDs Drawn By: SSP	
Drawing Scale: 1/8" = 1'0"		Series: N/A	
		Plan No.: N/A	

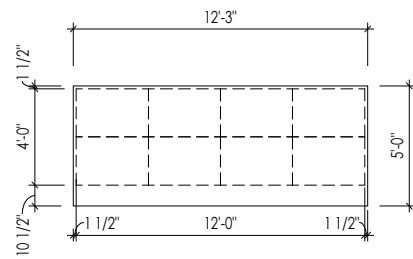


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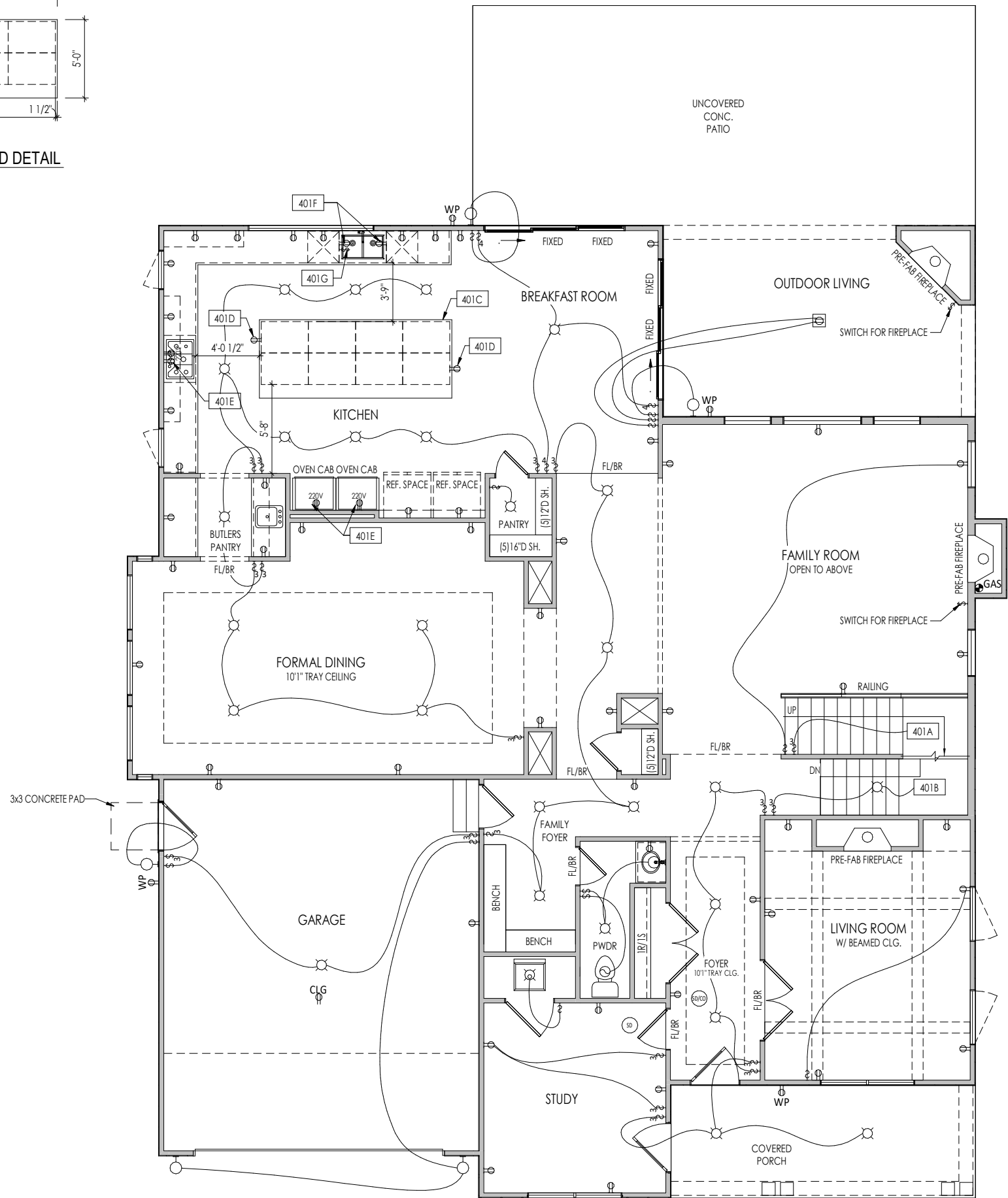
**3.02**  
Second Floor Subfloor Plan  
Elevation "V"

Sheet Information

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**A** KITCHEN ISLAND DETAIL  
1/8" = 1'-0"



**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

- 401A TO SWITCH OR LIGHT ABOVE
- 401B TO SWITCH OR LIGHT BELOW
- 401C RE: DETAIL A/4.01 FOR KITCHEN ISLAND COUNTERTOP DIMENSIONS
- 401D HOLD OUTLET HIGH ON ISLAND
- 401E OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENTED TO EXTERIOR
- 401F OUTLET FOR DISHWASHER LOCATED IN SINK CABINET
- 401G SWITCH FOR GARBAGE DISPOSAL LOCATED IN SINK CABINET

**MECHANICAL LEGEND**

- ◀ DATA JACK
- ⊖ WALL OUTLET
- ☐ WEATHERPROOF GFCI OUTLET
- ⊖ 220 VOLT OUTLET
- ⊖ GFCI OUTLET
- ⊖ FLOOR OUTLET
- ⊖ CABLE TELEVISION JACK
- ⊖ SINGLE POLE SWITCH
- ⊖ 3-WAY SWITCH
- ⊖ 4-WAY SWITCH
- ⊖ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)
- ⊖ CLG. MOUNTED LIGHT FIXT.
- ⊖ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
- ⊖ WALL MOUNTED LIGHT FIXT.
- ⊖ DOUBLE SPOTLIGHT FIXT.
- ⊖ DIRECTIONAL CAN LIGHT
- ⊖ PIN LIGHT
- ⊖ WALL SCONCE @ 5'-6" A.F.F.
- ⊖ FLUORESCENT LIGHT
- ⊖ UNDER CABINET LIGHTING
- ⊖ STAIR LIGHT
- ⊖ HOSE BIB
- ⊖ SHOWER HEAD
- ⊖ GAS HOOK UP
- ⊖ FLOOR DRAIN
- ⊖ SMOKE DETECTOR
- ⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION
- ⊖ EXHAUST FAN AND LIGHT COMBINATION
- ⊖ CLG. MTD. EXHAUST FAN

Space for Architect Seal

**REISSUED: 07/13/2023**

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
Drawing Scale: 1/8" = 1'0"			Series: N/A
Plan No.:			N/A

**4.01**

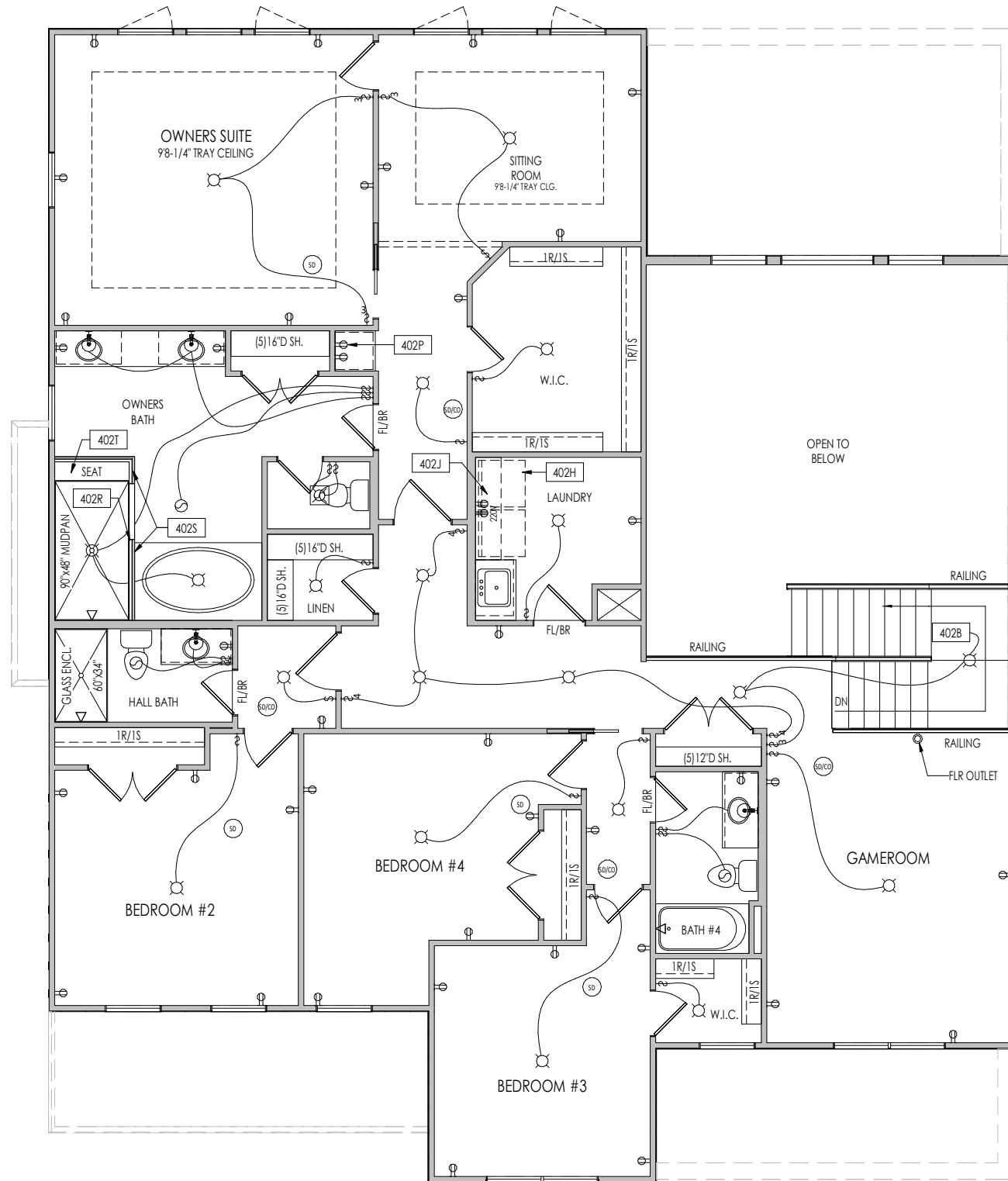
First Floor Mechanical Plan  
Elevation "V"

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Phone: [440] 717-9670

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PROVIDE 8' TALL DOORS  
THROUGHOUT FIRST FLOOR



**General Notes:**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

**Key Notes:**

402B	TO SWITCH OR LIGHT BELOW
402H	LOCATE WASHER TO LEFT OF DRYER
402J	UPPER WALL CABINETS OR 16" DEEP x 56" LONG SHELF HELD AT 57" A.F.F. - REFER TO SELECTIONS
402P	HOLD OUTLET LOW FOR UNDER-COUNTER FRIDGE/COOLER
402R	LOCATE SHOWER CONTROLS HERE
402S	36" HIGH TILED WALL
402T	TILED SHOWER SEAT - SLOPE 3/4" FOR WATER RUN-OFF OVER FLEXIBLE CHLORINATED POLYETHYLENE WATERPROOF MEMBRANE (CONTINUE OVER FRONT AND BACK OF SEAT)

**MECHANICAL LEGEND**

◀ DATA JACK	○ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊖ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊖ WEATHERPROOF GFCI OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊖ 220 VOLT OUTLET	○ DOUBLE SPOTLIGHT FIXT.	⊖ GAS HOOK UP
⊖ GFCI OUTLET	○ DIRECTIONAL CAN LIGHT	⊖ FLOOR DRAIN
⊖ FLOOR OUTLET	○ PIN LIGHT	⊖ SMOKE DETECTOR
⊖ CABLE TELEVISION JACK	⊖ WALL SCONCE @ 5'-6" A.F.F.	⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊖ SINGLE POLE SWITCH	⊖ FLUORESCENT LIGHT	⊖ EXHAUST FAN AND LIGHT COMBINATION
⊖ 3-WAY SWITCH	⊖ UNDER CABINET LIGHTING	⊖ CLG. MTD. EXHAUST FAN
⊖ 4-WAY SWITCH		
⊖ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal

**REISSUED: 07/13/2023**

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Contract Drawn By: <b>Brian W.</b>	
Born on Date: 08/27/2023		CDs Drawn By: SSP	Plan No.: <b>N/A</b>

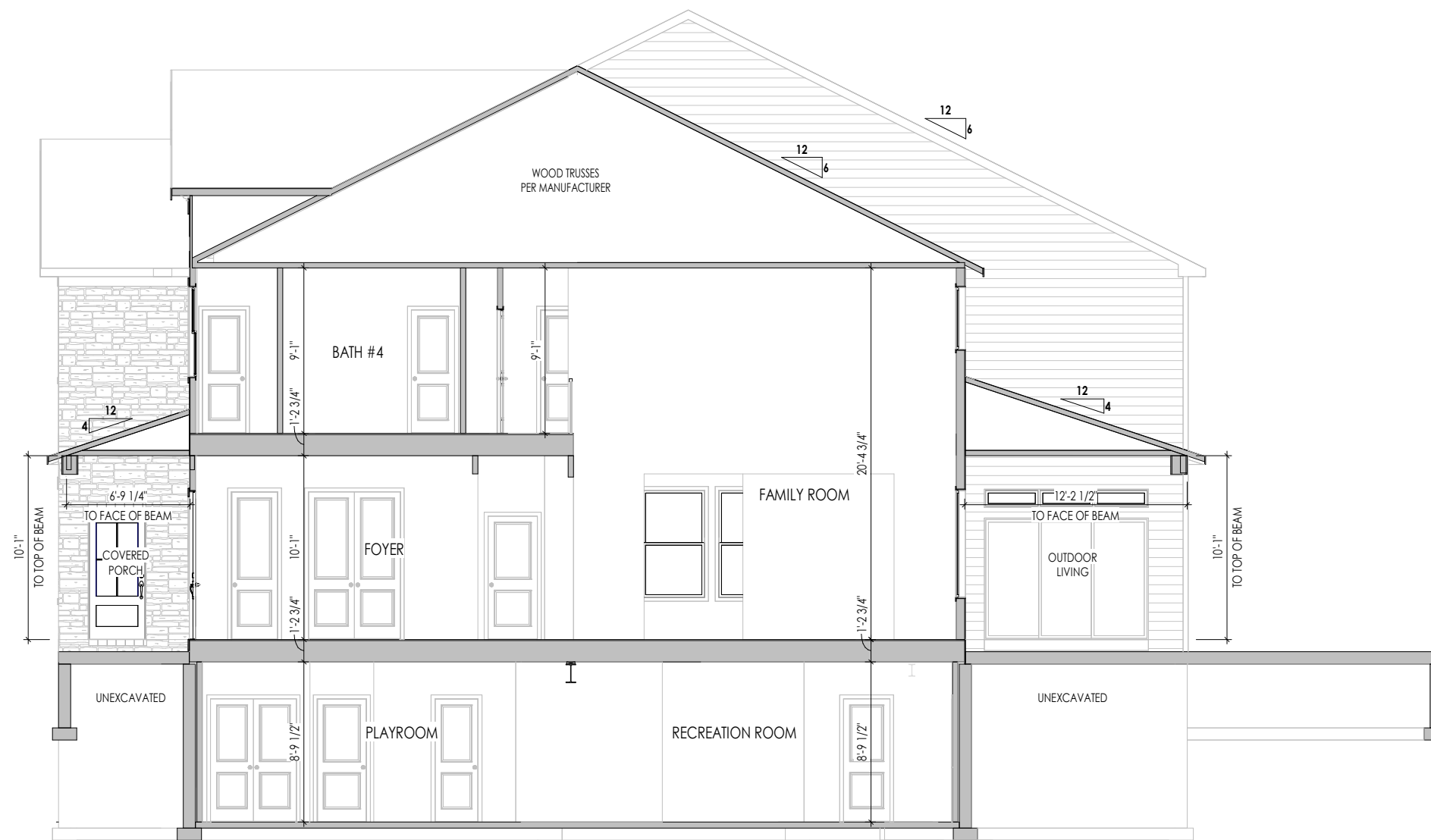
4.02

Second Floor Mechanical Plan  
Elevation "V"

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**A**  
5.01 SECTION THRU FOYER  
1/8" = 1'-0"

General Notes:  
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
Drawing Scale: 1/8" = 1'0"			Series: N/A
			Plan No.: N/A

**Drees HOMES**  
SM  
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Sheet Information

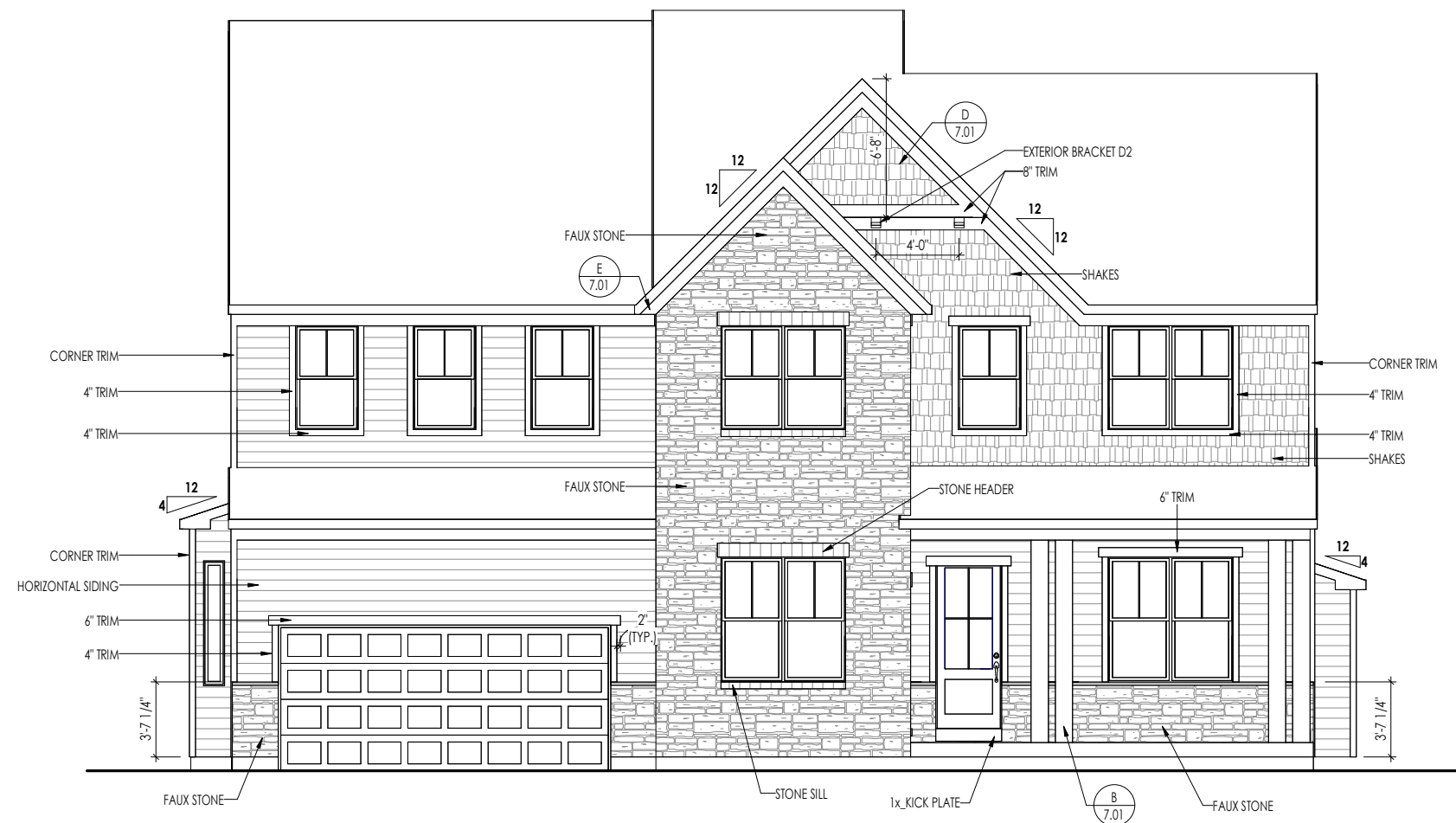
**5.01**  
Building Section  
Elevation "V"

**REISSUED: 07/13/2023**

<b>TYPICAL TRIM:</b>
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes:**
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - ROOFING MATERIAL PER SELECTIONS.
  - REFER TO SHEET S-0 FOR LINTEL SCHEDULE.
  - CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE (IF APPLICABLE)

**Key Notes:**

**REISSUED: 07/13/2023**

Space for Architect Seal

**RESIDENCE FOR:**  
**Mark and Shifra Friedman**  
 2519 Claver Road  
 Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>Brian W.</b>
Born on Date: 08/27/2023			CDs Drawn By: SSP
			<div style="writing-mode: vertical-rl; transform: rotate(180deg); font-size: 8px;">Sheet Information</div> <div style="font-size: 24px; font-weight: bold;">6.01</div> <div style="font-size: 10px;">Front Elevation Elevation "V"</div>
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<b>TYPICAL TRIM:</b>
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes:**
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - ROOFING MATERIAL PER SELECTIONS.
  - REFER TO SHEET S-0 FOR LINTEL SCHEDULE.
  - CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE (IF APPLICABLE)

**Key Notes:**

Space for Architect Seal



**REISSUED: 07/13/2023**

<b>RESIDENCE FOR:</b>			
<b>Mark and Shifra Friedman</b>			
2519 Claver Road			
Drees On Your Lot, University Heights OH			
Job Number: DOYL-0133-00	Drawing Date: 06/08/23	Coord Name: Luke R.	Coord Phone: 859 578-4212
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	
		Contract Drawn By: Brian W.	
		Series: N/A	
Born on Date: 08/27/2023		CDs Drawn By: SSP	
		Plan No.: N/A	

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		<p><b>Garage Side Elevation</b> Elevation "V"</p>

<b>TYPICAL TRIM:</b>
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

**General Notes:**

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO SHEET S-0 FOR LINTEL SCHEDULE.

**Key Notes:**

Space for Architect Seal



**REISSUED: 07/13/2023**

<b>RESIDENCE FOR:</b>			
<b>Mark and Shifra Friedman</b>			
2519 Claver Road			
Drees On Your Lot, University Heights OH			
Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Contract Drawn By: <b>Brian W.</b>	
		Series: <b>N/A</b>	
Born on Date: 08/27/2023		CDs Drawn By: SSP	Plan No.: <b>N/A</b>

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<b>TYPICAL TRIM:</b>
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

**General Notes:**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING MATERIAL PER SELECTIONS.
- REFER TO SHEET S-0 FOR LINTEL SCHEDULE.

**Key Notes:**

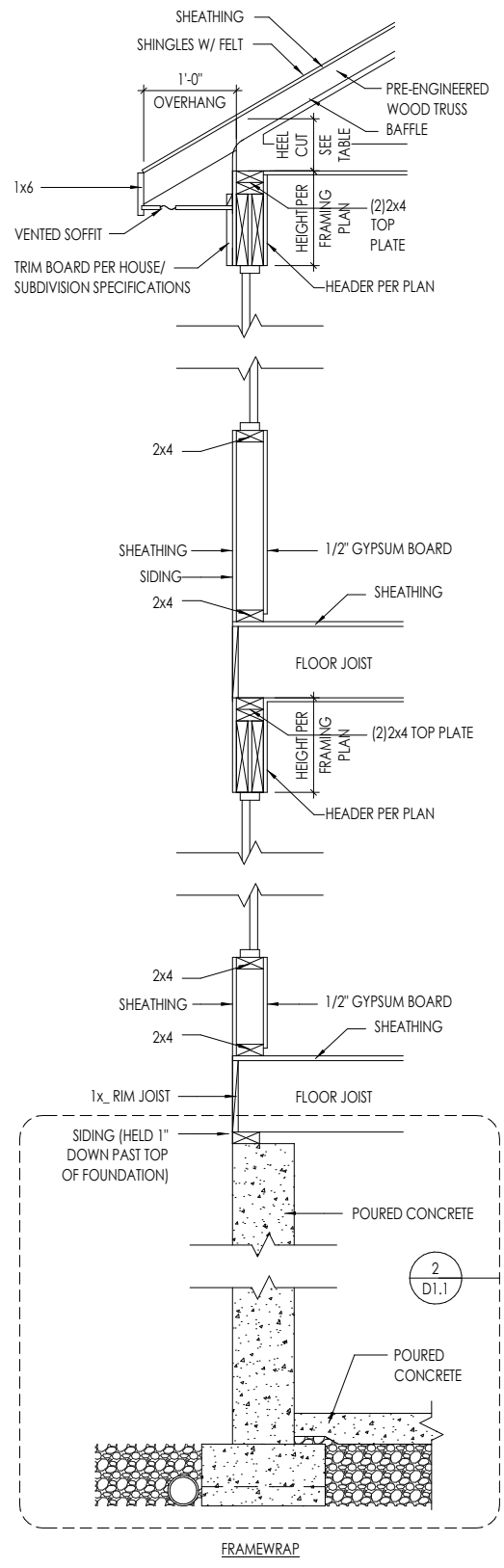
Space for Architect Seal



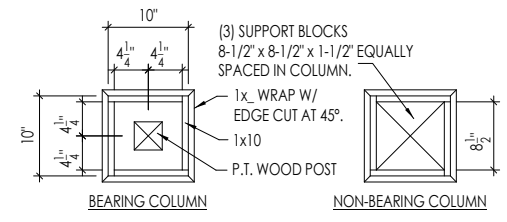
**REISSUED: 07/13/2023**

<b>RESIDENCE FOR:</b>			
<b>Mark and Shifra Friedman</b>			
2519 Claver Road			
Drees On Your Lot, University Heights OH			
Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Contract Drawn By: <b>Brian W.</b>	
		Series: <b>N/A</b>	
Born on Date: <b>08/27/2023</b>		CDs Drawn By: <b>SSP</b>	
		Plan No.: <b>N/A</b>	

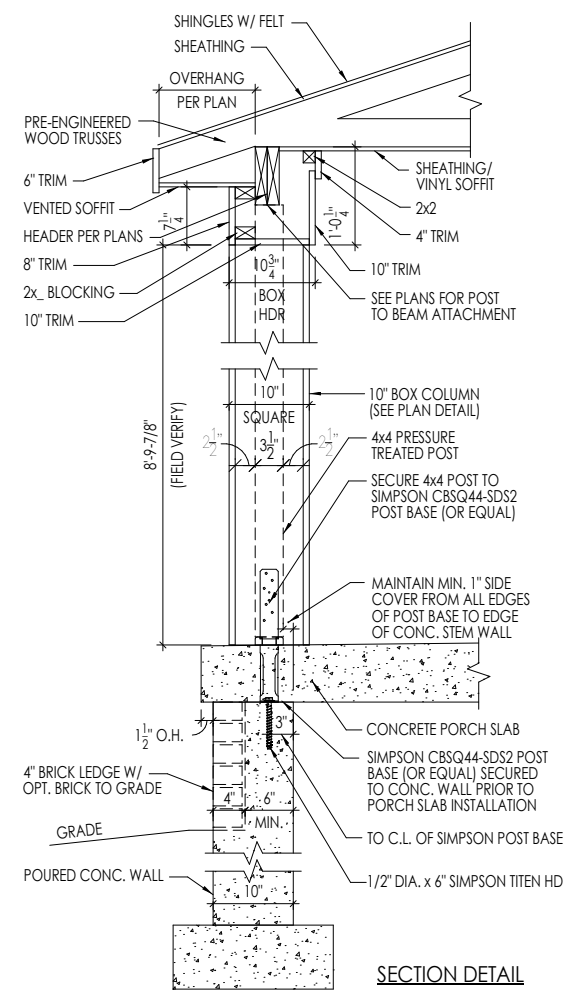
<p><b>Drees HOMES</b> SM</p> <p><small>Copyright © 2023 (2023) The Drees Company. All Rights Reserved. 6860 West Snowville Road, Suite 105, Brecksville, OH 44141-3242 Phone: [440] 717-9670</small></p>	<p>Sheet Information</p>	<p><b>6.04</b></p> <p>Side Elevation Elevation "V"</p>
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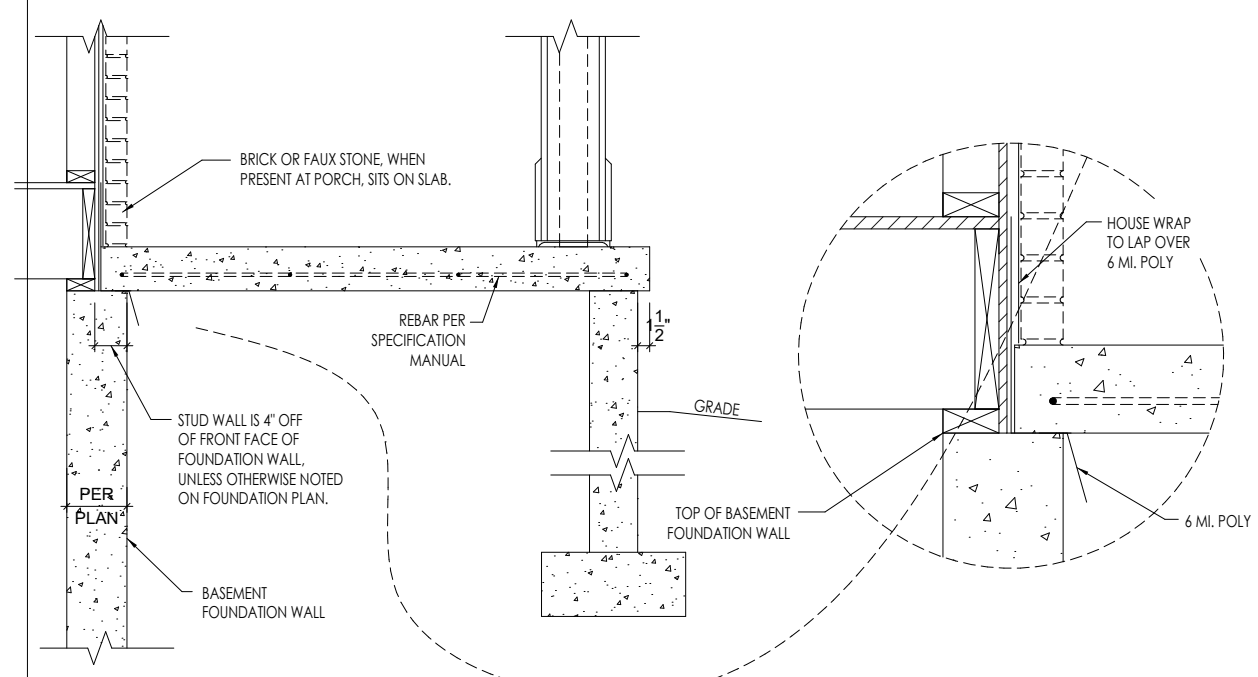
**A** WALL SECTION  
7.01 SCALE: 1/2" = 1'-0"



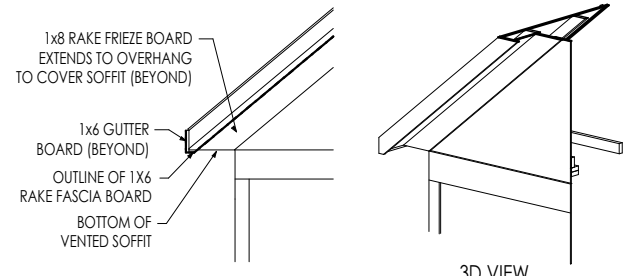
**10" BOX COLUMN - PLAN DETAIL**



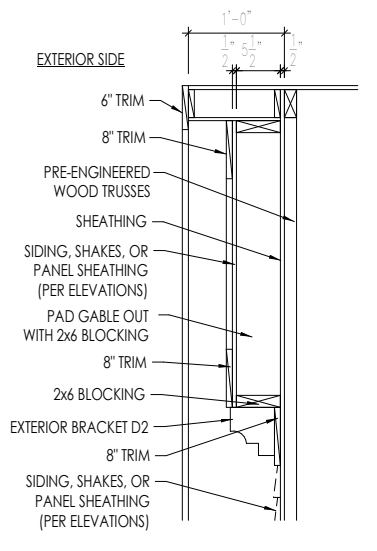
**B** 10" BOX COLUMN DETAILS  
7.01 SCALE: 1/2" = 1'-0"



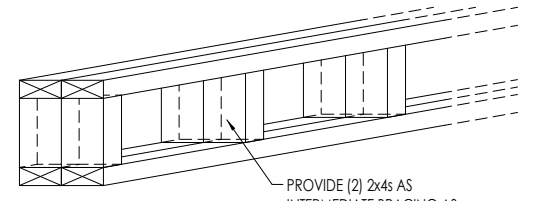
**G** TYPICAL SECTION THROUGH PORCH SLAB  
7.01 SCALE: 1/2" = 1'-0"



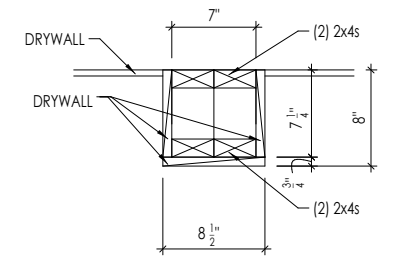
**E** RAFTER TAIL DETAIL  
7.01 SCALE: 1/4" = 1'-0"



**D** GABLE PAD-OUT DETAIL  
7.01 SCALE: 1/2" = 1'-0"



**ISOMETRIC VIEW**



**SECTION**

**H** COFFERED/BEAM CEILING DETAIL  
7.01 SCALE: 1/4" = 1'-0"

Space for Architect Seal

RESIDENCE FOR:  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Contract Drawn By: <b>Brian W.</b>	
Born on Date: 08/27/2023		CDs Drawn By: SSP	Plan No.: <b>N/A</b>

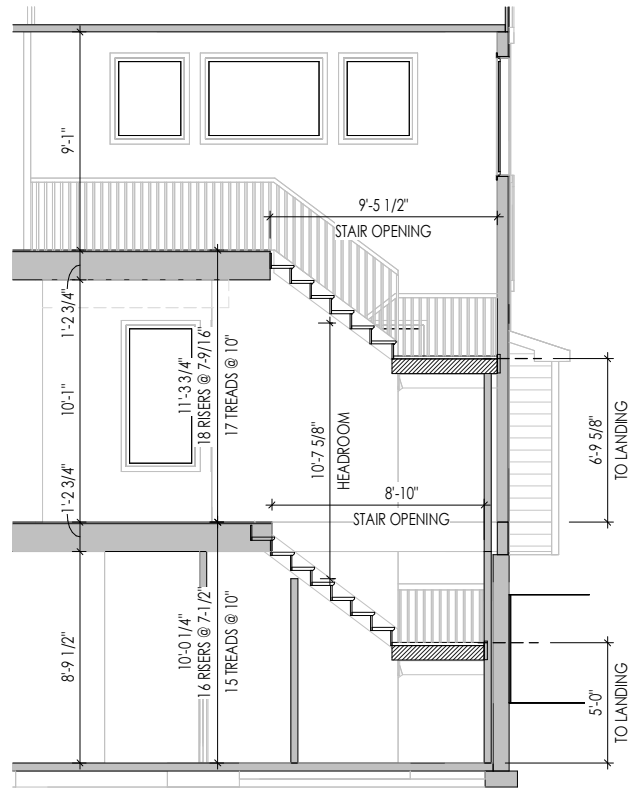
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SM  
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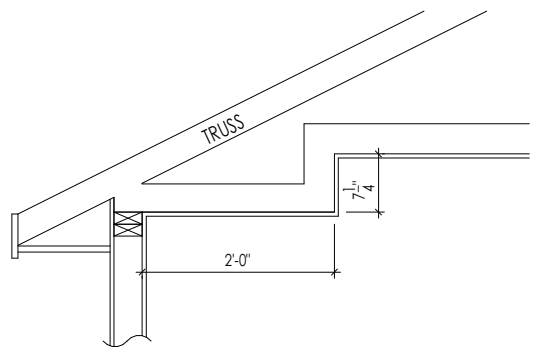
**7.01**  
House Specific Details  
Elevation "V"

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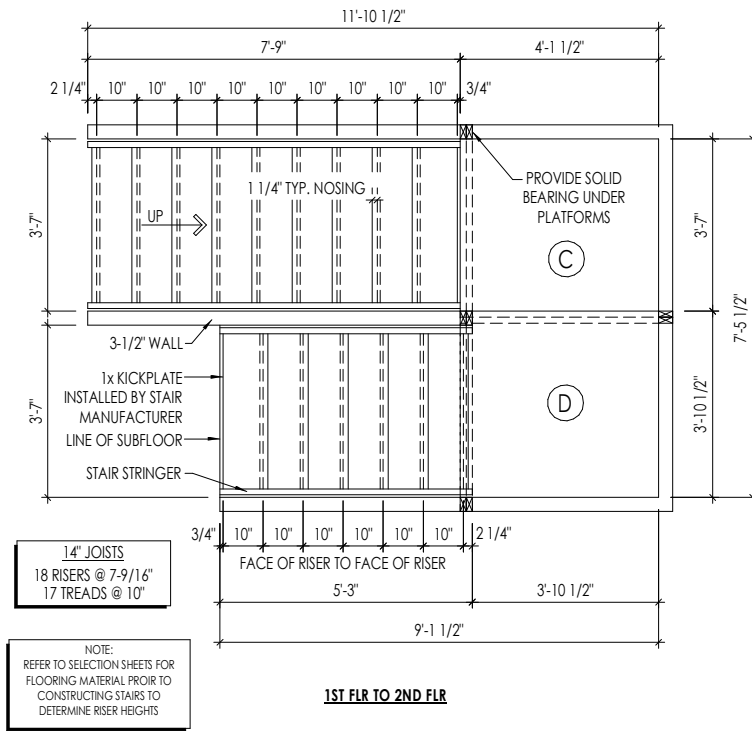
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**B STAIR SECTION**  
7.02  
1/8" = 1'-0"

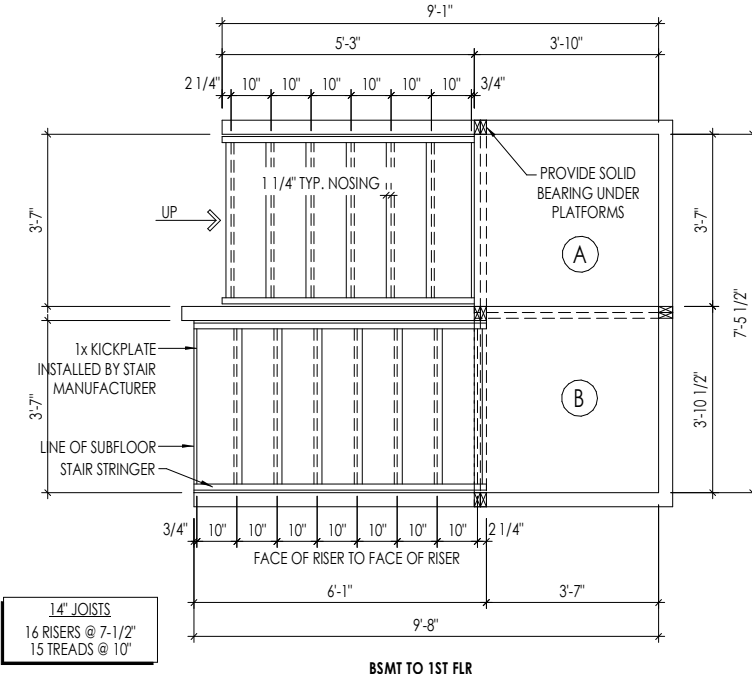


**C TRAY CEILING DETAIL**  
7.02  
SCALE: 1/2" = 1'-0"



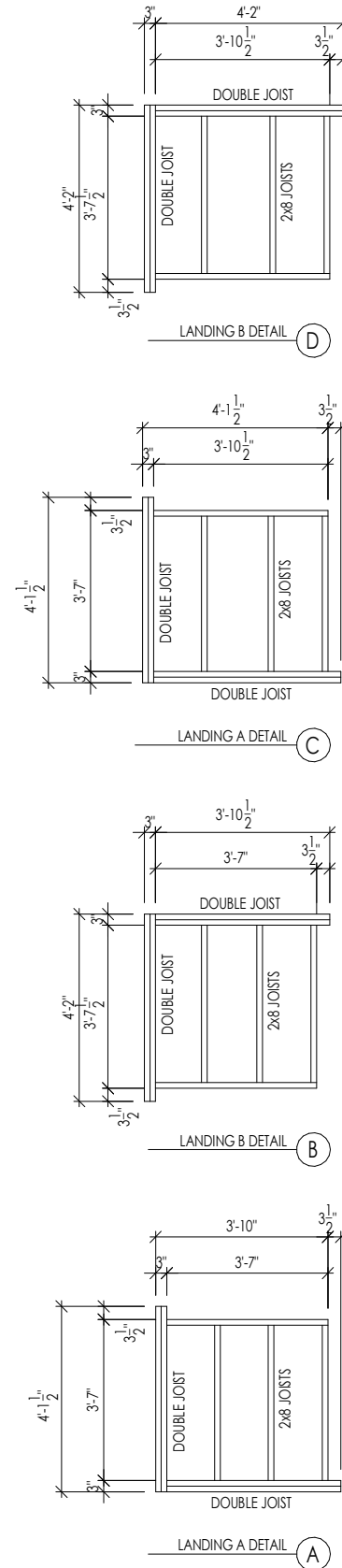
**14" JOISTS**  
18 RISERS @ 7-9/16"  
17 TREADS @ 10"

NOTE:  
REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS



**14" JOISTS**  
16 RISERS @ 7-1/2"  
15 TREADS @ 10"

**A STAIR FRAMING DETAILS**  
7.02  
SCALE: 1/4" = 1'-0"



**General Notes:**  
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.  
2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS

**Key Notes:**


Space for Architect Seal

**REISSUED: 07/13/2023**

**RESIDENCE FOR:**  
**Mark and Shifra Friedman**  
2519 Claver Road  
Drees On Your Lot, University Heights OH

Job Number: <b>DOYL-0133-00</b>	Drawing Date: <b>06/08/23</b>	Coord Name: <b>Luke R.</b>	Coord Phone: <b>859 578-4212</b>
House Name: <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'-0"	
Born on Date: <b>08/27/2023</b>		CDs Drawn By: <b>SSP</b>	

Contract Drawn By:  
**Brian W.**  
Series:  
**N/A**  
Plan No.:  
**N/A**

  
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7.02

House Specific Details  
Elevation "V"

Sheet Information

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**CONNECTION SPECIFICATIONS (TYP. U.N.O.)**

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLKG.	10d NAILS @ 6" O.C.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" O.C.
BLKG. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" O.C.
R.T. W/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ 10d TOENAILS @ 6" O.C.
R.T. W/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ 10d TOENAILS @ 6" O.C.
R.T. W/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ 8d NAILS @ 6" O.C.
R.T. W/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN W/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL.
DOUBLE STUD	10d NAILS @ 24" O.C.
DOUBLE TOP PLATE	10d NAILS @ 24" O.C.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

**GARAGE SLAB**

4" CONC. SLAB W/ 6x6-WI.4xWI.4 W/MF ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

**PORCH SLAB**

4" CONC. SLAB W/ 6x6-WI.4xWI.4 W/MF ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

**BASEMENT SLAB**

4" CONC. SLAB ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

**SLAB ON GRADE**

4" CONC. SLAB W/ 6x6-WI.4xWI.4 W/MF ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

**VENEER LINTEL SCHEDULE**

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L4"x3"x1/4"
6'-0"	9 FT. MAX	L4"x3"x1/4"
	16 FT. MAX	L5"x3"x3/8"
8'-0"	6 FT. MAX	L5"x3"x3/8"
9'-6"	3 FT. MAX	L5"x3"x3/8"
12'-0"	2 FT. MAX	L5"x3"x3/8"

ALL LINTELS:  
 - SHALL SUPPORT 2 3/4" - 3 1/2" VENEER W/ 40 PNF MAXIMUM HEIGHT.  
 - 1/2" SHALL HAVE 4" MIN. BEARING  
 - 3/4" SHALL HAVE 6" MIN. BEARING  
 - 1" SHALL NOT BE FASTENED BACK TO HEADER.  
 - 1 1/2" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @ 48" O.C. W/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.  
 - MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING.  
 - ALL LINTELS SHALL BE LONG LEGS VERTICAL.  
 - ALL LINTELS SHALL BE MADE OF 36 KSI STEEL.  
 - WHEN SUPPORTING VENEER & UP WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 3/4" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR HORIZONTAL JOINT FINISHING.  
 - SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.  
 MKS STD. - MAY 2006

**LEGEND**

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE
- ▬ BEAM / HEADER
- ▬ EXTENT OF OVERFRAMING
- JL METAL HANGER
- ▬ INDICATES EXTENT OF INT. OSB SHEARWALL, BLOCKED PANEL EDGES, AND/OR 3" O.C. EDGE NAILING
- ▷ INDICATES HOLDOWN
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

**ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER**

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:  
 A. ROOF TRUSSES:  
 1/4" DEAD LOAD  
 B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:  
 1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFLECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

**GENERAL STRUCTURAL NOTES**

**FOUNDATION**

- DESIGN IS BASED ON 2019 OHIO RESIDENTIAL CODE.
- FOOTING DESIGN - 1500 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C. 1" MIN. EMBEDMENT
  - SIMPSON MAB STRAPS @ 32" O.C.
  - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
  - F<sub>c</sub> = 4000 psi: FOUNDATION WALLS
  - 3000 psi: FOOTINGS & INTERIOR SLABS ON GRADE
  - 3500 psi: GARAGE & EXTERIOR SLABS ON GRADE
  - f<sub>y</sub> = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 8' OR 9' HEIGHT (AS NOTED ON PLAN)
  - TALLER WALLS MUST BE ENGINEERED.
  - NOMINAL WIDTH (8" FOR 8' WALL, 10" FOR 10' WALL).
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
  - 30 PCF TYPE (GM, GP, SM, SP)
  - 45 PCF TYPE (GM, GC, SM, SM-SC, ML)
  - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.
  - FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 W/ (2)2x6 JACK STUDS, U.N.O.
  - LARGER OPENINGS SHALL BE PER PLAN.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MKS STD. - MAY 2002

**LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS**

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**115 MPH WIND IN 2019 RCO MAP**  
 (115 MPH WIND SPEED IN ASCE 7 WIND MAP) EXP. B & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2017 OBC (SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2019 RCO. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF SECTION R602.10 WITHIN THE 2019 RCO.

**EXT. WALL SHEATHING SPECIFICATION**

- 7/16" OSB OR 15/32" PLYWOOD:  
 FASTEN SHEATHING W/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES @ EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.
- 3" O.C. EDGE NAILING**
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

**NOTES**

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

**GENERAL STRUCTURAL NOTES**

**FLOOR FRAMING**

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS").
- AT 1-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STURD-I-FLOOR" 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND:
  - 2 3/8" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
  - 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
  - 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

**ROOF FRAMING**

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - W/ 2 3/8" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.  
 - W/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.  
 - W/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H2.5A CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5A CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5A CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER W/CA & TP1'S BCSI 1 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES W/ 2x4 LEDGER FASTENED TO FRAMING W/ (2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 1" SPAN).

**MEANS & METHODS NOTES**

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

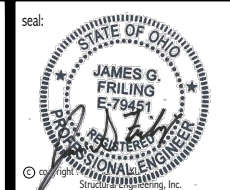
STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

**GENERAL STRUCTURAL NOTES**

- DESIGN IS BASED ON 2019 OHIO RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:
  - ROOF: SNOW = 23 PSF (30 PSF GROUND SNOW, REDUCED) DEAD = 1 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.15
  - FLOOR: LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS & SOLID SAWN) ADDL 10 PSF @ CERAMIC TILE IN KITCHEN, BATHS, SUNROOM, & LAUND.
  - SOIL: 1500 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

**GENERAL FRAMING**

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFF "STUD" GRADE LUMBER, OR BETTER, U.N.O.
  - WALLS OVER 10' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN) OR PROVIDE MID HT. BLOCKING.
- ALL 2x6, 2x10, & 2x12 HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE HEM-FIR #2 (HF) LUMBER, OR BETTER.
- ALL 2x6 HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SFF "STUD" GRADE LUMBER, OR BETTER.
- SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX. U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - LSL 1' - Fv=2325 psi; Fv=310 psi; E=1.55x10<sup>6</sup> psi
  - LVL 1' - Fv=2600 psi; Fv=265 psi; E=2.0x10<sup>6</sup> psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - LVL 1' - Fv=2400 psi; FcII=2500 psi; E=1.8x10<sup>6</sup> psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 14" OR GREATER. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s ("HILTI" XU PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- STEEL PIPE COLUMN "ASD CAPACITIES" SHALL MEET OR EXCEED THE LOADS PROVIDED AT EACH STEEL PIPE COLUMN LOCATION ON PLAN. COLUMNS ARE TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENT THAT ACHIEVES THE RATED CAPACITY USED, INCLUDING BUT NOT LIMITED TO POSITIVE CONNECTIONS AT THE TOP AND BOTTOM OF THE COLUMN. TWO COLUMNS MAY BE USED UNDER CONTINUOUS BEAMS TO ACHIEVE THE FULL PLAN SPECIFIED REQUIRED CAPACITY IF INSTALLED CENTERED ON THE EXISTING FOOTING/ PLAN SPECIFIED SINGLE COLUMN LOCATION.



Mulhern+Kulp project number: **085-10019**  
 project mgr: **BSM**  
 drawn by: **BJD**  
 issue date: **12-13-22**  
 REVISIONS:  
 date: \_\_\_\_\_ initial: \_\_\_\_\_

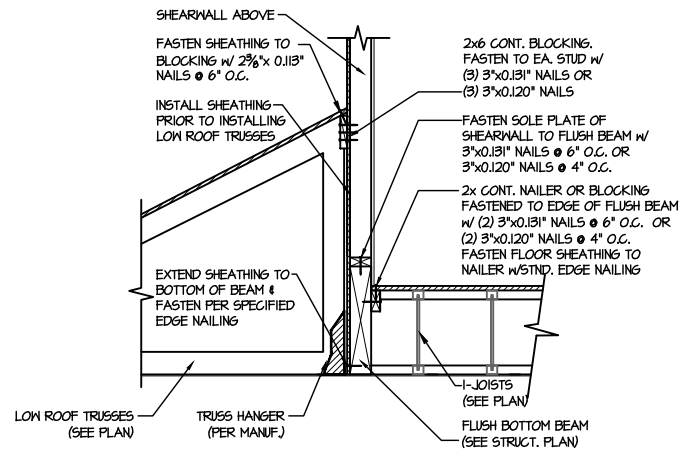


STRUCTURAL NOTES  
**BUCHANAN MODEL**  
**MIDWEST DIVISION**  
 OHIO

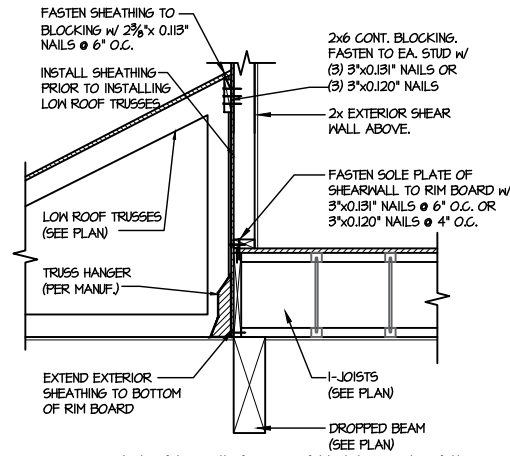


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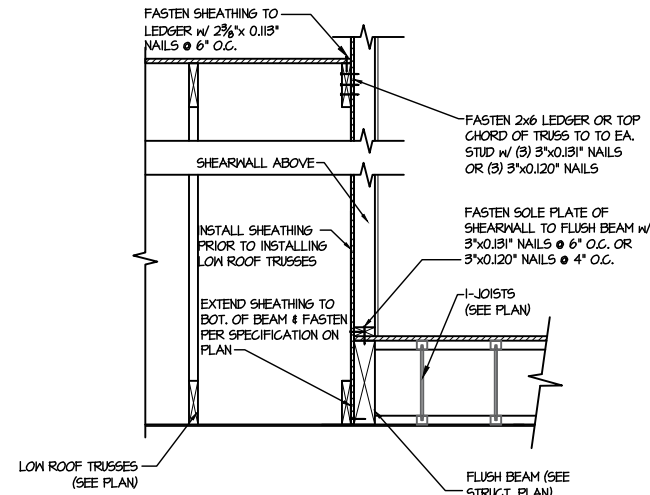




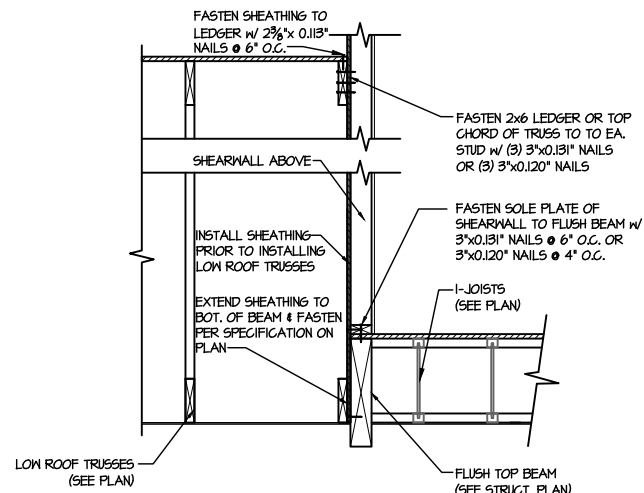
**57** SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



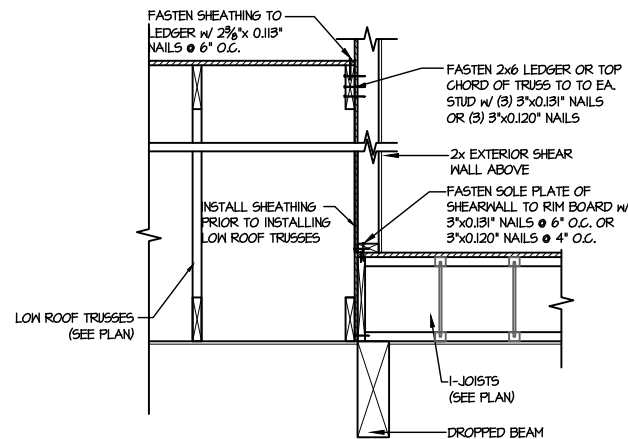
**60** TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"



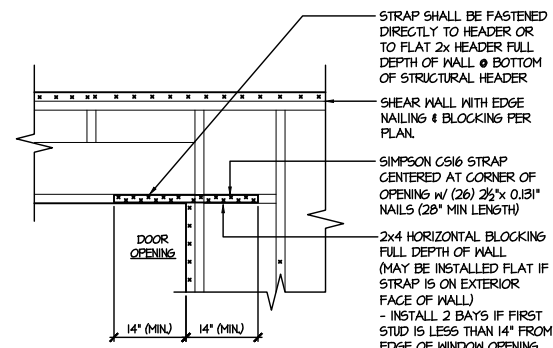
**68** SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



**71** SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"

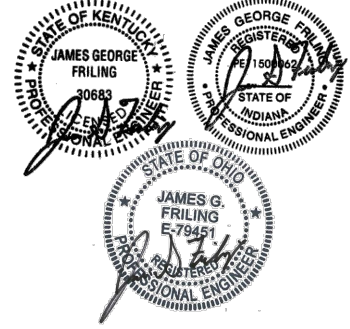


**72** TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"



- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
- WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHTG. & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

**91** TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION  
SCALE: NTD



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Mulhern+Kulp project number:

085-10019

project mgr:

BSM

drawn by:

BJD

issue date:

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REVISIONS:

date:

initial:



STRUCTURAL NOTES

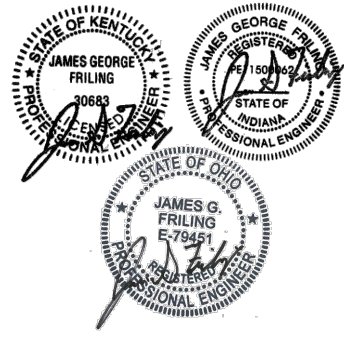
BUCHANAN MODEL  
MIDWEST DIVISION

MID-WEST

sheet:

SD-1

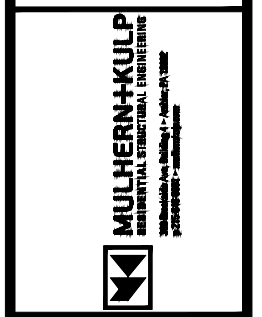
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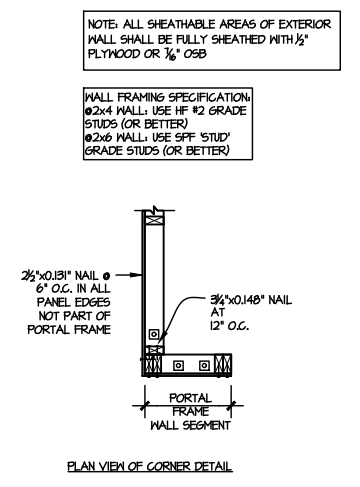
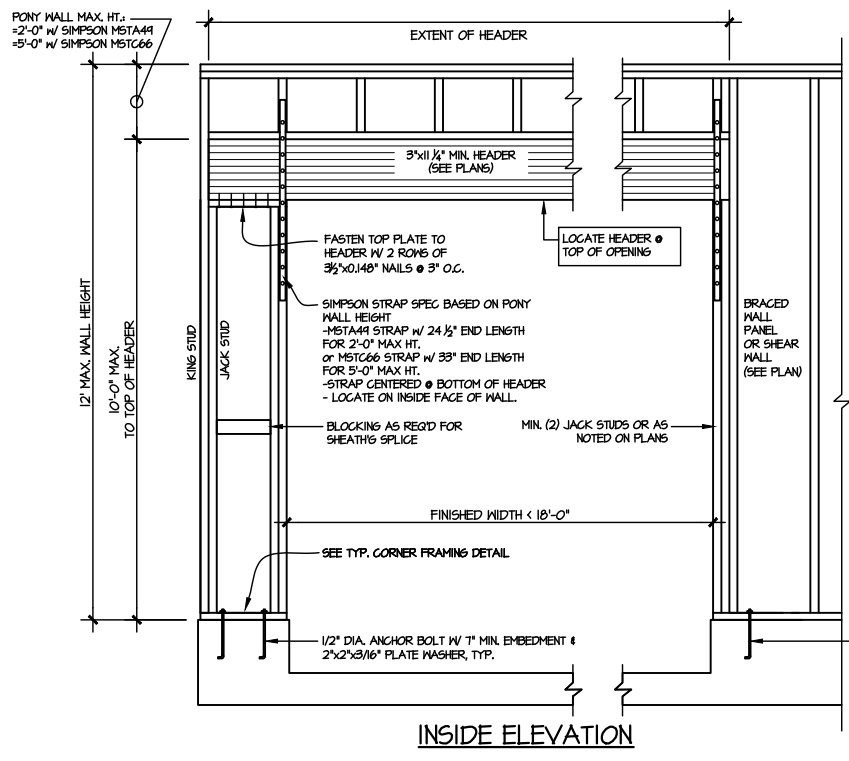
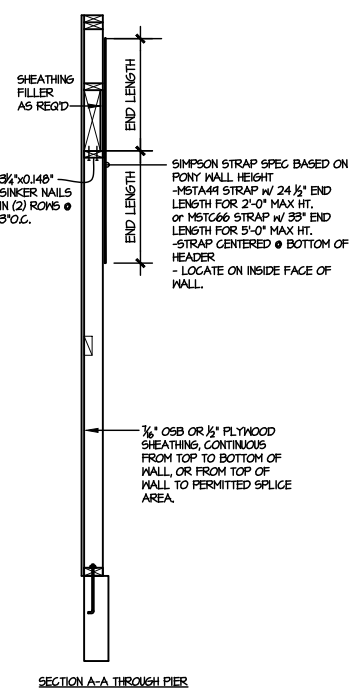
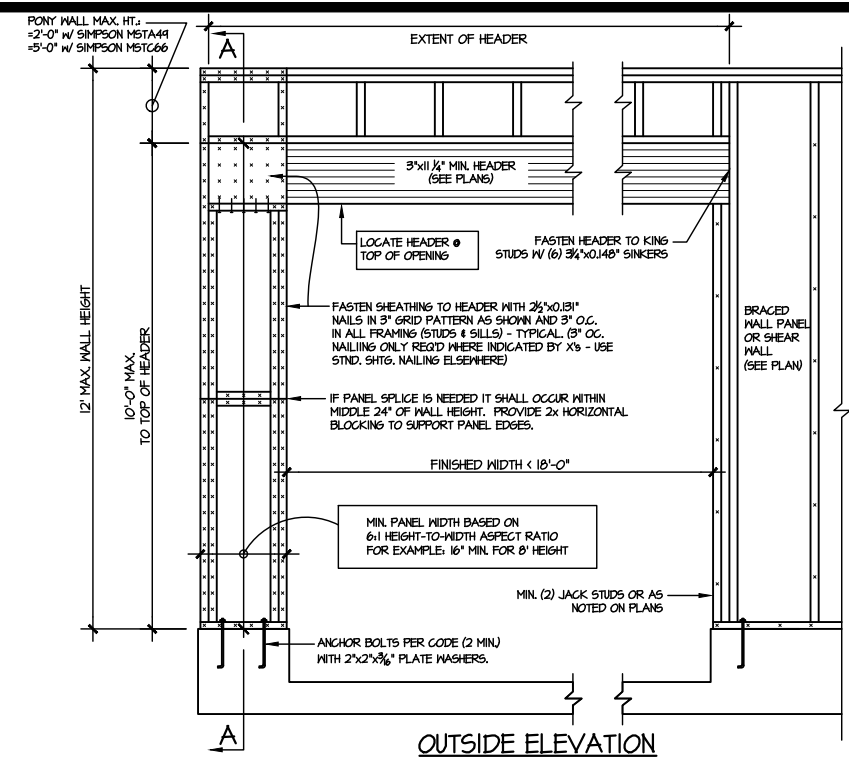
Mulhern+Kulp project number:  
 085-10019  
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 date: initial:



STRUCTURAL NOTES  
 BUCHANAN MODEL  
 MIDWEST DIVISION  
 MID-WEST

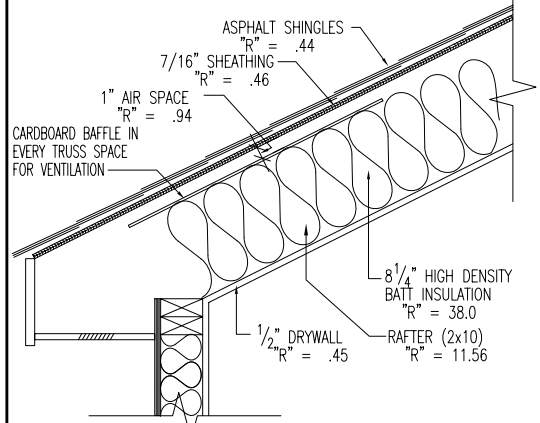
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**SD-2**

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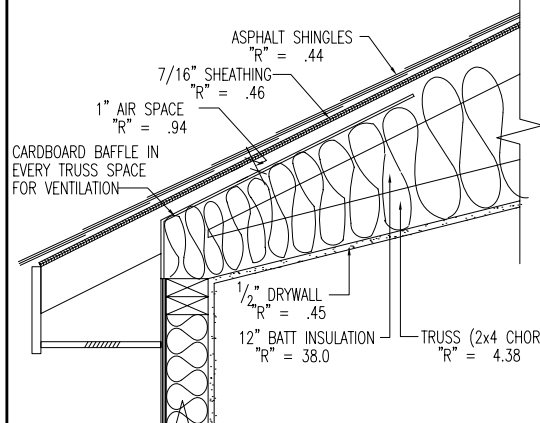
ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
 1) 1/2" DIA. x 12" LONG SIMPSON TITEN HD  
 2) 1/2" DIA. THREADED ROD EPOXY SET W/ 1/2" EMBED. (MIN UTILIZING HILTI HIT200 EPOXY ANCHORING SYSTEM (OR EQUAL))

**2 GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S. ONE SIDE OF GARAGE DOOR 115 MPH WIND SPEED (ULT)



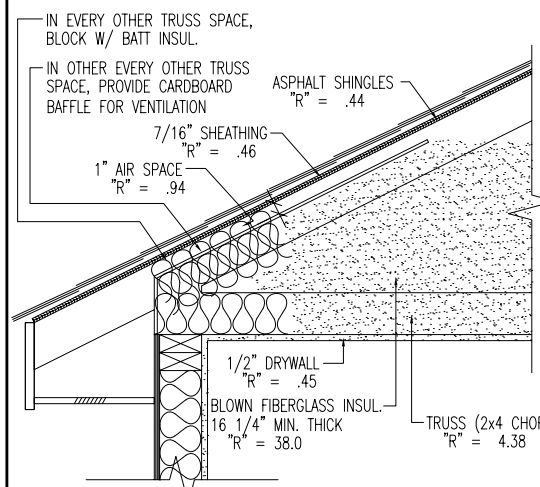
**TYP. RAFTER CEILING DETAIL**

TOTAL "R" @ FRAMING = 16.44  
TOTAL "R" @ INSULATION = 33.08  
TOTAL SYSTEM "R" =  $\frac{1}{(.10/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 29.38



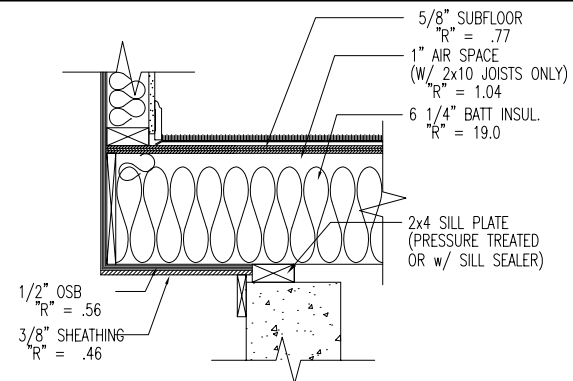
**TYP. RAISED TRUSS CLG. DETAIL**

TOTAL "R" @ FRAMING = 7.46  
TOTAL "R" @ INSULATION = 41.08  
TOTAL SYSTEM "R" =  $\frac{1}{(.10/\text{FRAME "R"} + (.90/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 28.32



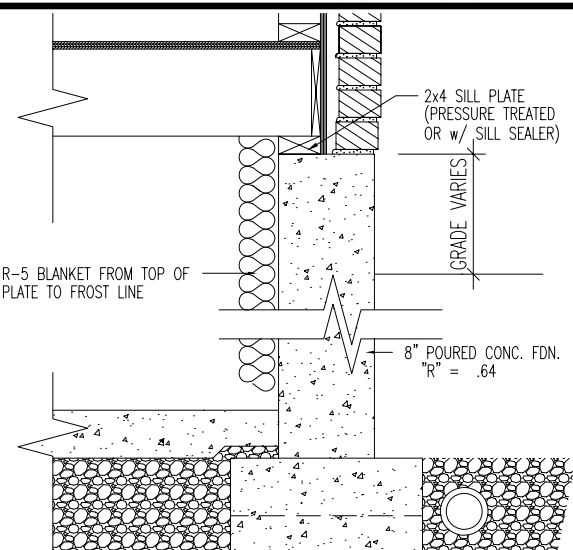
**TYP. CEILING DETAIL**

TOTAL "R" @ FRAMING = 38.86  
TOTAL "R" @ INSULATION = 43.08  
TOTAL SYSTEM "R" =  $\frac{1}{(.10/\text{FRAME "R"} + (.90/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 42.62



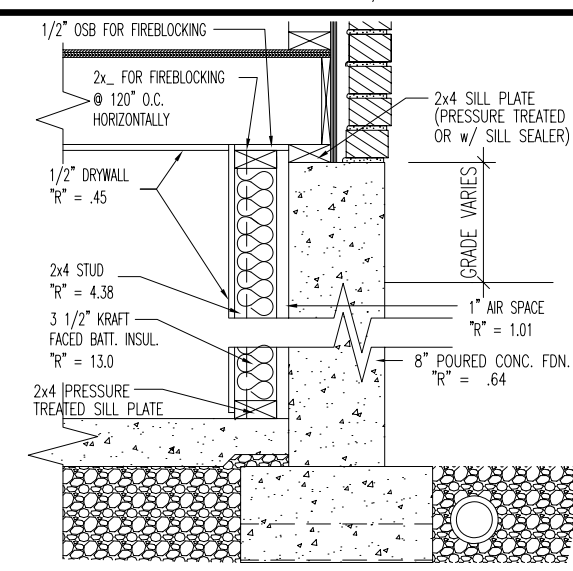
**CANTILEVER JOIST DETAIL**

TOTAL "R" @ FRAMING = 11.96 (2x8) OR 14.44 (2x10)  
TOTAL "R" @ INSULATION = 21.32 (2x8) OR 21.32 (2x10)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 18.98 (2x8) OR 19.60 (2x10)



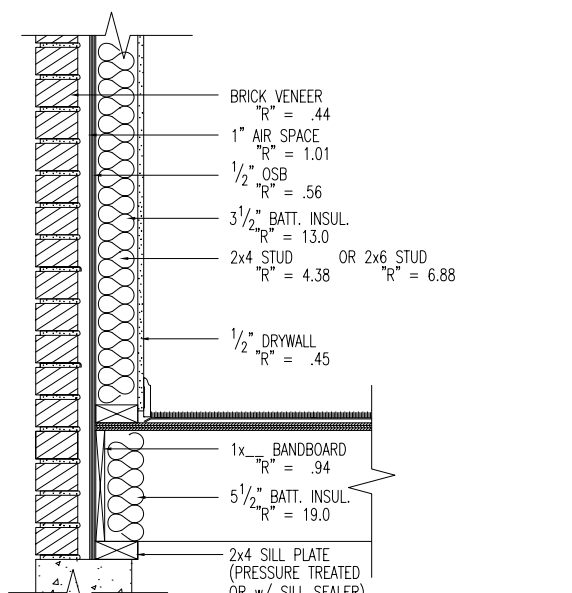
**TYP. FOUNDATION WALL**

TOTAL SYSTEM: STD. BSMT. - "R" = 5.09, WALKOUT - "R" = 12.49



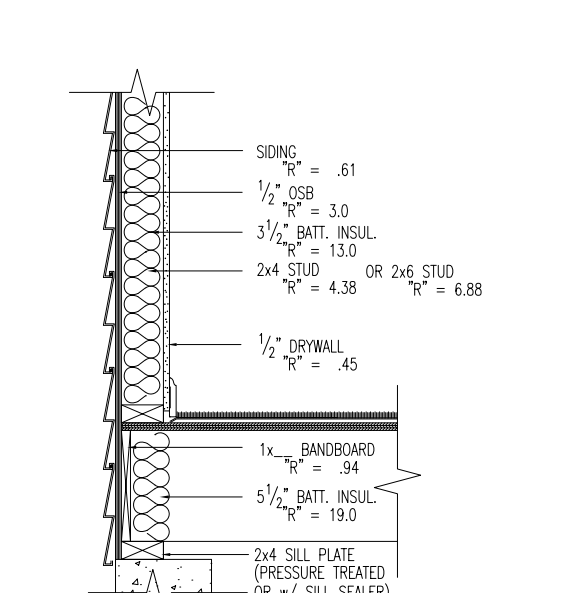
**FOUNDATION WALL AT FINISHED BASEMENT**

TOTAL "R" @ FRAMING = 7.33  
TOTAL "R" @ INSULATION = 15.95  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 13.8



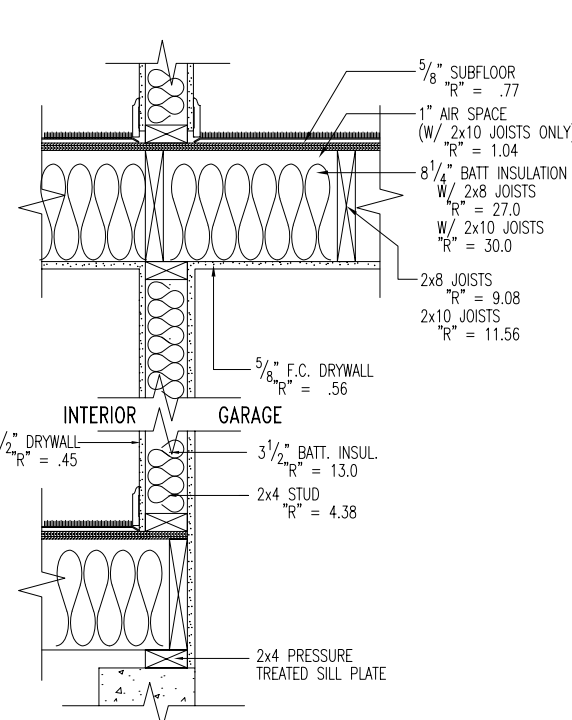
**EXTERIOR WALL W/ BRICK**

TOTAL "R" @ FRAMING = 8.63 (2x4) OR 10.57 (2x6)  
TOTAL "R" @ INSULATION = 18.75 (2x4) OR 18.75 (2x6)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 16.22 (2x4) OR 16.70 (2x6)



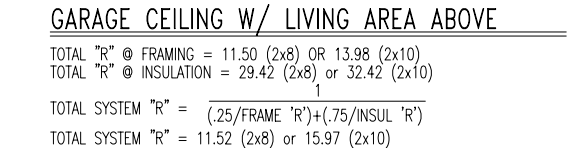
**EXTERIOR WALL W/ SIDING**

TOTAL "R" @ FRAMING = 9.29 (2x4) OR 11.79 (2x6)  
TOTAL "R" @ INSULATION = 17.91 (2x4) OR 17.91 (2x6)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 14.54 (2x4) OR 15.85 (2x6)



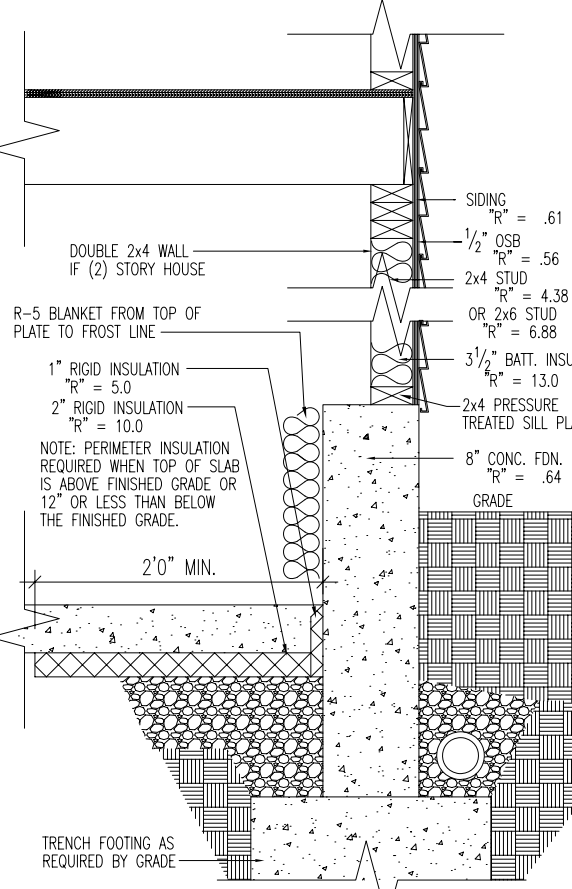
**WALL W/ DRYWALL ON BOTH SIDES**

TOTAL "R" @ FRAMING = 6.64 (2x4) OR 9.14 (2x6)  
TOTAL "R" @ INSULATION = 15.26 (2x4) OR 15.26 (2x6)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 11.52 (2x4) OR 13.07 (2x6)



**GARAGE CEILING W/ LIVING AREA ABOVE**

TOTAL "R" @ FRAMING = 11.50 (2x8) OR 13.98 (2x10)  
TOTAL "R" @ INSULATION = 29.42 (2x8) OR 32.42 (2x10)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 11.52 (2x8) OR 15.97 (2x10)



**TYP. DROPPED FDN. WALL @ BASEMENT**

TOTAL "R" @ FRAMING = 7.04 (2x4)  
TOTAL "R" @ INSULATION = 18.0 (2x4)  
TOTAL SYSTEM "R" =  $\frac{1}{(.25/\text{FRAME "R"} + (.75/\text{INSUL "R"}))}$   
TOTAL SYSTEM "R" = 15.26 (2x4)

**ENERGY REQUIREMENTS**

**AIR LEAKAGE**  
JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED. THE MAXIMUM LEAKAGE RATE FOR MANUFACTURED WINDOWS IS 0.34 CFM/FT OF OPERABLE SASH CRACK. THE MAXIMUM LEAKAGE RATE FOR MANUFACTURED DOORS IS 0.5 CFM/SQ.FT. OF DOOR AREA.

**VAPOR RETARDER**  
VAPOR RETARDERS MUST BE INSTALLED ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS. THIS REQUIREMENT DOES NOT APPLY TO THE FOLLOWING LOCATIONS NOR WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS.  
TEXAS ZONES 2-5  
ALABAMA, GEORGIA, N.CAROLINA, OKLAHOMA, S.CAROLINA ZONES 4-6  
ARKANSAS, TENNESSEE ZONES 6-7  
FLORIDA, HAWAII, LOUISIANA, MISSISSIPPI ALL ZONES

**MATERIALS AND INSULATION INFORMATION**  
MATERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT COMPLIANCE CAN BE DETERMINED. MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED. INSULATION R-VALUES, GLAZING AND DOOR U-VALUES, AND HEATING AND COOLING EQUIPMENT EFFICIENCY (IF HIGH-EFFICIENCY CREDIT IS TAKEN) MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

**DUCT INSULATION**  
SUPPLY AND RETURN DUCTS FOR HEATING AND COOLING SYSTEMS LOCATED IN UNCONDITIONED SPACES MUST BE INSULATED TO THE LEVELS SHOWN BELOW.  
EXCEPTIONS: INSULATION IS NOT REQUIRED FOR EXHAUST AIR DUCTS, DUCTS WITHIN HVAC EQUIPMENT, AND WHEN THE DESIGN TEMPERATURE DIFFERENCE BETWEEN THE AIR IN THE DUCT AND THE SURROUNDING AIR IS 25° OR LESS.

**DUCT CONSTRUCTION**  
ALL TRANSVERSE JOINTS MUST BE SEALED WITH MASTIC, TAPE, OR MASTIC PLUS TAPE. THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEMS.

**TEMPERATURE CONTROLS**  
THERMOSTATS ARE REQUIRED FOR EACH SEPARATE HVAC SYSTEMS IN SINGLE-FAMILY BUILDINGS AND EACH DWELLING UNIT IN MULTIFAMILY BUILDINGS (NON-DWELLING PORTIONS OF MULTIFAMILY BUILDINGS MUST HAVE ONE THERMOSTAT FOR EACH SYSTEM OF ZONE). THERMOSTATS MUST HAVE THE FOLLOWING RANGES:  
HEATING ONLY 55° - 75°  
COOLING ONLY 70° - 85°  
HEATING AND COOLING 55° - 85°  
A MANUAL OR AUTOMATIC MEANS TO PARTIALLY RESTRICT OR SHUT OFF THE HEATING AND/OR COOLING INPUT TO EACH ZONE OR FLOOR SHALL BE PROVIDED FOR SINGLE-FAMILY HOMES AND TO EACH ROOM FOR MULTIFAMILY BUILDINGS.

**HVAC PIPING INSULATION**  
HVAC PIPING IN UNCONDITIONED SPACES CONVEYING FLUIDS AT TEMPERATURES ABOVE 120°F OR CHILLED FLUIDS AT LESS THAN 55°F MUST BE INSULATED TO THE LEVELS SHOWN BELOW.

**ELECTRIC SYSTEMS**  
EACH MULTIFAMILY DWELLING UNIT MUST BE EQUIPPED WITH SEPARATE ELECTRIC MEANS.

**DUCT INSULATION R-VALUE REQUIREMENTS**

DUCT INSULATION R-VALUE REQUIREMENTS	
DUCTS LOCATED IN: ATTICS, CRAWL SPACES, EXTERIOR CAVITIES, OUTSIDE	DUCTS LOCATED IN: UNHEATED BASEMENTS
R-6	R-6

**MINIMUM INSULATION R-VALUE FOR CIRCULATING HOT WATER PIPES**

INSULATION R-VALUE
R-2

**OHIO**

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REVISIONS / ISSUANCES:

BAC / JDK	Std. Drawn By: BAC/JDK
4/9/09 / GLP	Std. Chk. By: JAT
	Std. Date: 10/02/96
	Date of Last Rev: 11/14/08 BLC

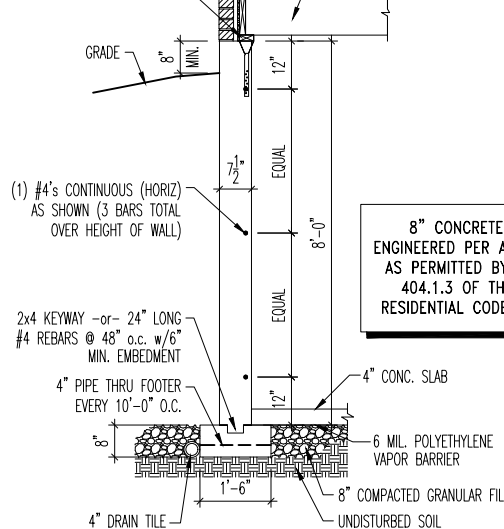
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DREES INSULATION DETAILS

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Phone #: DRAWN BY\_PHONE  
Coordinator's Name: COORDINATOR\_NAME  
Coordinator's Phone #: COORDINATOR\_PHONE  
system-clev.dwg Apr 10, 2009 - 8:41am

Original Site Specific Dwg. & Effective Change Order Date:  
CONTRACT\_DATE

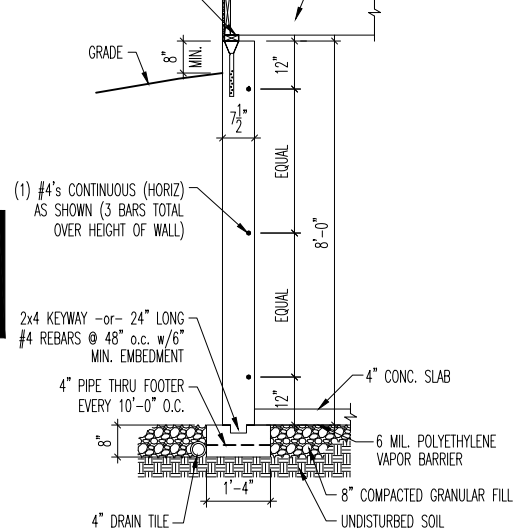
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Job #:	JOB_NM	
Customer Name:	CUS_NM	DO
Job Address:	JOB_AD	

2x4 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END  
OR APPROVED ANCHOR STRAPS  
SPACED PER MANUF. EQUIVALANCE



**BRICK WRAP**

2x4 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END  
OR APPROVED ANCHOR STRAPS  
SPACED PER MANUF. EQUIVALANCE



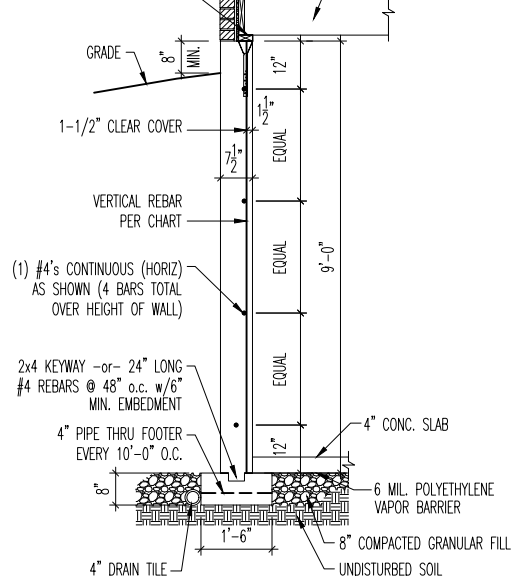
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**8" CONCRETE WALL  
ENGINEERED PER ACI 332-14  
AS PERMITTED BY SECTION  
404.1.3 OF THE 2019  
RESIDENTIAL CODE OF OHIO**

CONCRETE SPECIFICATION CHART		
SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
60	*3000*	2500

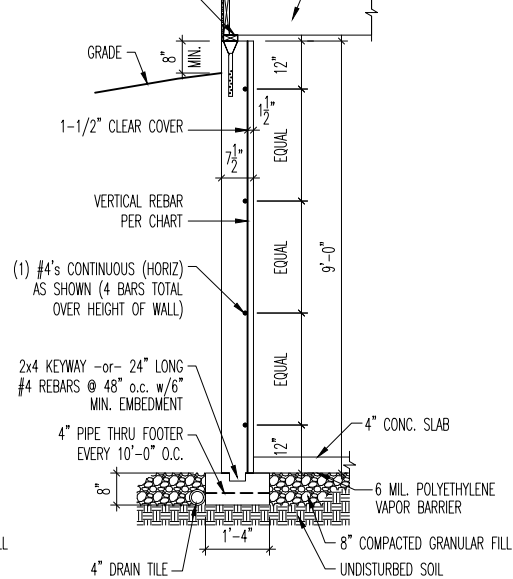
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D1.1 **8' FOUNDATION WALL DETAIL**  
SCALE: 1/4" = 1'-0"

2x4 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END  
OR APPROVED ANCHOR STRAPS  
SPACED PER MANUF. EQUIVALANCE



**BRICK WRAP**

2x4 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END  
OR APPROVED ANCHOR STRAPS  
SPACED PER MANUF. EQUIVALANCE



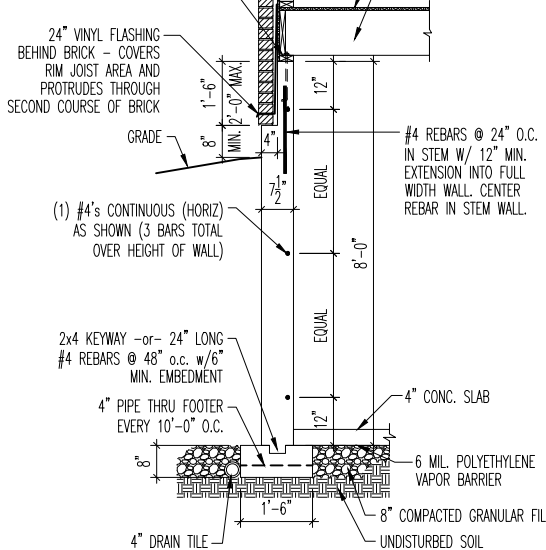
**FRAME WRAP**

**8" CONCRETE WALL  
ENGINEERED PER ACI 332-14  
AS PERMITTED BY SECTION  
404.1.3 OF THE 2019  
RESIDENTIAL CODE OF OHIO**

VERTICAL REBAR CHART		
SOIL TYPE (PCF)	REBAR	SPACING
60	#4 VERT.	@ 15" o.c.
	#5 VERT.	@ 22" o.c.
	#6 VERT.**	@ 31" o.c.

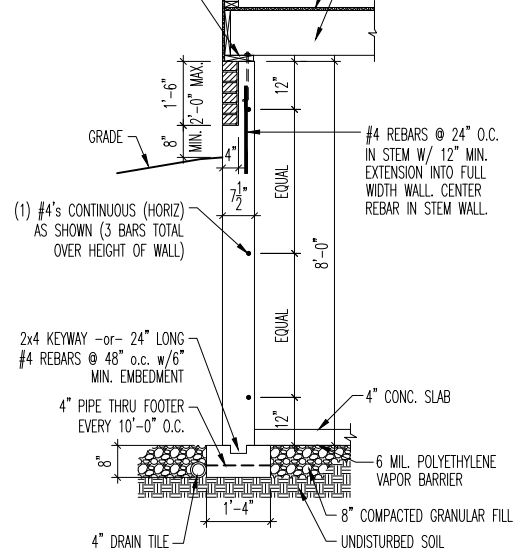
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D1.1 **9' FOUNDATION WALL DETAIL**  
SCALE: 1/4" = 1'-0"

2x4 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END



**BRICK WRAP**

2x8 PT SILL PLATE CONT.  
W/ 1/2" DIA. GALV.  
ANCHOR BOLTS @ 6'0" O.C.  
MIN. (2) BOLTS PER PLATE  
@ 12" MAX. FROM EACH END



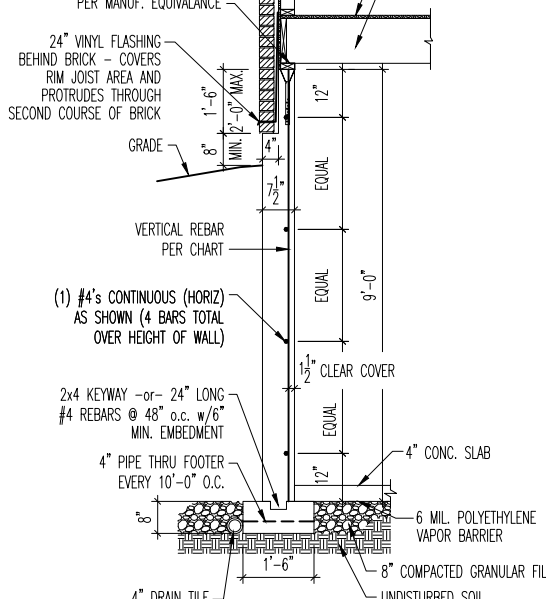
**FRAME WRAP**

**8" CONCRETE WALL  
ENGINEERED PER ACI 332-14  
AS PERMITTED BY SECTION  
404.1.3 OF THE 2019  
RESIDENTIAL CODE OF OHIO**

CONCRETE SPECIFICATION CHART		
SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
60	*3000*	2500

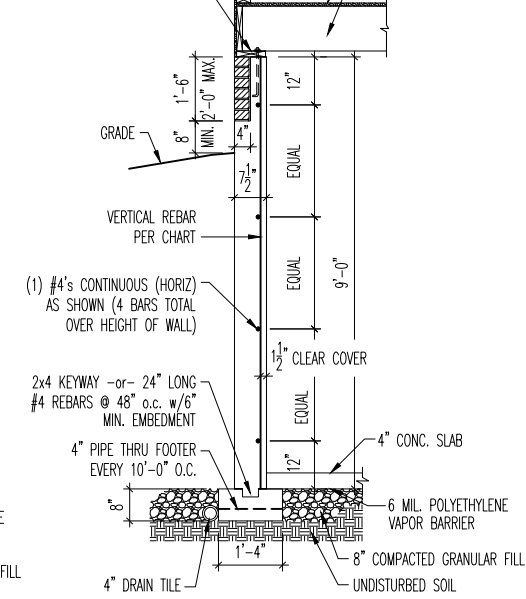
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D1.1 **8' FOUNDATION WALL DETAIL  
WITH DROPPED BRICK LEDGE**  
SCALE: 1/4" = 1'-0"

2x4 PT SILL PLATE CONT. W/ 1/2" DIA. GALV. ANCHOR BOLTS @ 6'0" O.C. MIN. (2) BOLTS PER PLATE @ 12" MAX. FROM EACH END OR APPROVED ANCHOR STRAPS SPACED PER MANUF. EQUIVALANCE



**BRICK WRAP**

2x8 PT SILL PLATE CONT. W/ 1/2" DIA. GALV. ANCHOR BOLTS @ 6'0" O.C. MIN. (2) BOLTS PER PLATE @ 12" MAX. FROM EACH END



**FRAME WRAP**

**8" CONCRETE WALL  
ENGINEERED PER ACI 332-14  
AS PERMITTED BY SECTION  
404.1.3 OF THE 2019  
RESIDENTIAL CODE OF OHIO**

VERTICAL REBAR CHART		
SOIL TYPE (PCF)	REBAR	SPACING
60	#4 VERT.	@ 15" o.c.
	#5 VERT.	@ 22" o.c.
	#6 VERT.**	@ 31" o.c.

**4**  
D1.1 **9' FOUNDATION WALL DETAIL  
WITH DROPPED BRICK LEDGE**  
SCALE: 1/4" = 1'-0"



**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING  
300 Brookside Ave. Building 4 • Avon, PA 15002  
p 716-646-8001 • m.kulp@mkp.com

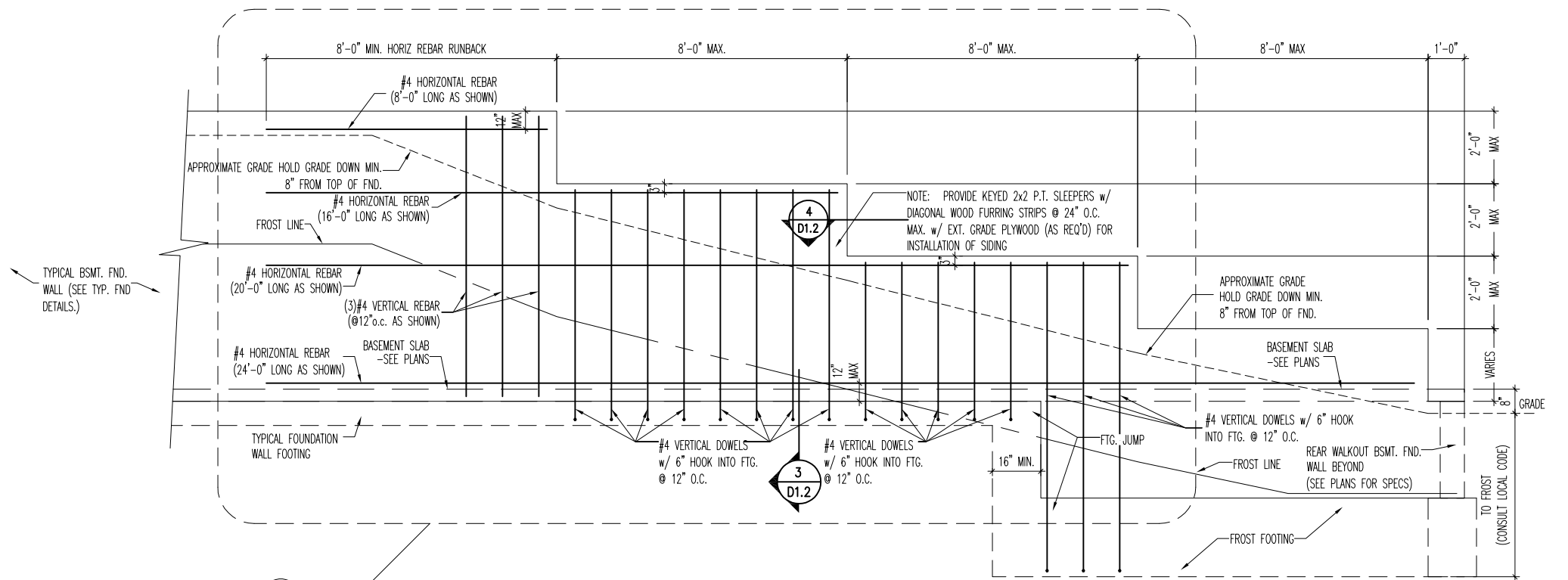


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Std. By:	ALL	Sheet Description:	MIDWEST REGION OHIO FOUNDATION DETAILS – 2000 PSF (MIN.) SOIL BEARING
Chk. By:	ARC	Std. Date:	5/22/09
Date of Last Rev.:	01/03/19 AKS	g:\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\basement foundation details.dwg	9.23.2019

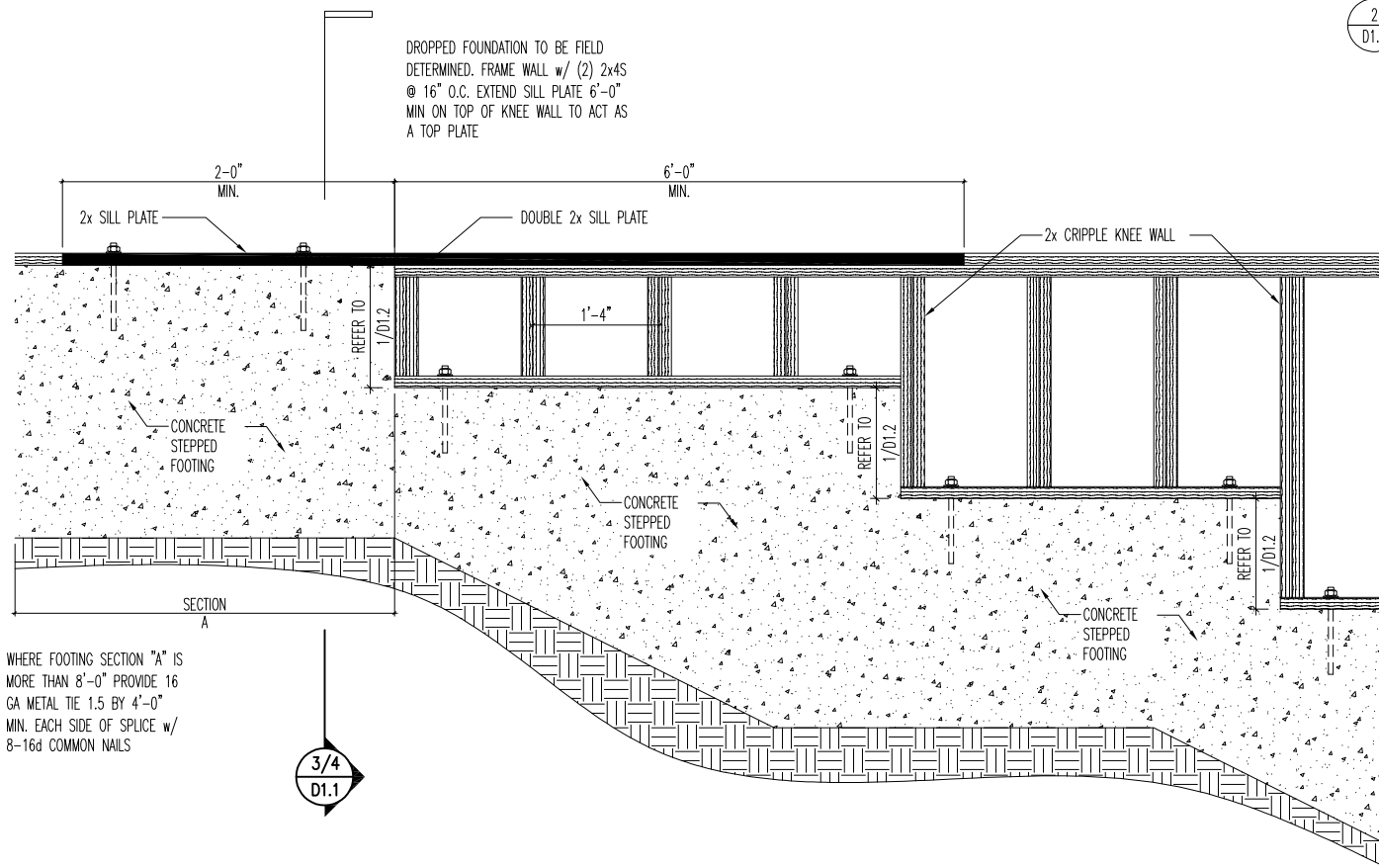
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Sheet No.  
**D1.1**



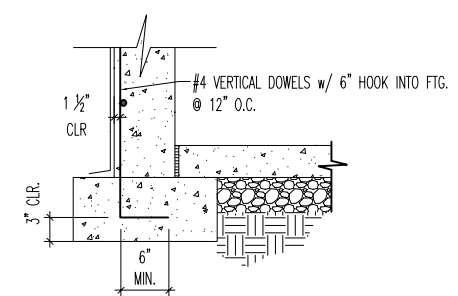
**STEPPED FOUNDATION WALL DETAIL WITH WALKOUT BASEMENT**

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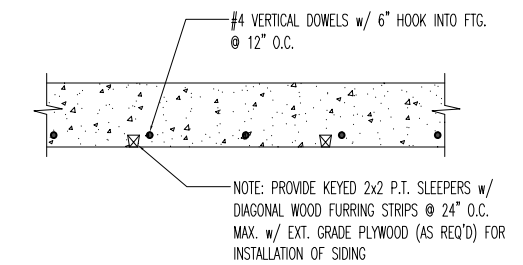
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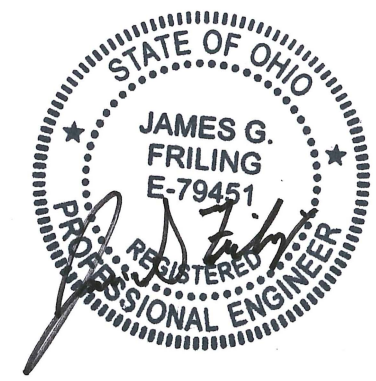
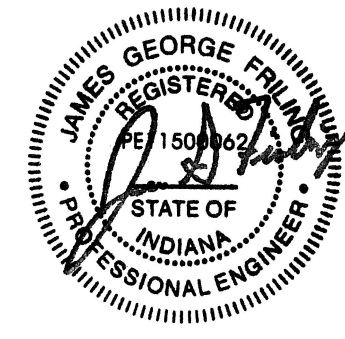
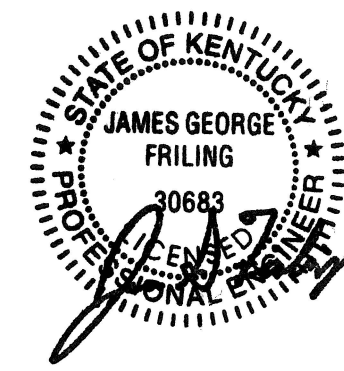
**TYPICAL FOUNDATION SIDE WALL DETAIL**

3 D1.2 SCALE: 1/2" = 1'-0"



**TYPICAL BASEMENT FOUNDATION WALL**

4 D1.2 SCALE: 1" = 1'-0"



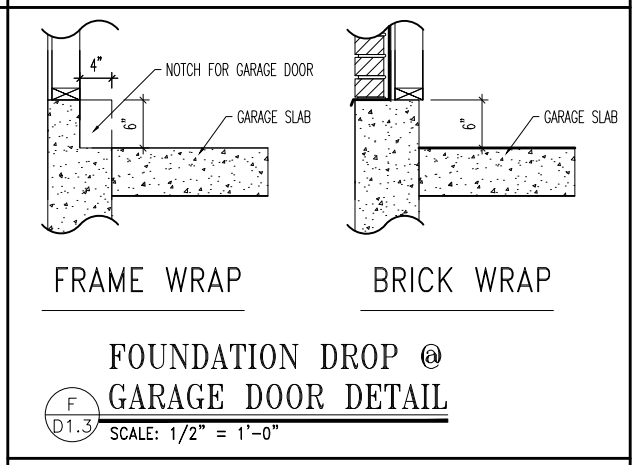
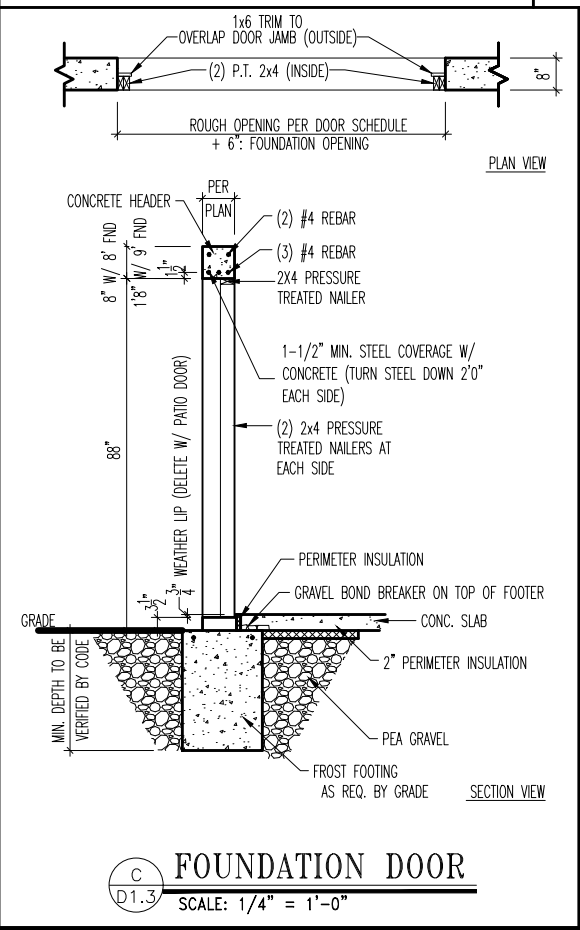
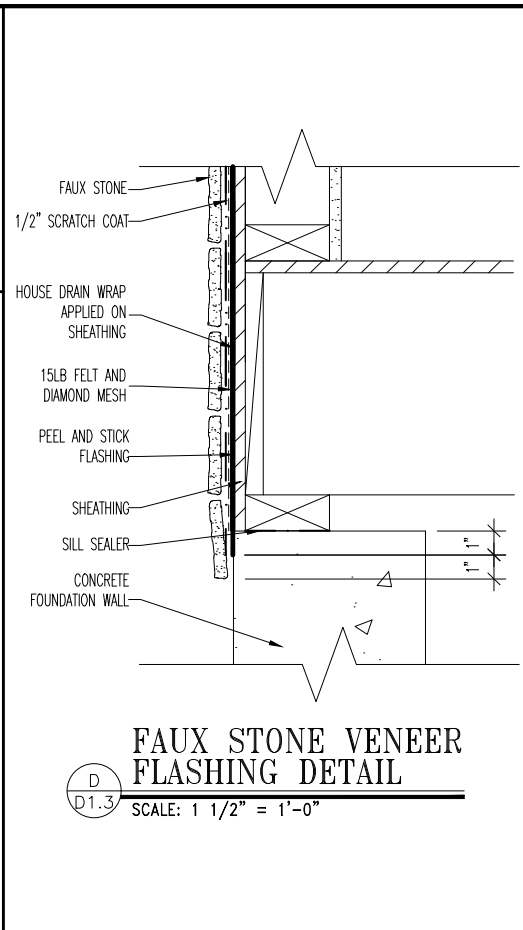
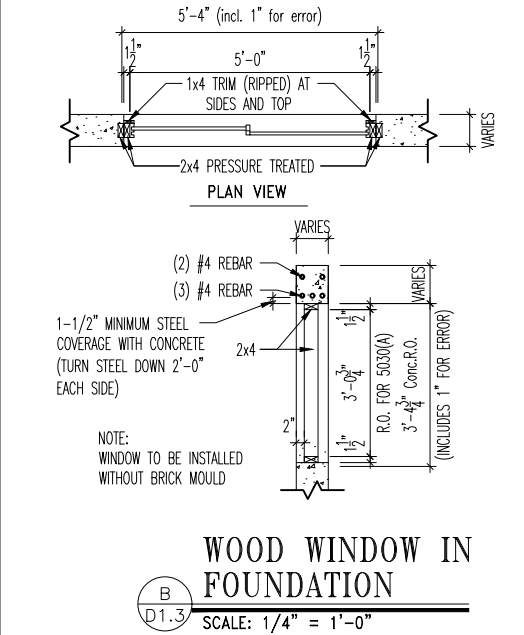
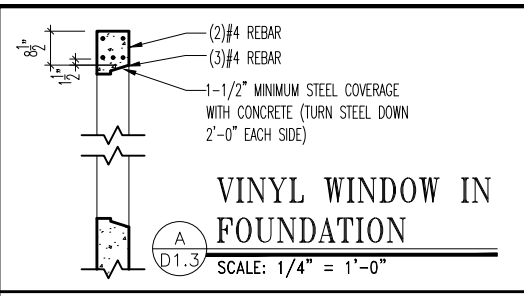
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Std. By: ALL	Sheet Description:
Chk. By: ARC	MIDWEST REGION
Std. Date: 5/22/09	STEPPED FOUNDATION DETAILS
Date of Last Rev: 06/14/21 SSP	g:\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\basement foundation details.dwg 8.27.2019

**DETAILS MAY NOT APPLY TO CONTRACT**

Sheet No.  
**D1.2**



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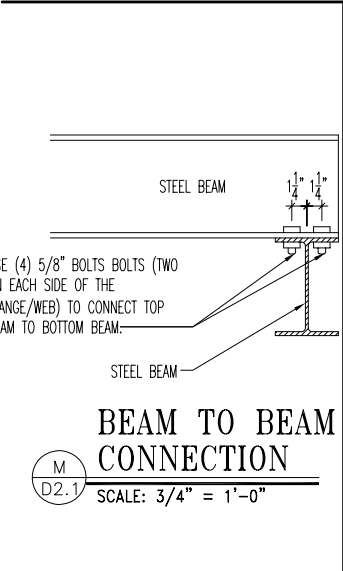
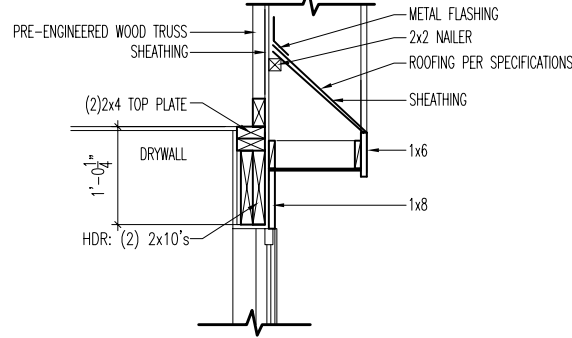
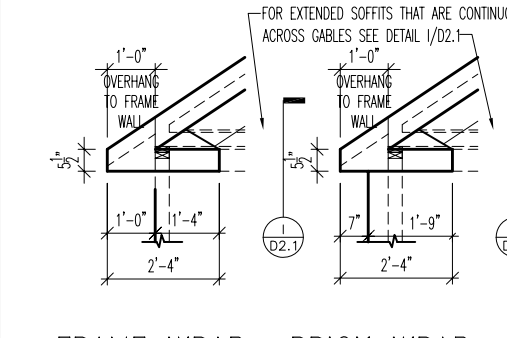
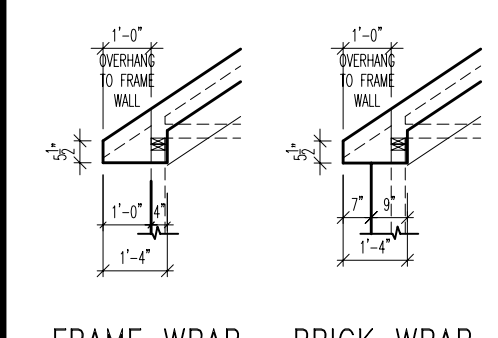
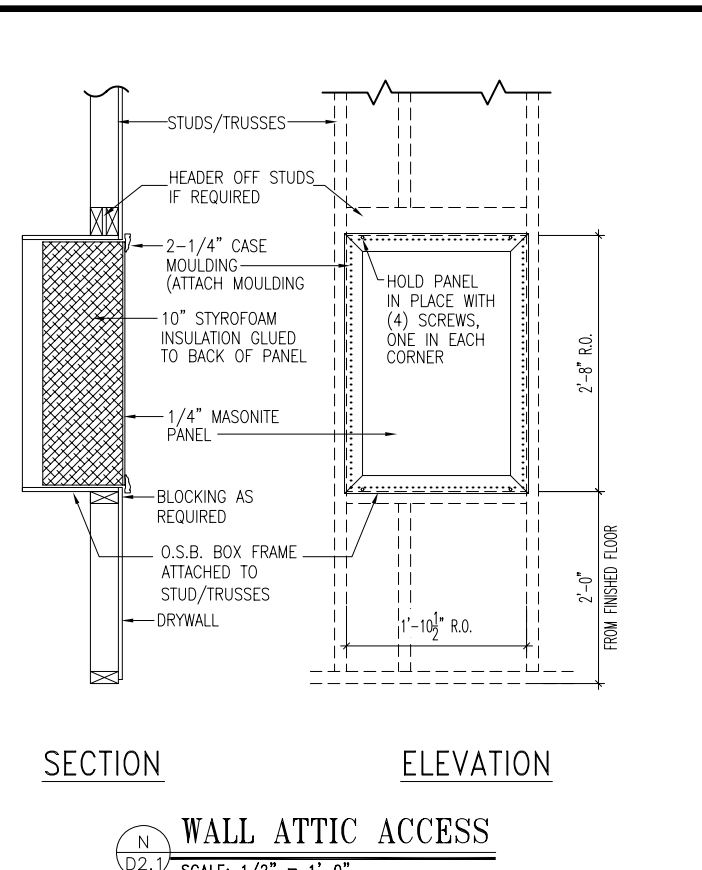
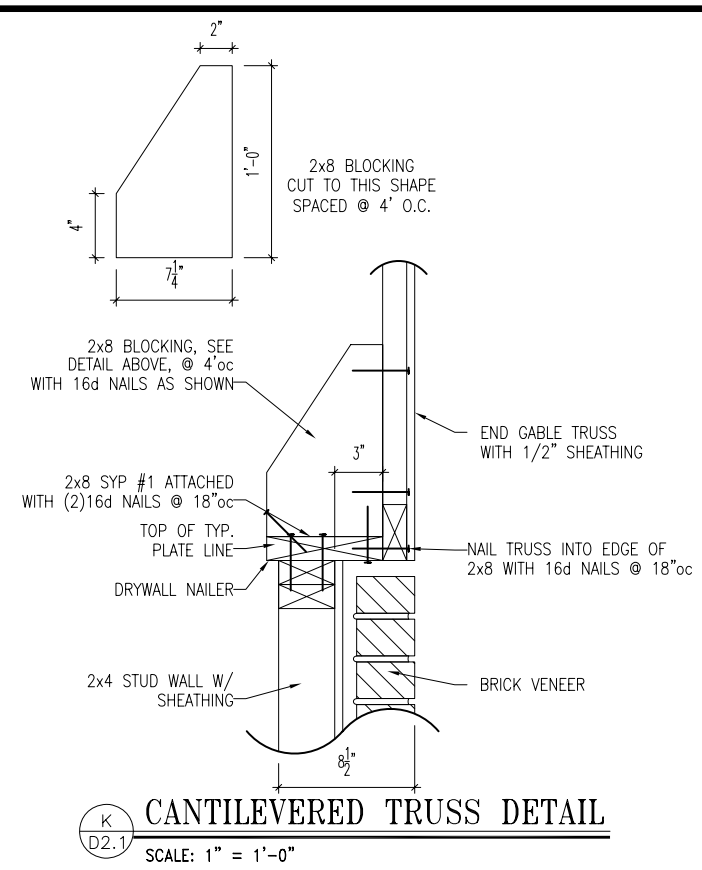
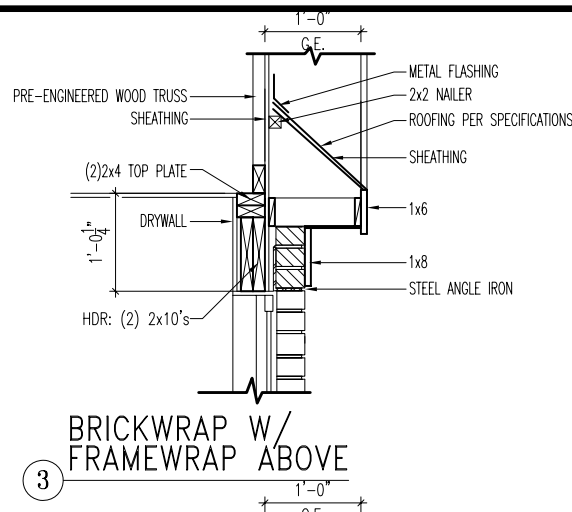
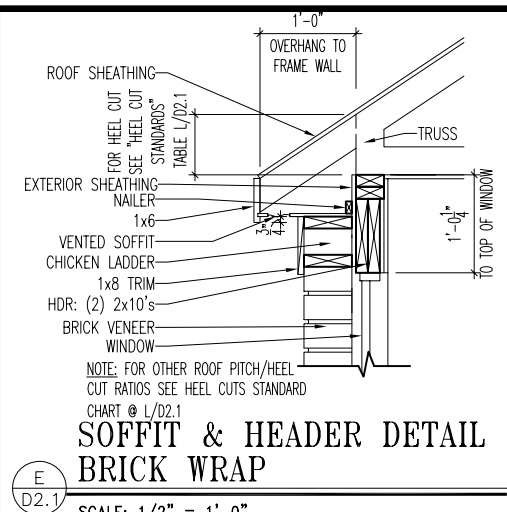
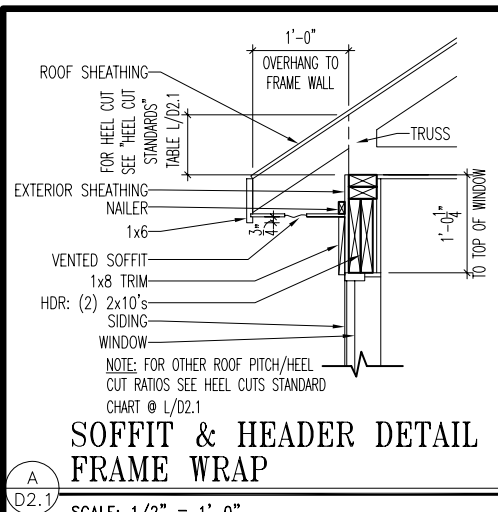
**STD. DETAIL SHEET**  
REGION: **CLEVELAND**

Std. By:	ALL
Chk. By:	ARC
Std. Date:	10.11.06
Date of Last Rev:	12/19/07 BRG

Sheet Description:  
**FOUNDATION DETAILS**

**DETAILS MAY NOT APPLY TO CONTRACT**  
CLEVE - D-SHEETS.dwg Sep 07, 2022 - 8:47am

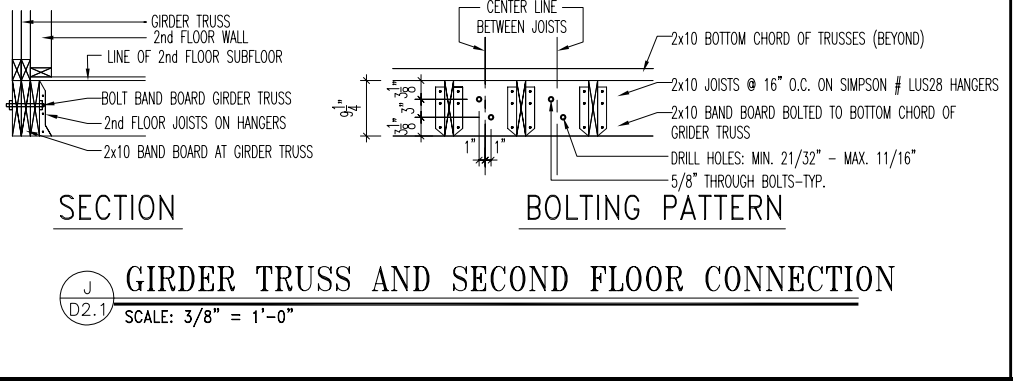
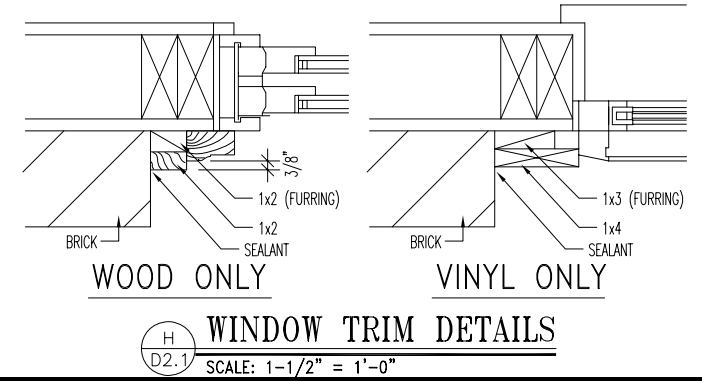
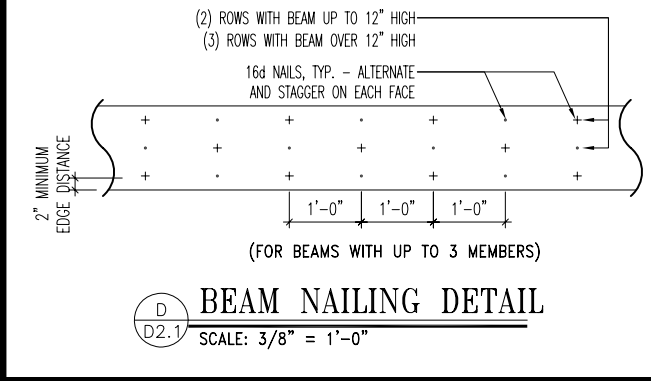
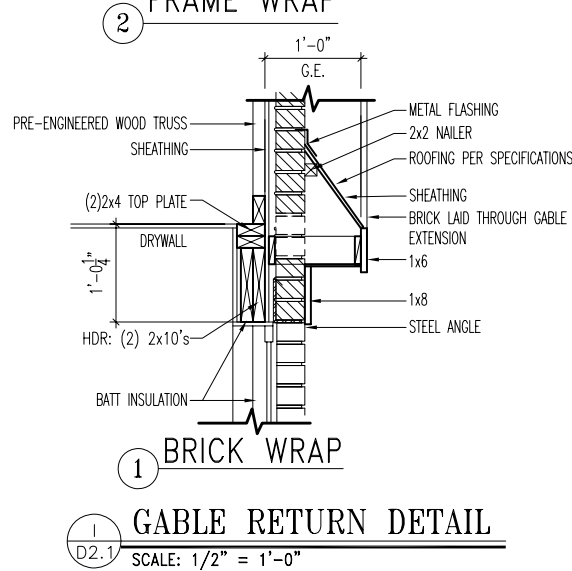
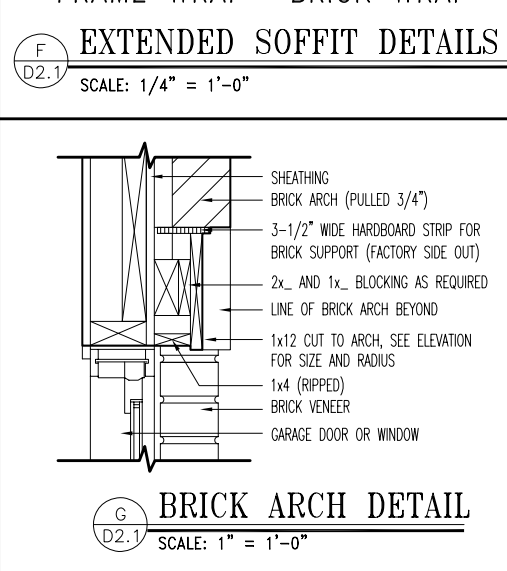
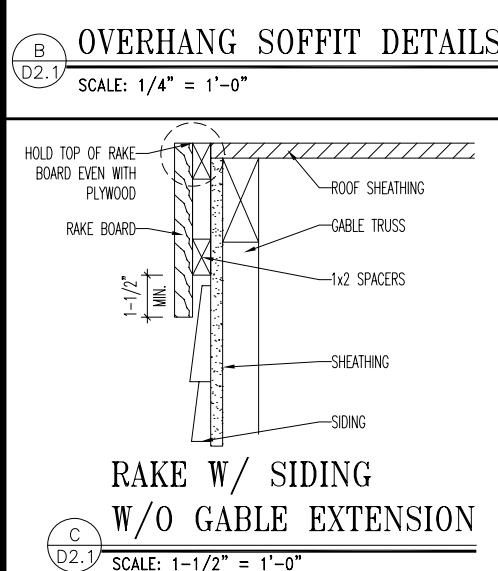
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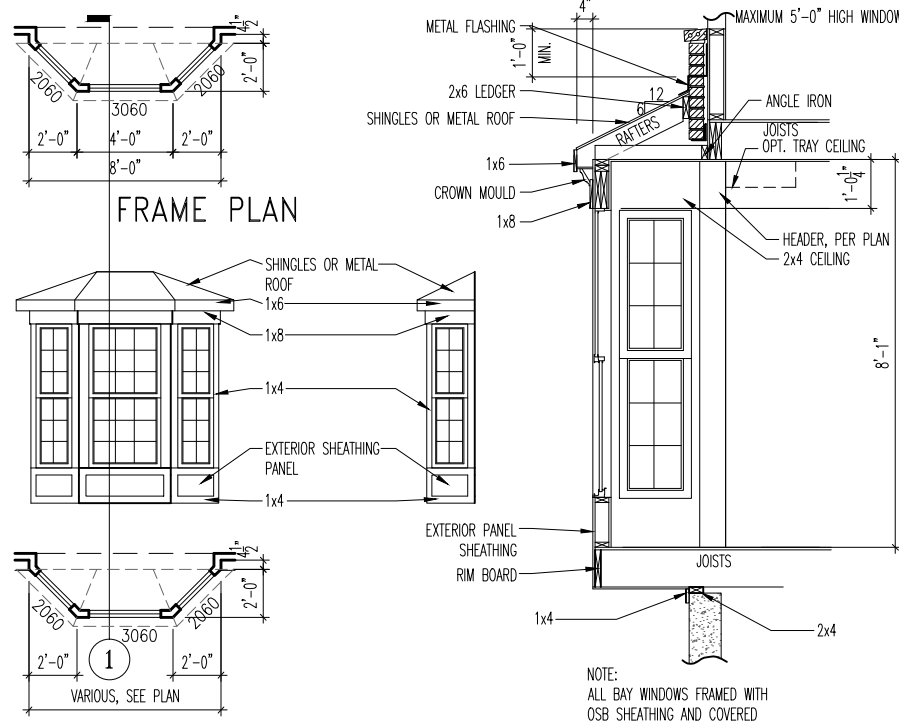


**HEEL CUT STANDARDS**

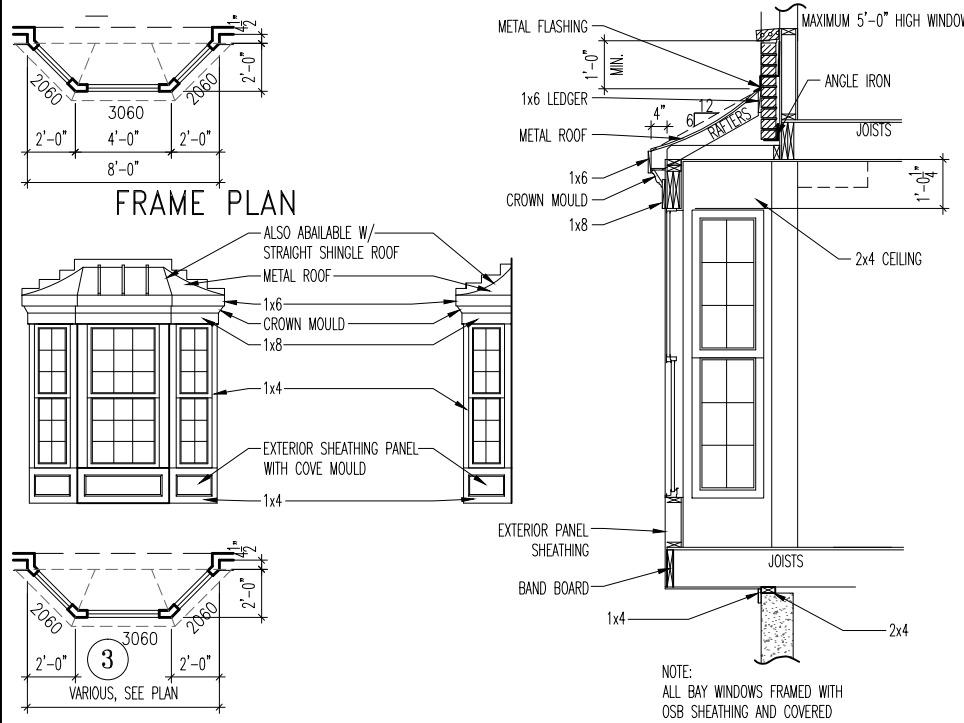
ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'-1-3/4"

L  
D2.1

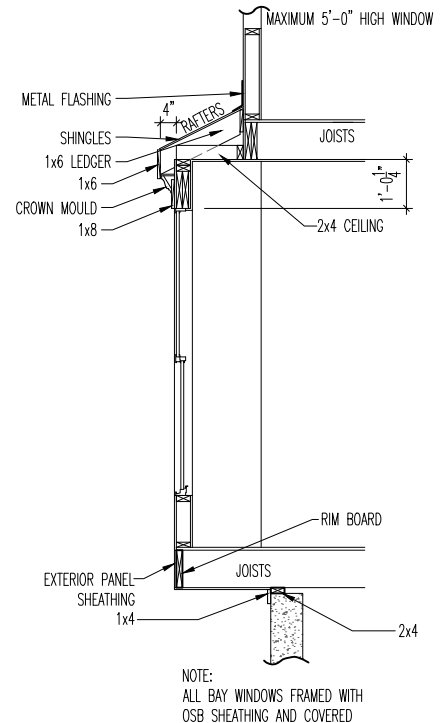




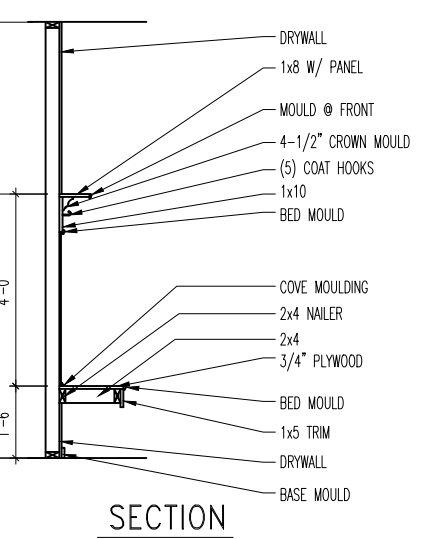
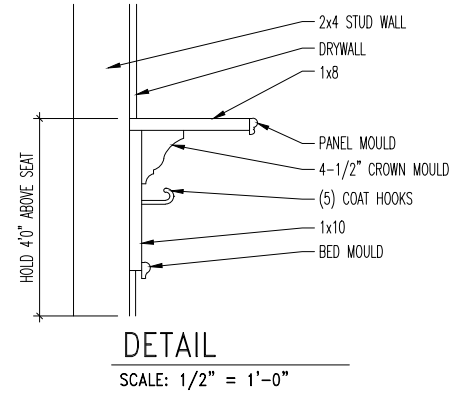
**A STANDARD FRONT BAY WINDOW**  
D2.2 SCALE: 1/8" = 1'-0"



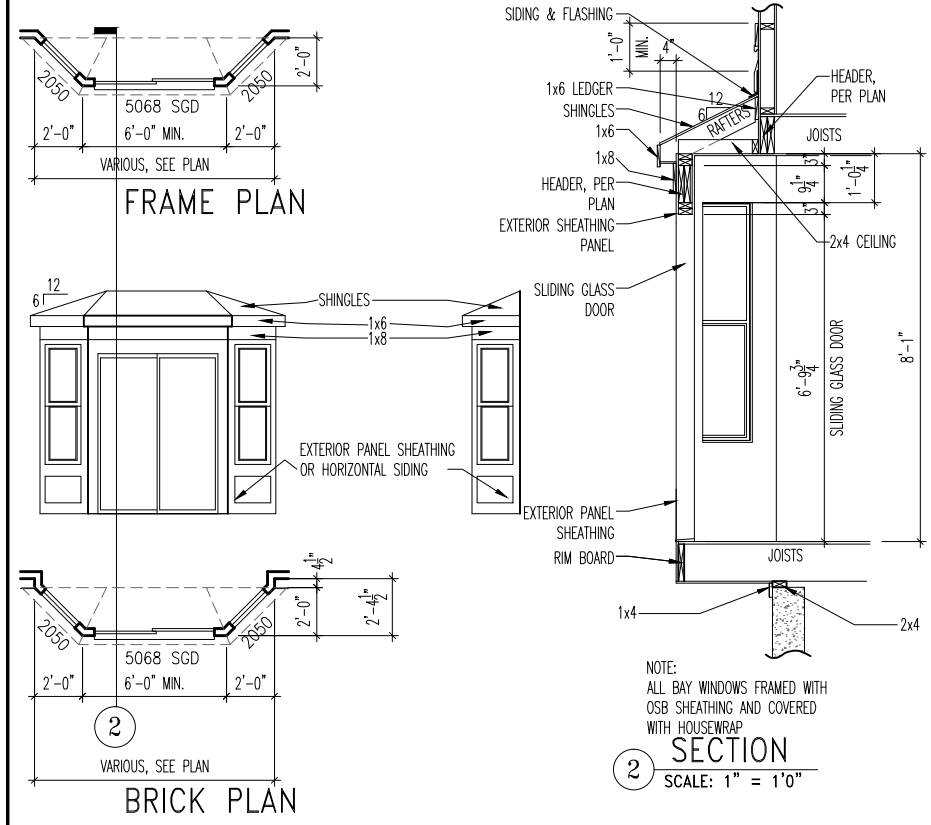
**C DELUX FRONT BAY WINDOW**  
D2.2 SCALE: 1/8" = 1'-0"



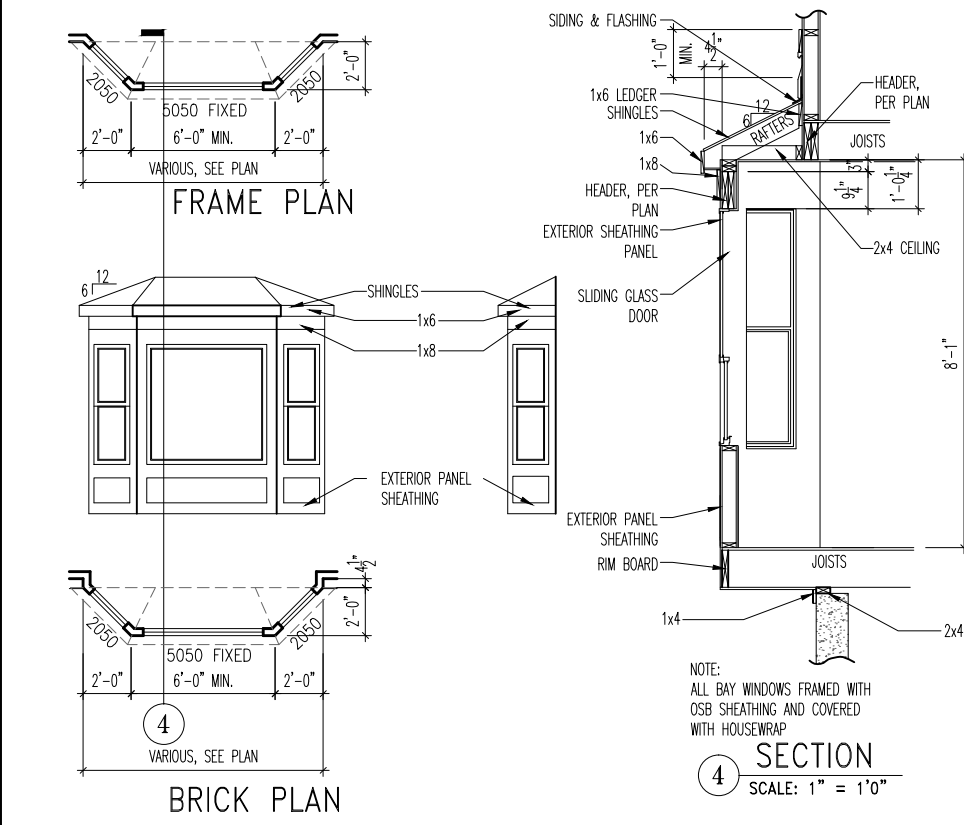
**6 FRAME WRAP SECTION**



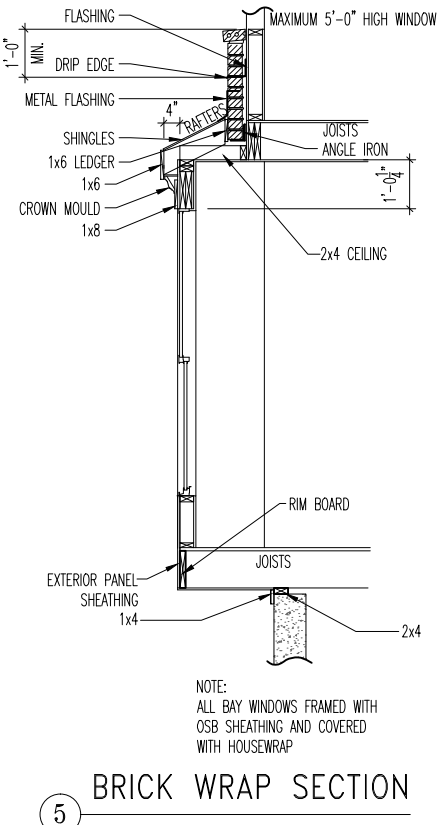
**SECTION**



**B REAR BAY WITH SLIDING GLASS DOOR**  
D2.2 SCALE: 1/8" = 1'-0"

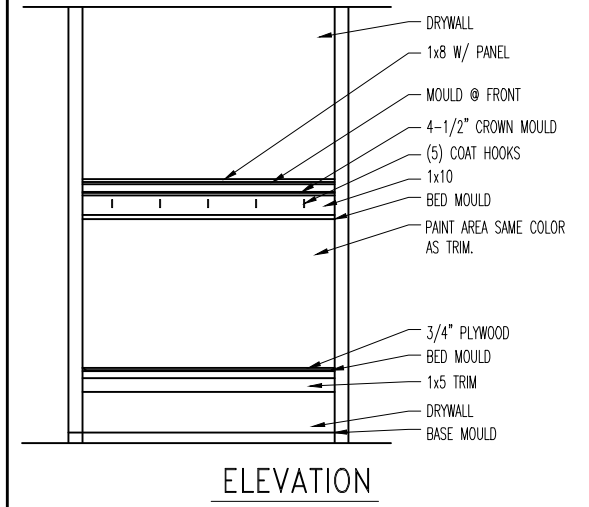


**D REAR BAY WITH WINDOW**  
D2.2 SCALE: 1/8" = 1'-0"

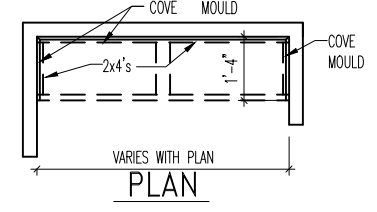


**5 BRICK WRAP SECTION**

**E BOX BAY(S)**  
D2.2 SCALE: 1/8" = 1'-0"



**ELEVATION**



**PLAN**

**F SEAT DETAILS**  
D2.2 SCALE: 1/8" = 1'-0"



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**STD. DETAIL SHEET**  
DIVISION: **CLEVELAND**

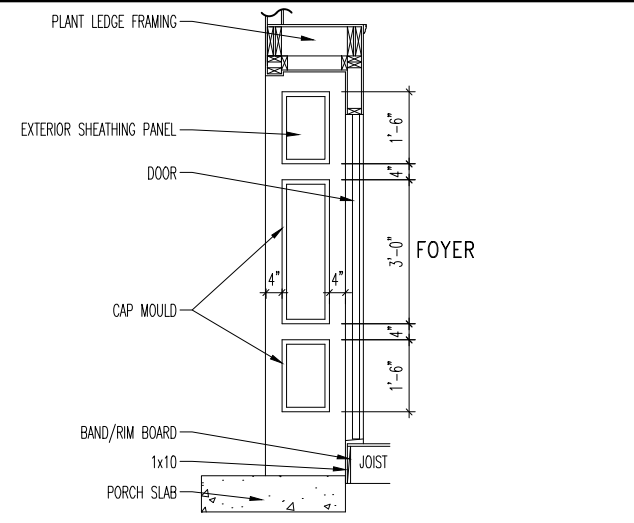
Std. By: ALL  
Chk. By: ARC  
Std. Date: 10.11.06  
Date of Last Rev: 02/25/09 DAB

Sheet Description:  
**FRONT BAY WINDOW DETAILS**  
**REAR BAY WINDOW DETAILS**

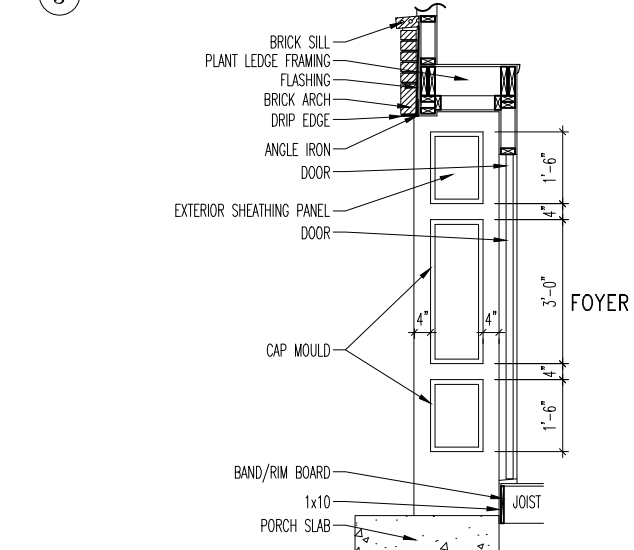
**DETAILS MAY NOT APPLY TO CONTRACT**  
CLEVE - D-SHEETS.dwg Jun 10, 2015 - 10:13am

Sheet No.  
**D2.2**

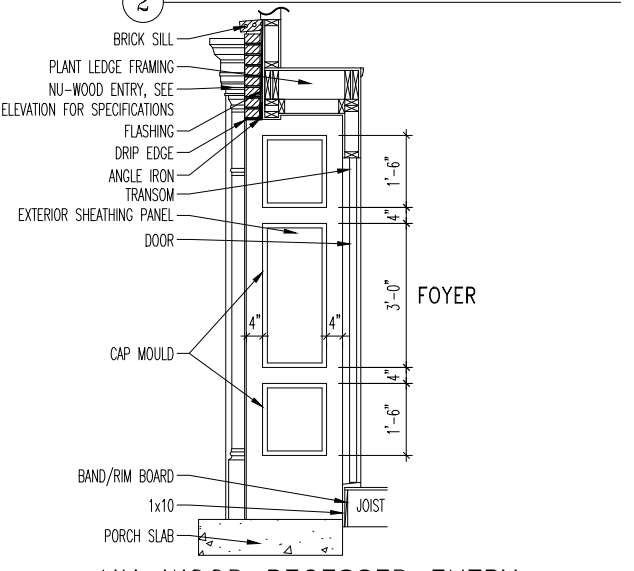




**3** FRAME WRAP RECESSED ENTRY

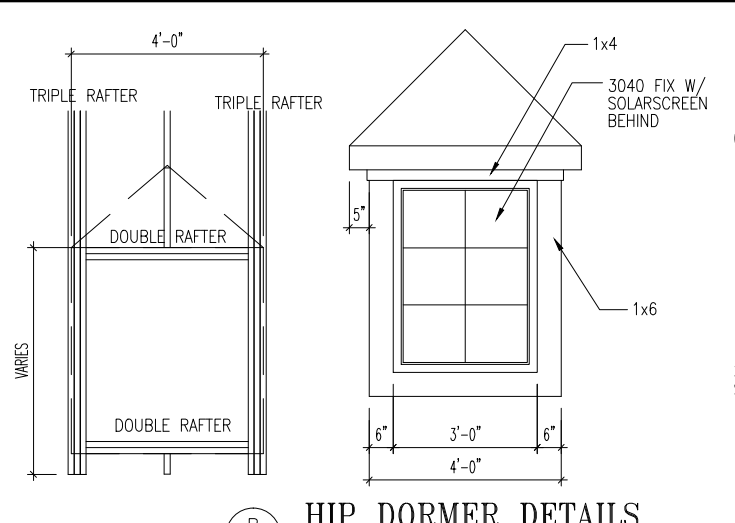
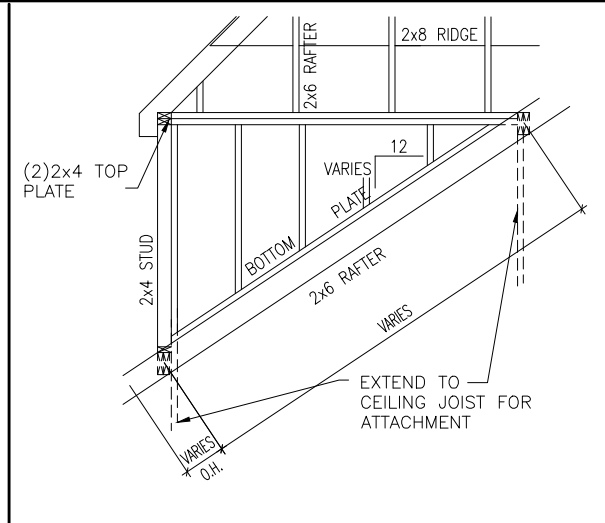


**2** BRICK WRAP RECESSED ENTRY

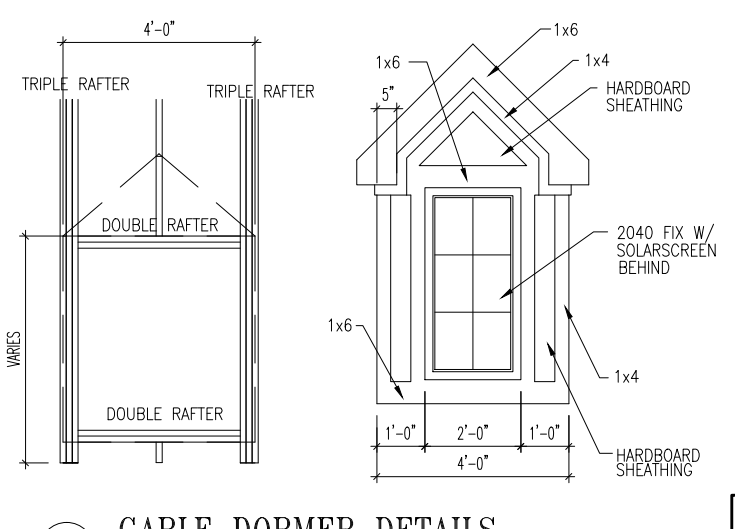
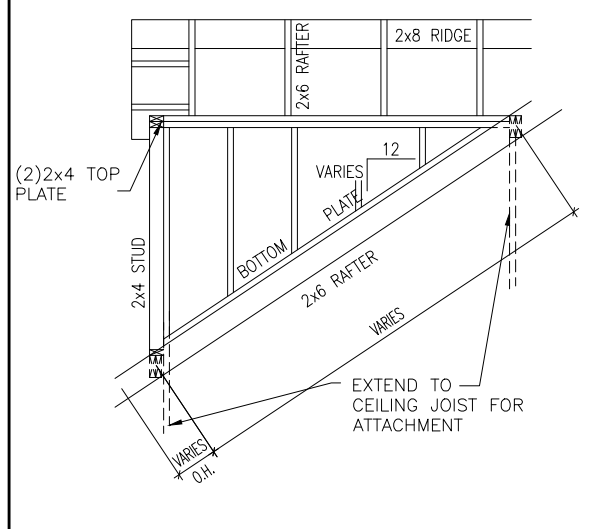
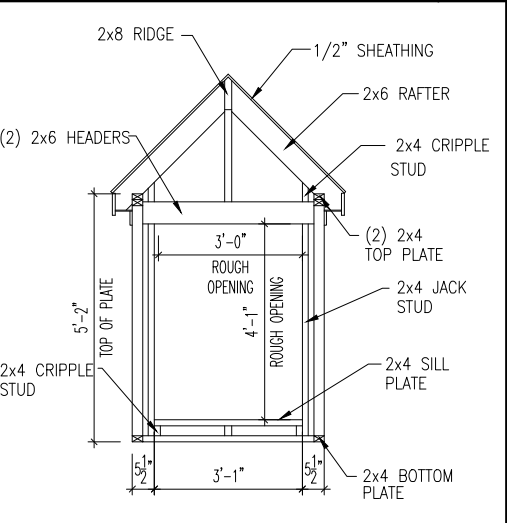


**1** NU-WOOD RECESSED ENTRY

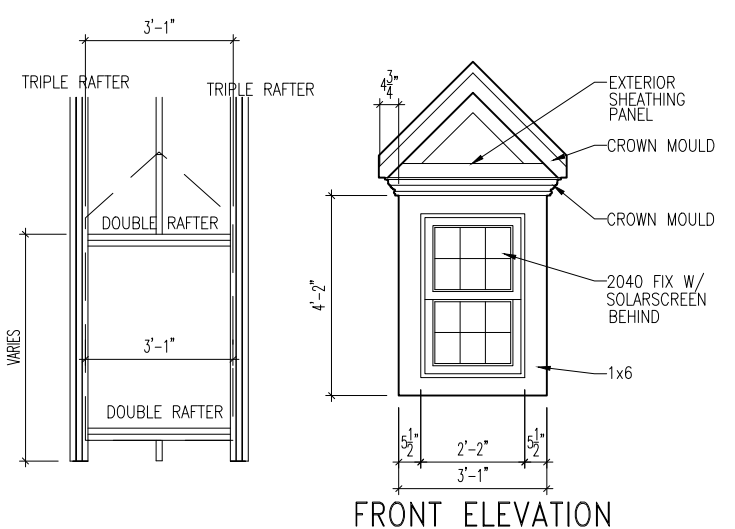
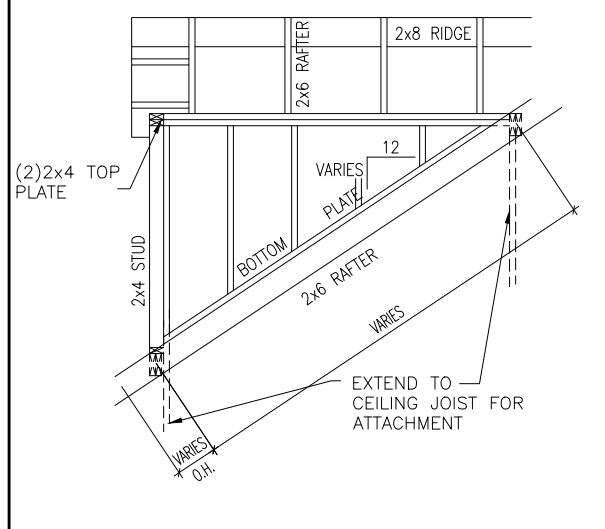
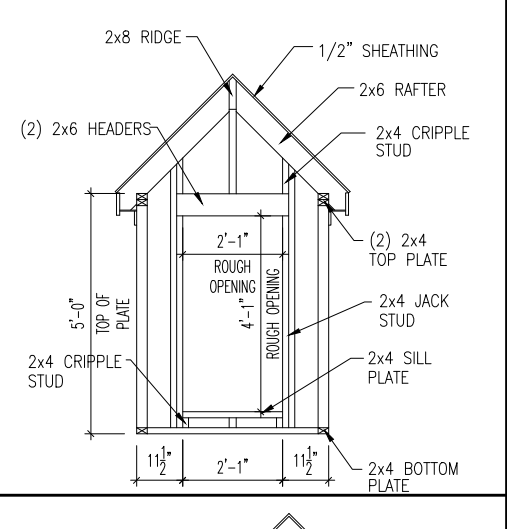
**A** RECESSED ENTRY DETAILS  
D2.3 SCALE: 1/4" = 1'-0"



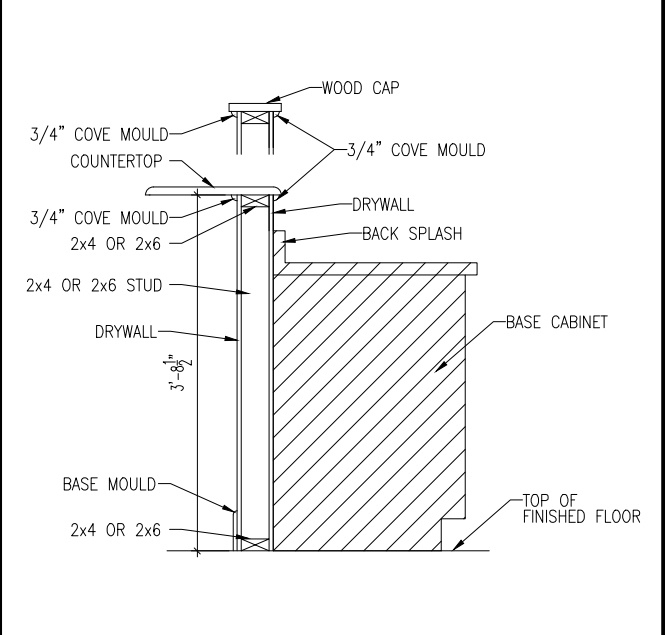
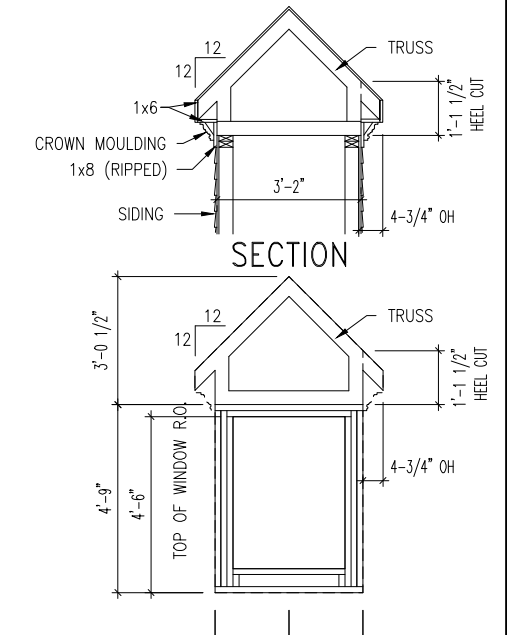
**B** HIP DORMER DETAILS  
D2.3 SCALE: 1/2" = 1'-0"



**C** GABLE DORMER DETAILS  
D2.3 SCALE: 1/2" = 1'-0"



**D** DELUX GABLE DORMER DETAILS  
D2.3 SCALE: 1/2" = 1'-0"



**E** KITCHEN HALF WALL DETAIL  
D2.3 SCALE: 1/2" = 1'-0"



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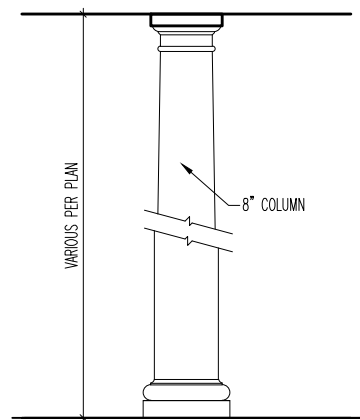
STD. DETAIL SHEET  
REGION:  
CLEVELAND

Std. By: ALL  
Chk. By: ARC  
Std. Date: 10.11.06  
Date of Last Rev: 12/19/07 BRG

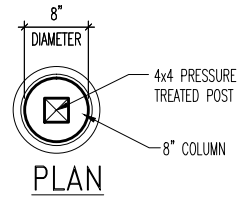
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RECESSED ENTRY DETAILS  
DORMER DETAILS

DETAILS MAY NOT APPLY TO CONTRACT  
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Sheet No.  
D2.3



ELEVATION

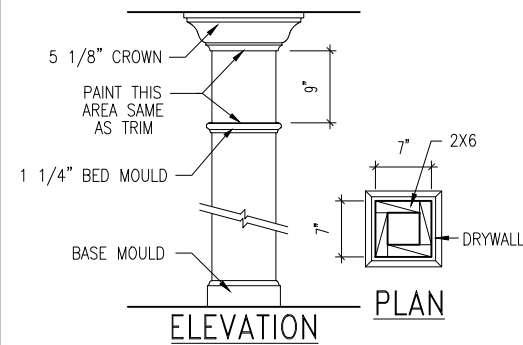


PLAN

**ROUND COLUMN  
DETAIL (INTERIOR/  
EXTERIOR)**

A  
D2.4

SCALE: 1/2" = 1'-0"



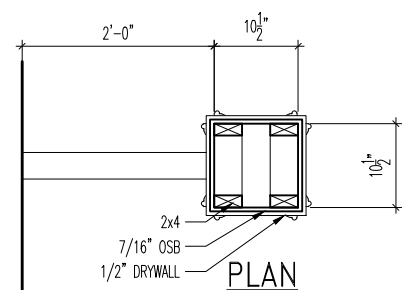
ELEVATION

PLAN

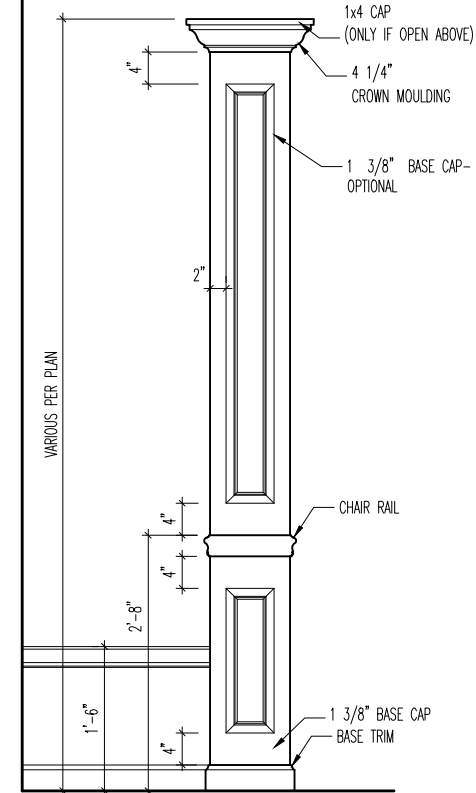
**BOX COLUMN DETAIL  
(INTERIOR/EXTERIOR)**

C  
D2.4

SCALE: 1/2" = 1'-0"



PLAN

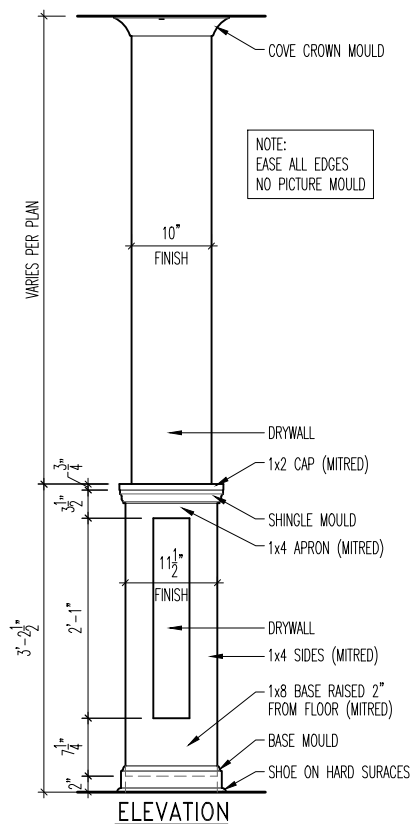


ELEVATION

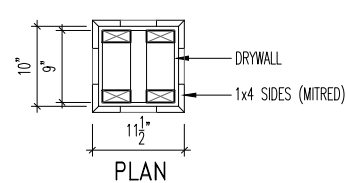
**COLUMN DETAIL (INTERIOR)**

D  
D2.4

SCALE: 1/2" = 1'-0"



ELEVATION



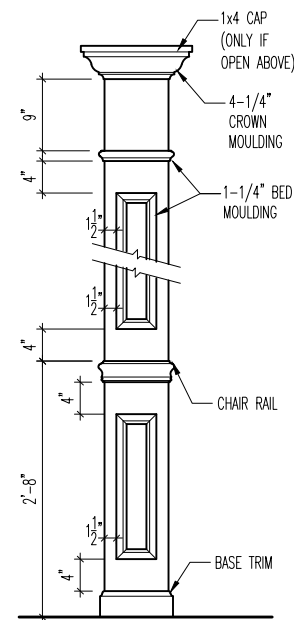
PLAN

**CRAFTSMAN  
INTERIOR COLUMN**

D  
D2.4

SCALE: 1/2" = 1'-0"

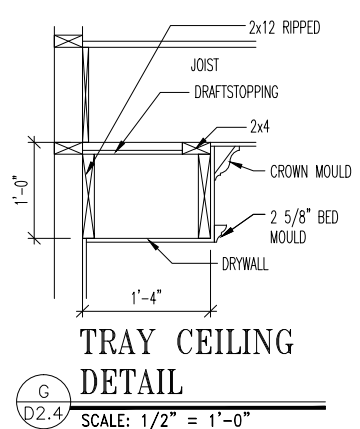
ALTERNATE



PLAN VIEW  
INTERIOR  
COLUMN

E  
D2.4

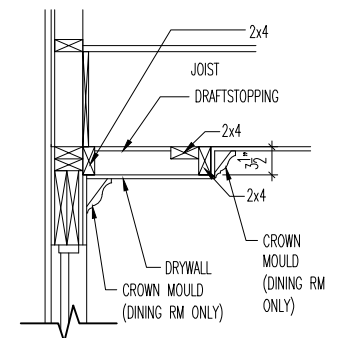
SCALE: 1/2" = 1'-0"



**TRAY CEILING  
DETAIL**

G  
D2.4

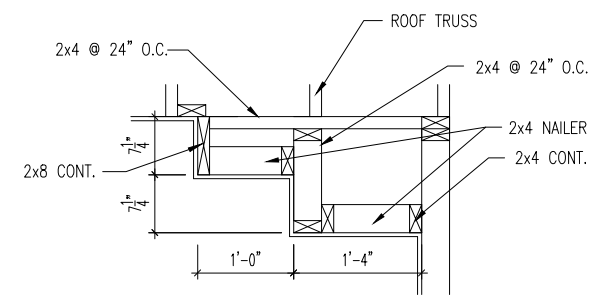
SCALE: 1/2" = 1'-0"



**TRAY CEILING  
DETAIL**

H  
D2.4

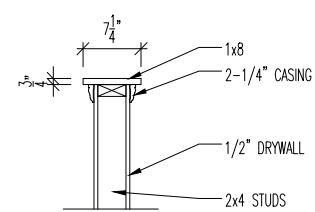
SCALE: 1/2" = 1'-0"



**TRAY CEILING DETAIL**

I  
D2.4

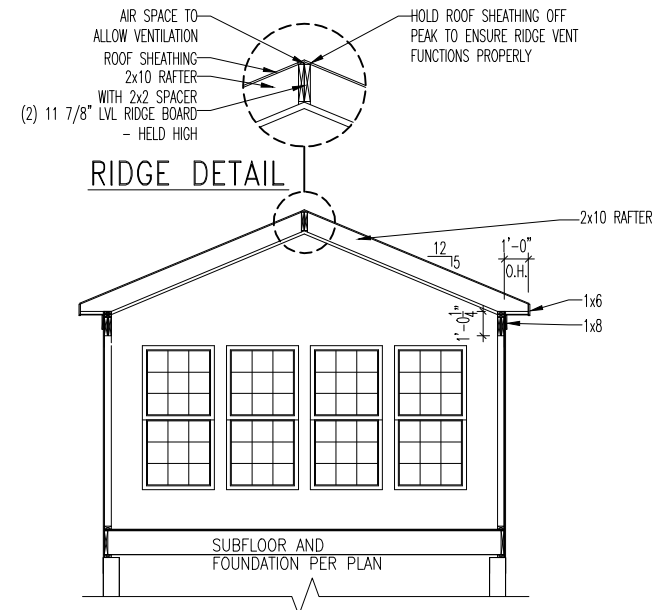
SCALE: 1/2" = 1'-0"



**HALF WALL CAP DETAIL**

F  
D2.4

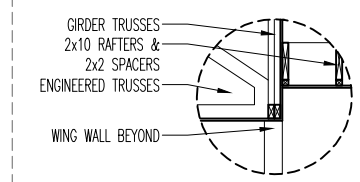
SCALE: 1/2" = 1'-0"



**SECTION THROUGH LARGE 10x16 SUNROOM**

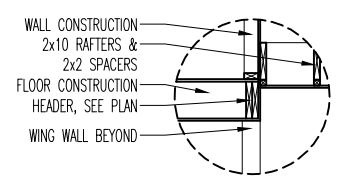
K  
D2.4

SCALE: 1/8" = 1'-0"



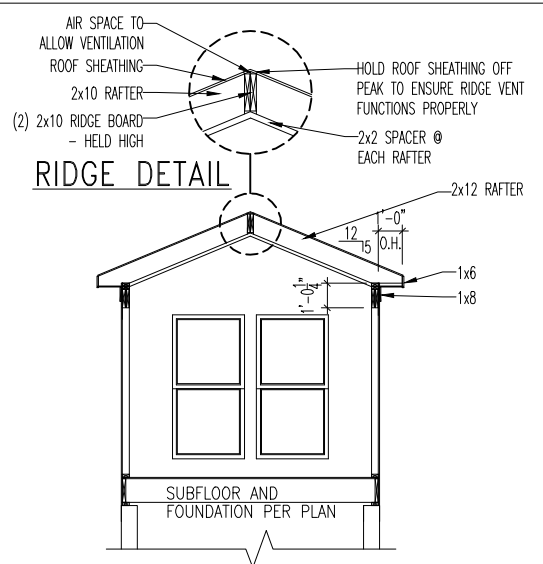
**SUNROOM HEADER  
DETAIL - RANCH**

SCALE: 1/4" = 1'-0"



**SUNROOM HEADER  
DETAIL - 2 STORY**

SCALE: 1/4" = 1'-0"



**SECTION THROUGH SMALL 10x10 SUNROOM**

L  
D2.4

SCALE: 1/8" = 1'-0"



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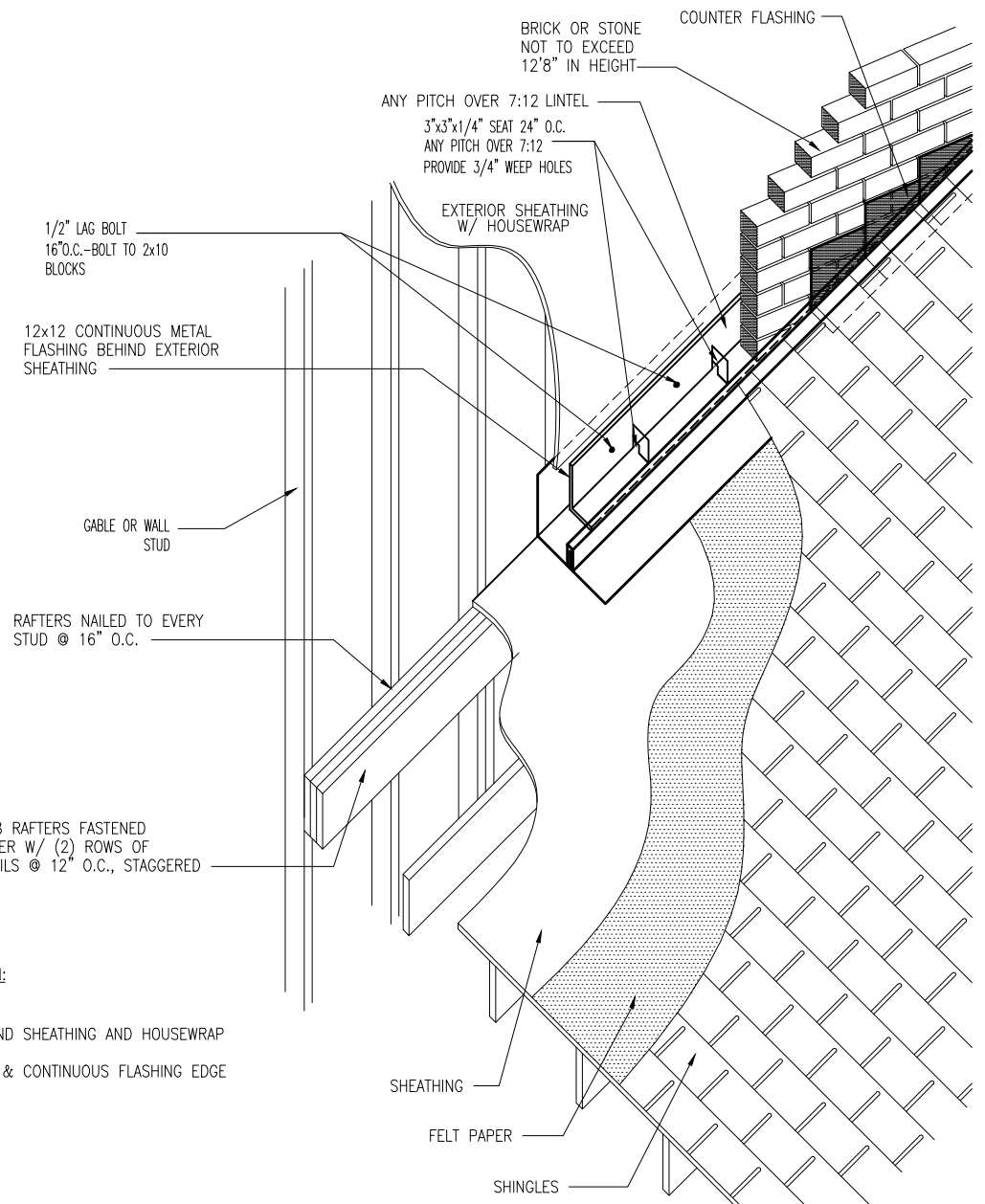
STD. DETAIL SHEET  
REGION:  
CLEVELAND

Std. By: ALL  
Chk. By: ARC  
Std. Date: 10.11.06  
Date of Last Rev: 04/04/14 AKS

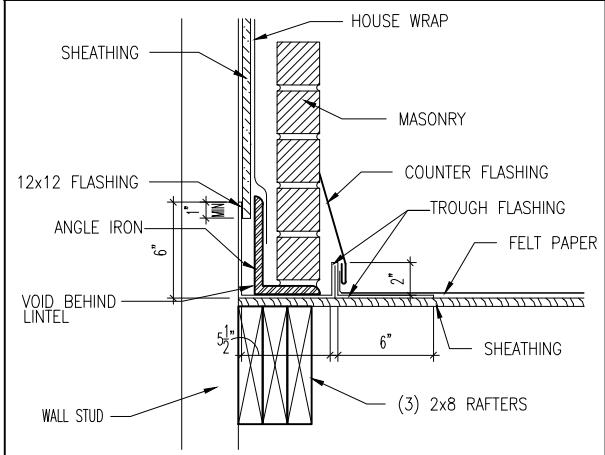
Sheet Description:  
COLUMN DETAILS  
SUNROOM DETAILS

DETAILS MAY NOT APPLY TO CONTRACT  
CLEVE - D-SHEETS.dwg Aug 04, 2014 - 2:51pm

Sheet No.  
D2.4

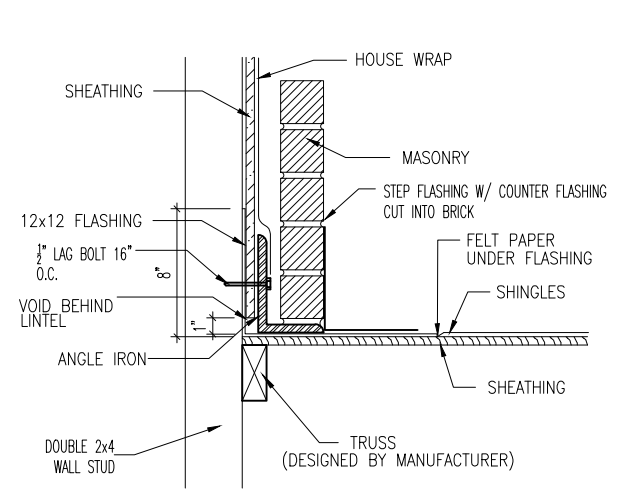


- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
  2. FELT PAPER
  3. 12"x12" FLASHING BEHIND SHEATHING AND HOUSEWRAP
  4. ANGLE IRON
  5. CAULK ALL NAIL HOLES & CONTINUOUS FLASHING EDGE
  6. BRICK
  7. STEP FLASHING
  8. SHINGLES
  9. COUNTER FLASHING

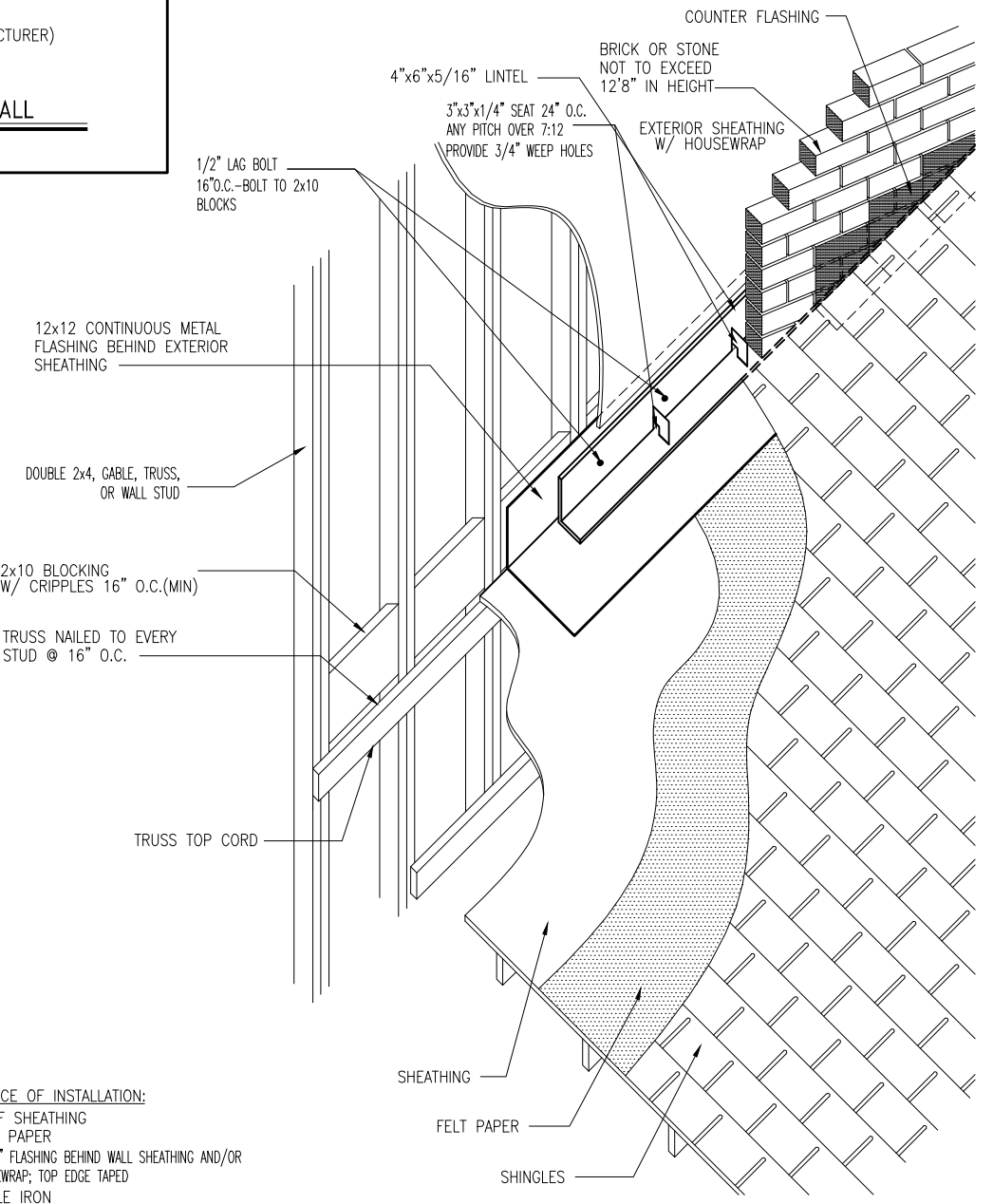


**C**  
G.X  
**ROOF FLASHING @ BRICK WALL**  
SCALE: 1" = 1'-0"

**A**  
G.X  
**MASONRY OVER ROOF DETAIL W/ COMMON FRAMING**  
SCALE: 1/2" = 1'-0"



**D**  
D2.7  
**ROOF FLASHING @ BRICK WALL**  
SCALE: 1" = 1'-0"



- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
  2. FELT PAPER
  3. 12"x12" FLASHING BEHIND WALL SHEATHING AND/OR HOUSEWRAP; TOP EDGE TAPED
  4. ANGLE IRON
  5. CAULK ALL NAIL HOLES @ CONTINUOUS FLASHING
  6. BRICK
  7. STEP FLASHING
  8. SHINGLES
  9. COUNTER FLASH

**B**  
D2.7  
**MASONRY OVER ROOF DETAIL W/ TRUSSES**  
SCALE: 1/2" = 1'-0"



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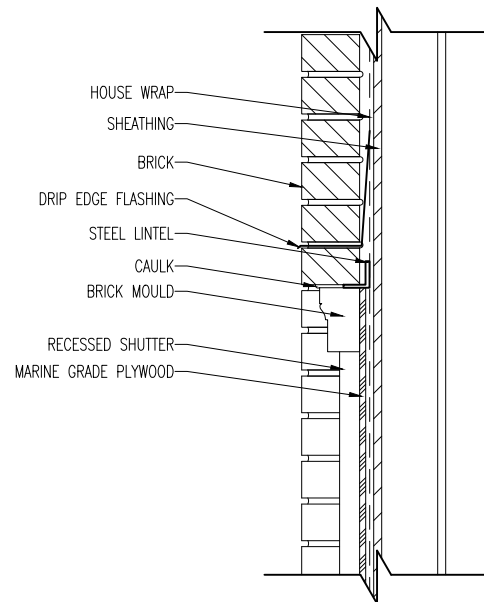
**STD. DETAIL SHEET**  
REGION:  
**CLEVELAND**

Std. By: BDT  
Chk. By: ARC  
Std. Date: 05/08/07  
Date of Last Rev: 12/19/07 BRG

Sheet Description:  
**BRICK OVER ROOF DETAILS**

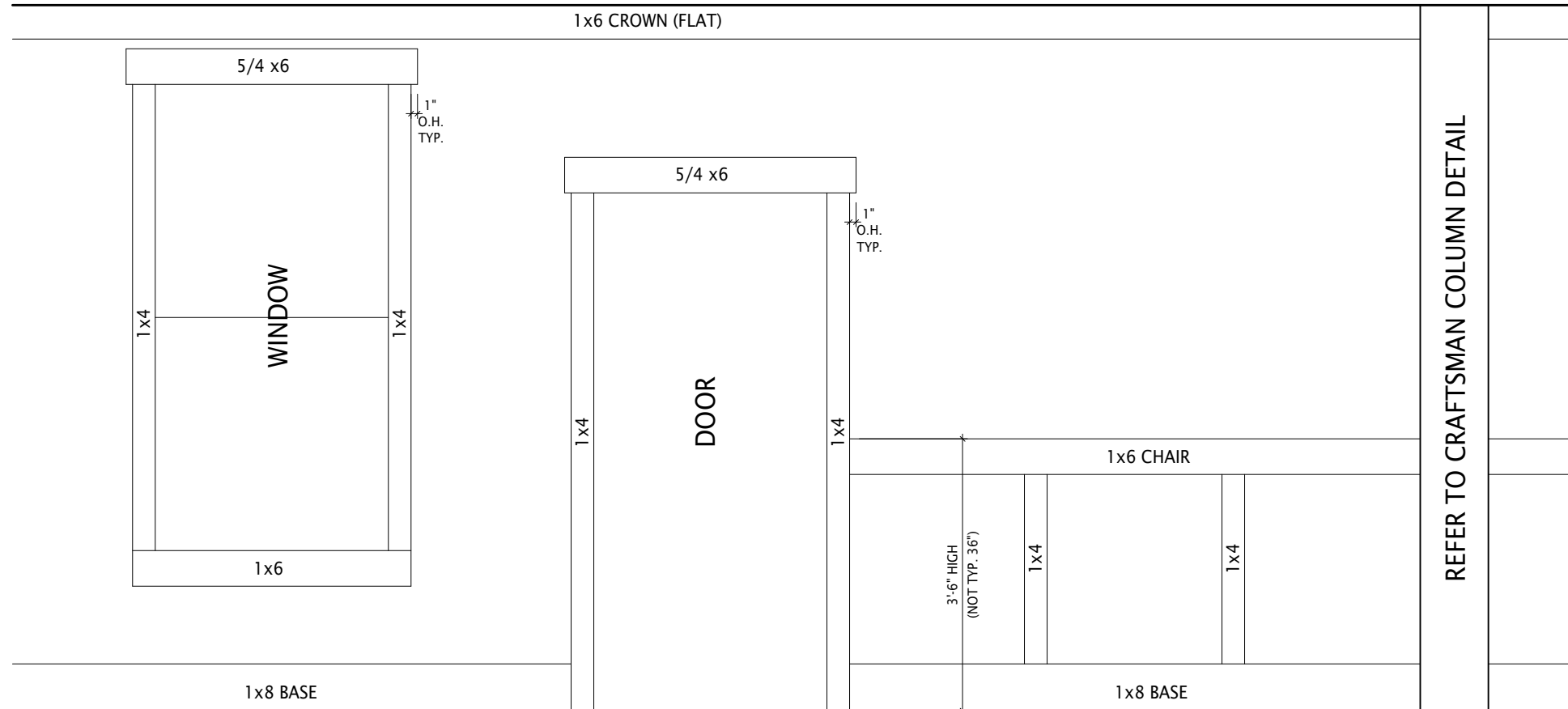
**DETAILS MAY NOT APPLY TO CONTRACT**  
CLEVE - D-SHEETS.dwg Jun 10, 2015 - 10:16am

Sheet No.  
**D2.7**

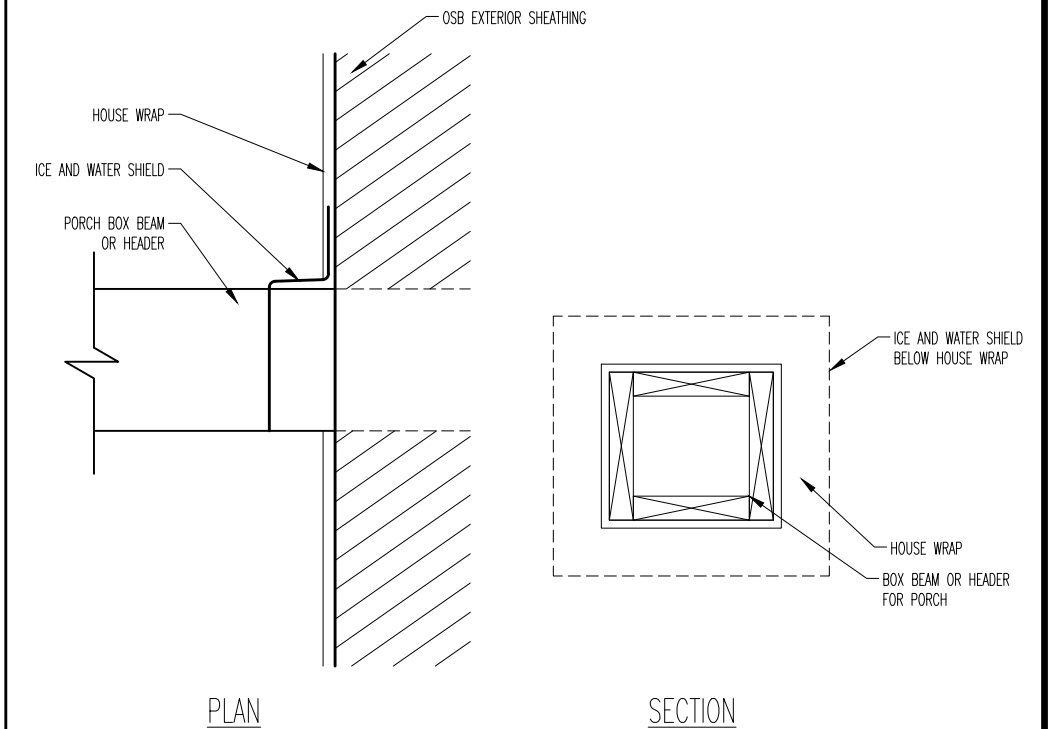


**DETAIL RECESSED FAKE SHUTTER IN BRICK**

**B**  
2.8  
SCALE: 1" = 1'0"

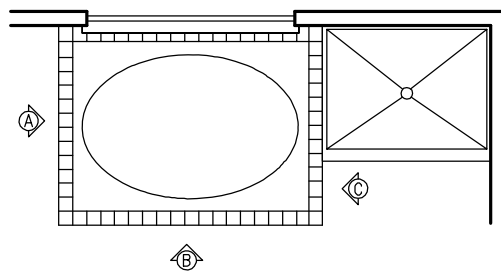


**E**  
D2.8  
**CRAFTSMAN STYLE INTERIOR TRIM PACKAGE - ELEVATION**



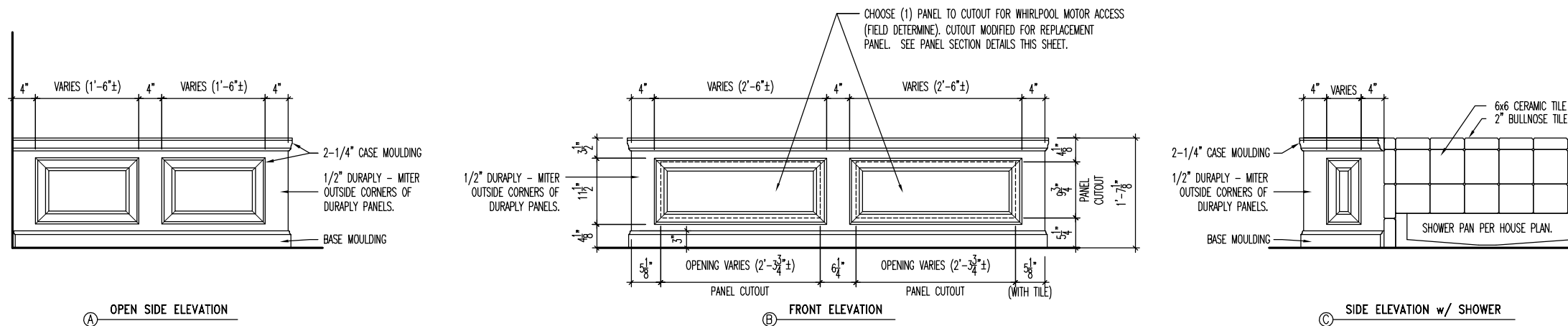
**D**  
D2.8  
**FRONT PORCH BOX BEAM DETAIL**  
SCALE: 1" = 1'0"

RETANGULAR TUB



RETANGULAR TUB PLAN

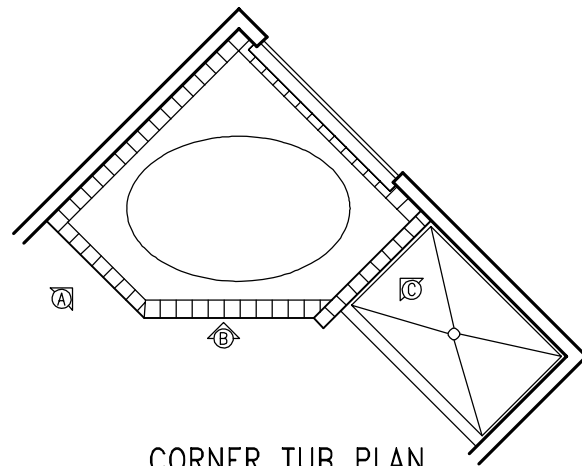
SCALE: 1/8" = 1'-0"



RECTANGULAR DROP-IN TUB PANEL ELEVATIONS

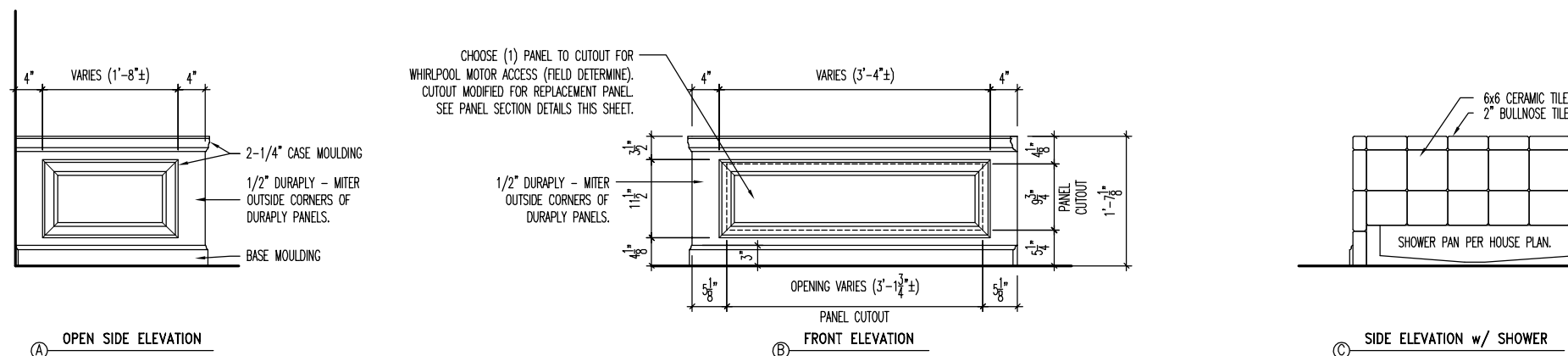
SCALE: 1/2" = 1'-0"

CORNER TUB



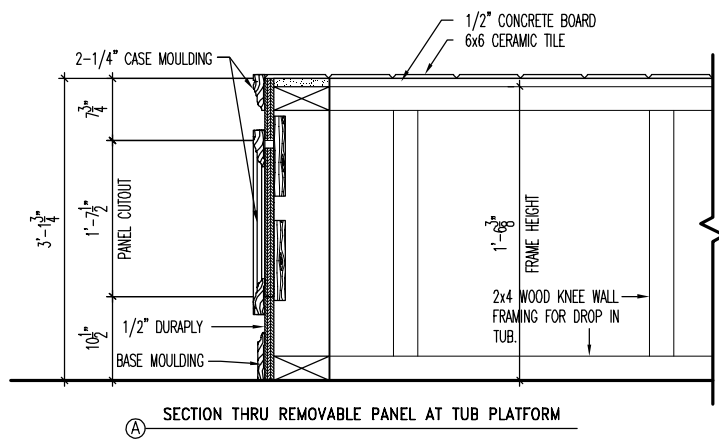
CORNER TUB PLAN

SCALE: 1/8" = 1'-0"

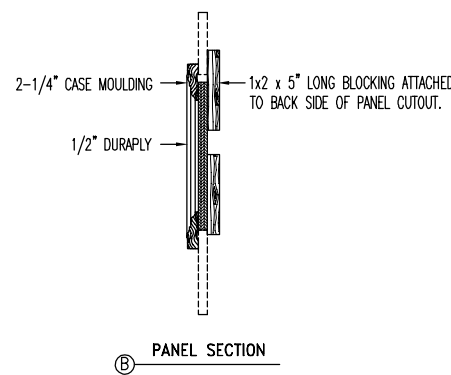


CORNER DROP-IN TUB PANEL ELEVATIONS

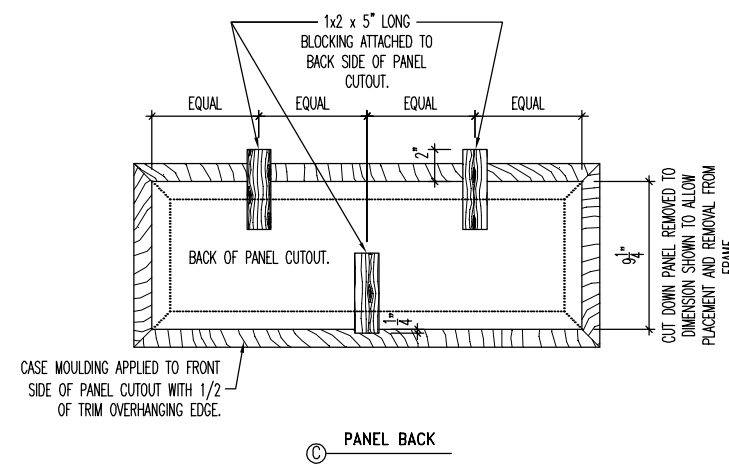
SCALE: 1/2" = 1'-0"



SECTION THRU REMOVABLE PANEL AT TUB PLATFORM



PANEL SECTION



PANEL BACK

PANEL SECTION DETAILS

SCALE: 1" = 1'-0"



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STD. DETAIL SHEET

REGION:  
CLEVELAND

Std. By: ALL  
 Chk. By: ARC  
 Std. Date: 10.11.06  
 Date of: REV\_DATE

Sheet Description:

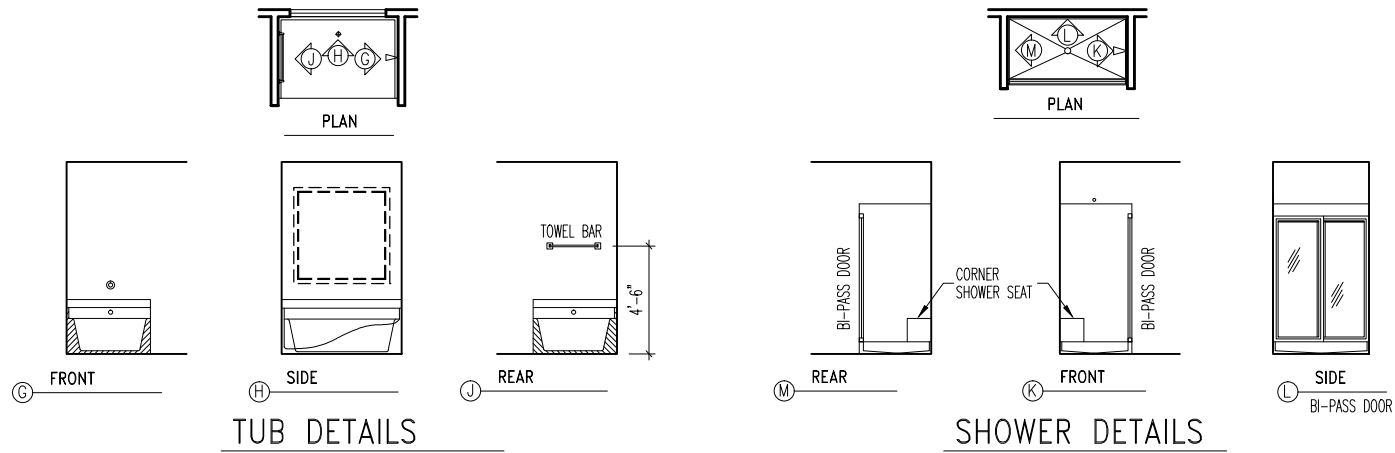
FOUNDATION DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Feb 27, 2009 - 9:47am

Sheet No.

D8.1



**TUB DETAILS**

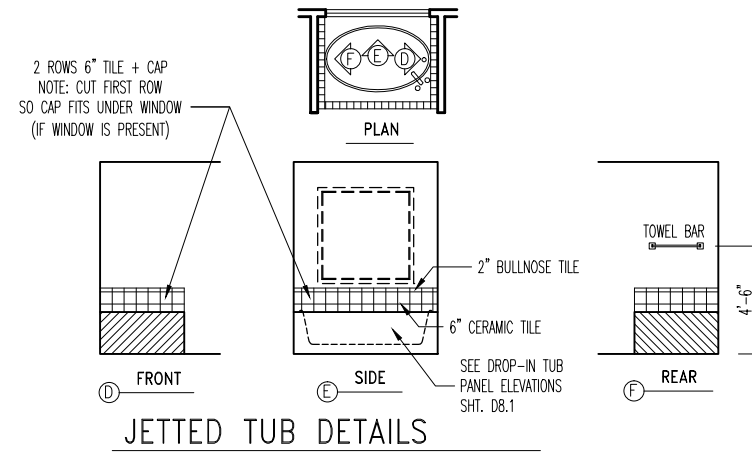
SCALE: 1/8" = 1'-0"

**SHOWER DETAILS**

SCALE: 1/8" = 1'-0"

**STD. OWNER'S BATH DETAILS (WITH SEPERATE SHOWER)**

SCALE: 1/8" = 1'-0"

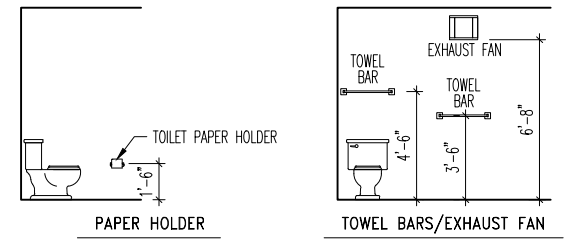


**JETTED TUB DETAILS**

SCALE: 1/8" = 1'-0"

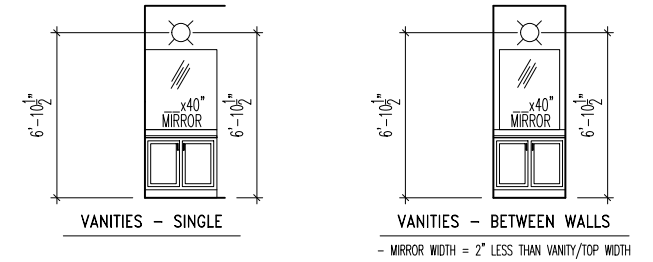
**JETTED OWNER'S BATH DETAILS**

SCALE: 1/8" = 1'-0" (SHOWER UNITS SAME AS STD. BATH)



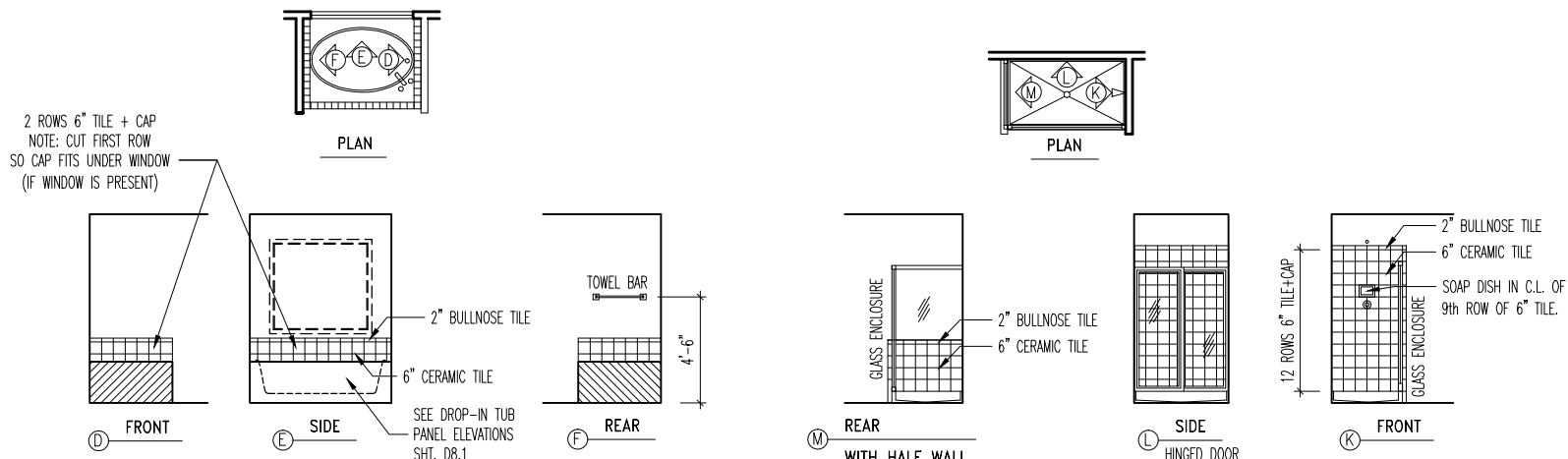
**PAPER HOLDER/TOWEL BARS**

SCALE: 1/8" = 1'-0"



**VANITY DETAILS\***

SCALE: 1/8" = 1'-0"  
 \*MIRROR WIDTH = VANITY/TOP WIDTH  
 - TOTAL VANITY WIDTH = LESS THAN 72" --- (1) LIGHT FIXTURE  
 - TOTAL VANITY WIDTH = 72" OR MORE --- (2) LIGHT FIXTURE  
 \*(HALL BATH AND OWNER'S BATH ONLY)



**TUB DETAILS (JETTED TUBS SAME DETAILS)**

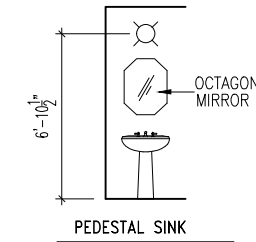
SCALE: 1/8" = 1'-0"

**SHOWER DETAILS**

SCALE: 1/8" = 1'-0"

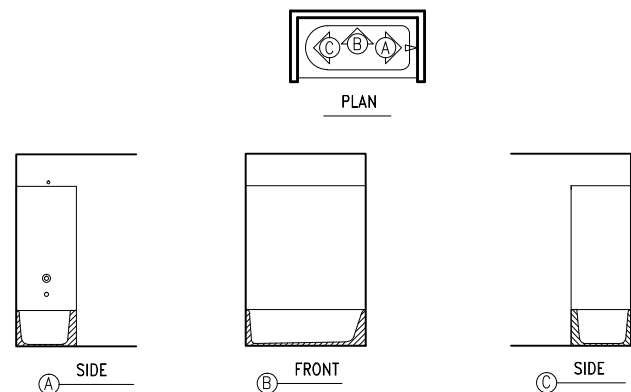
**DESIGNER OWNER'S BATH DETAILS**

SCALE: 1/8" = 1'-0"



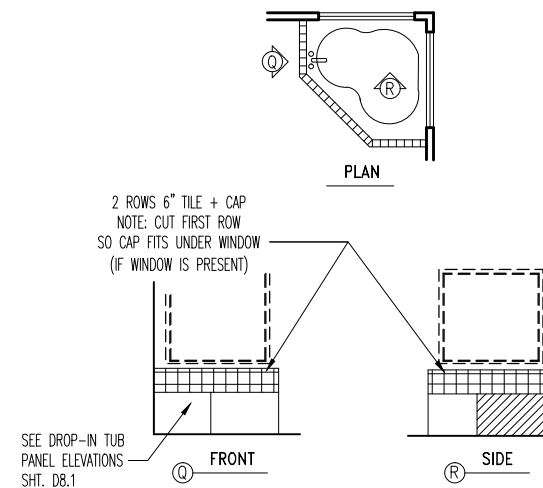
**PED SINK DETAILS\***

SCALE: 1/8" = 1'-0"  
 \*(STD. IN POWDER ROOMS)



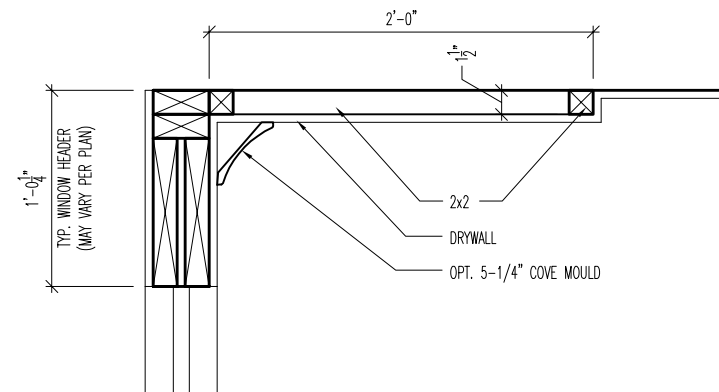
**HALL BATH (CONVENTIONAL TUB) DETAILS**

SCALE: 1/8" = 1'-0"



**CORNER TUB DETAIL**

SCALE: 1/8" = 1'-0"



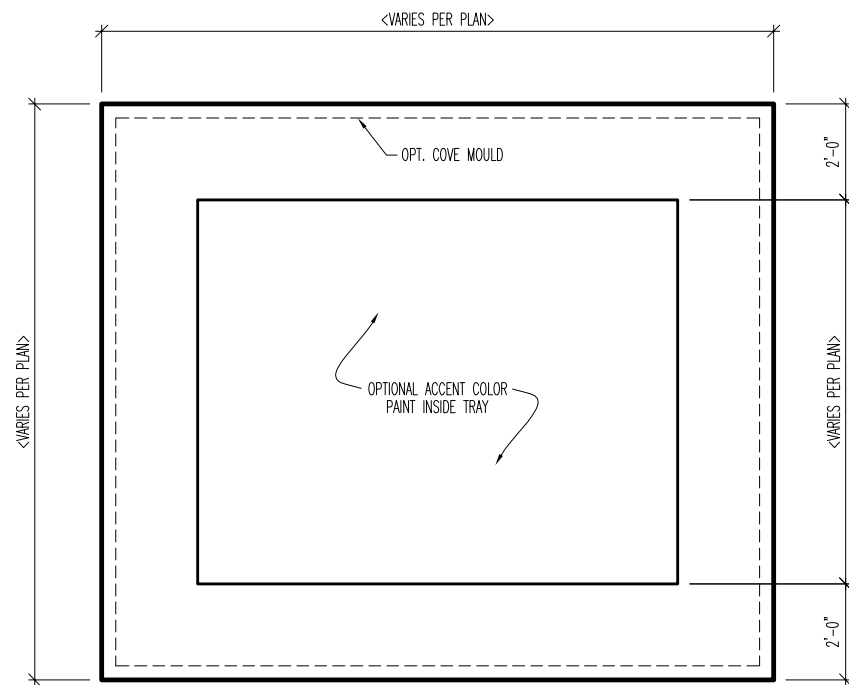
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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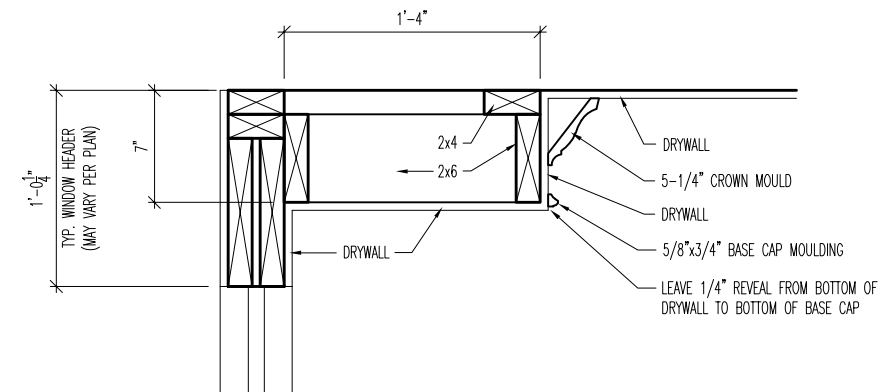
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

"CL-01" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

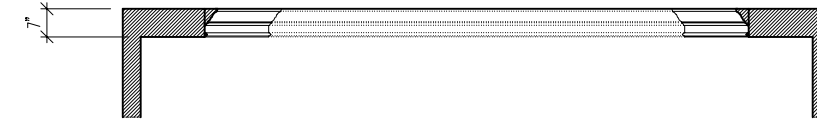
SHEET NO.  
**CL-01**

Drawing3.dwg Jan 09, 2018 - 11:45am



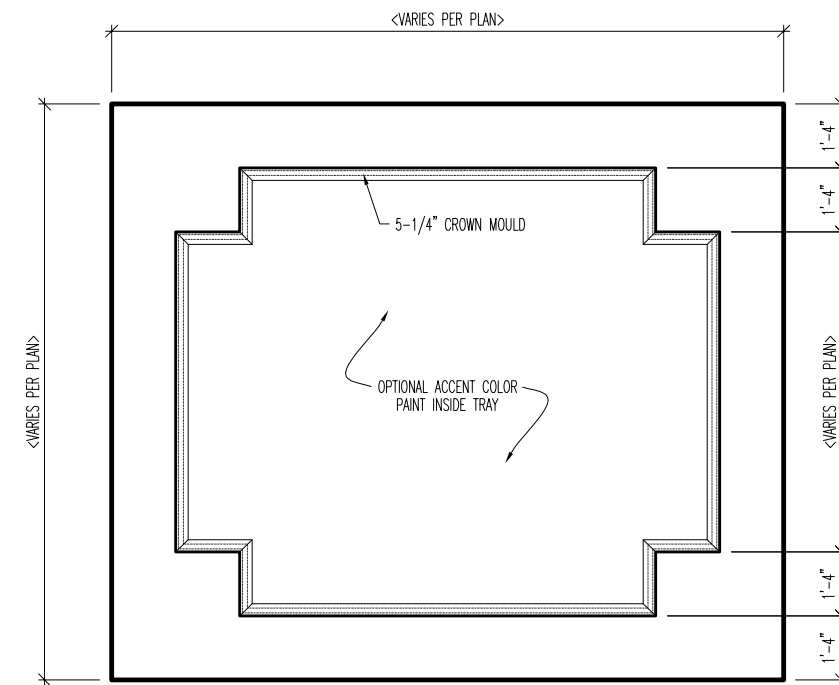
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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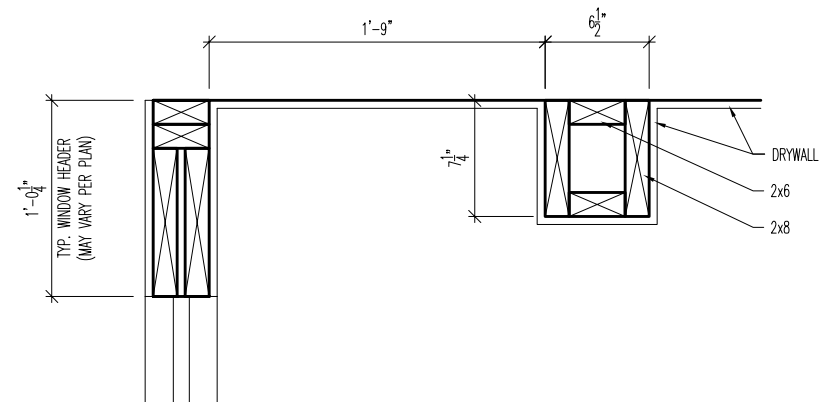
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

"CL-04" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

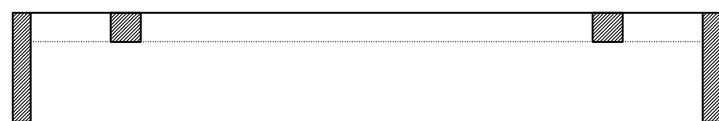
SHEET NO.  
**CL-04**

Drawing3.dwg Jan 09, 2018 - 11:45am



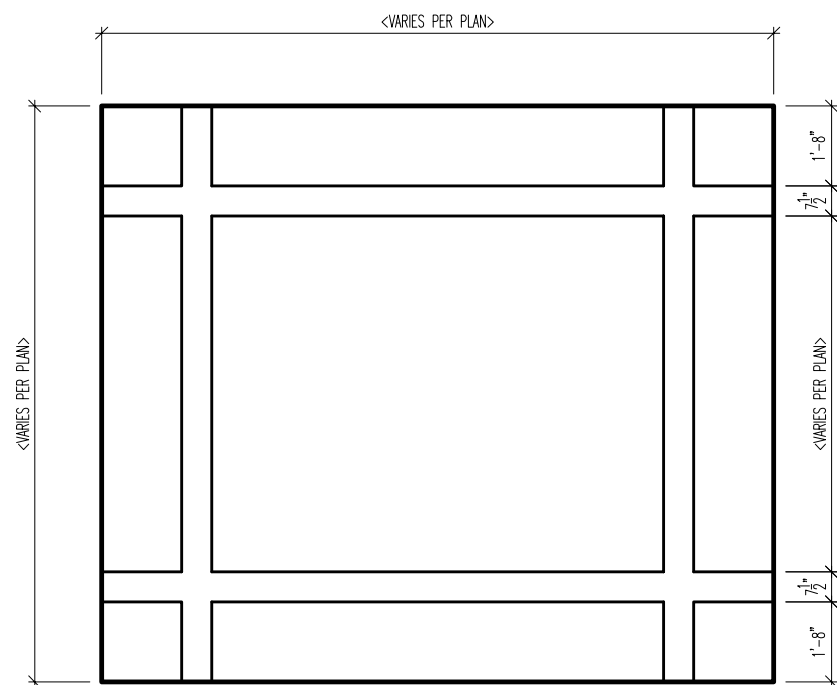
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

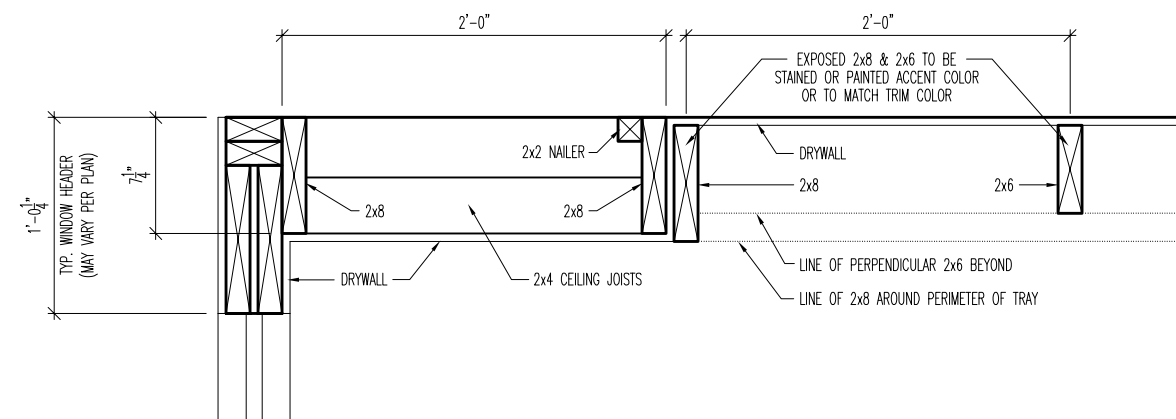
SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

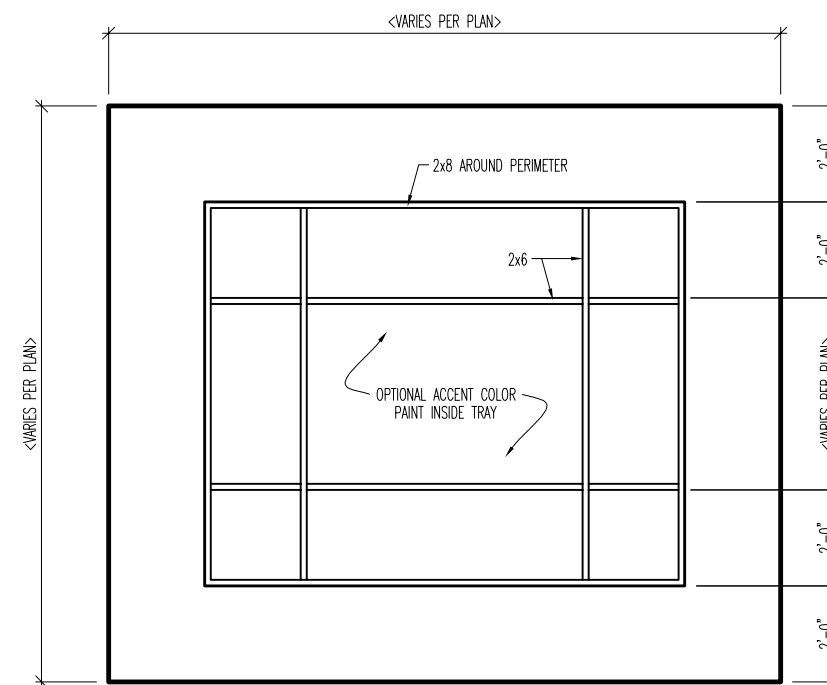
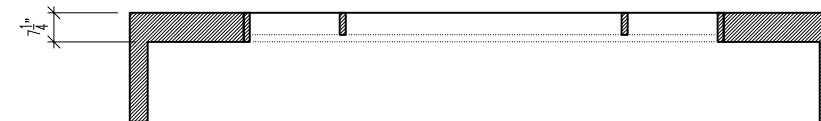
SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.



**TYPICAL ROOM SECTION**

SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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"CL-05" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX
Drawing3.dwg Jan 09, 2018 - 11:46am			

SHEET NO.  
**CL-05**

Drees Homes

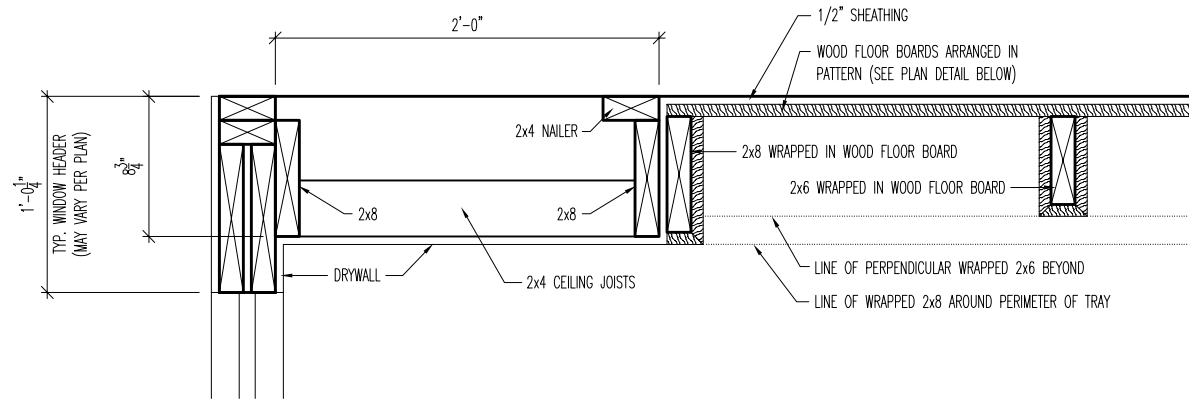
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

"CL-07" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX
Drawing3.dwg Jan 09, 2018 - 11:46am			

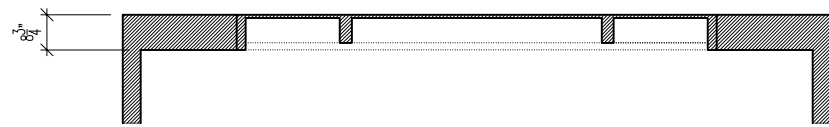
SHEET NO.  
**CL-07**





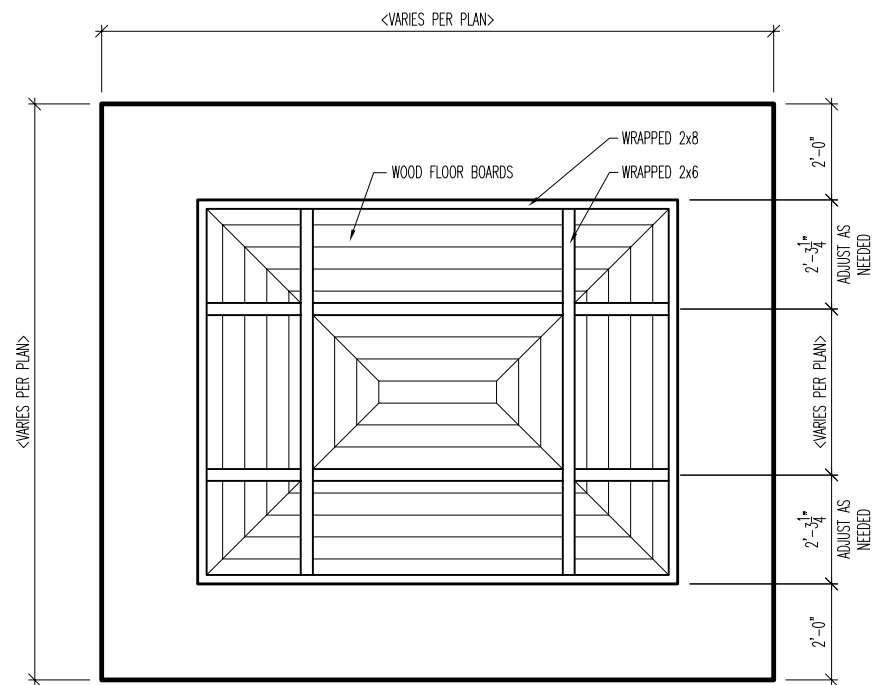
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

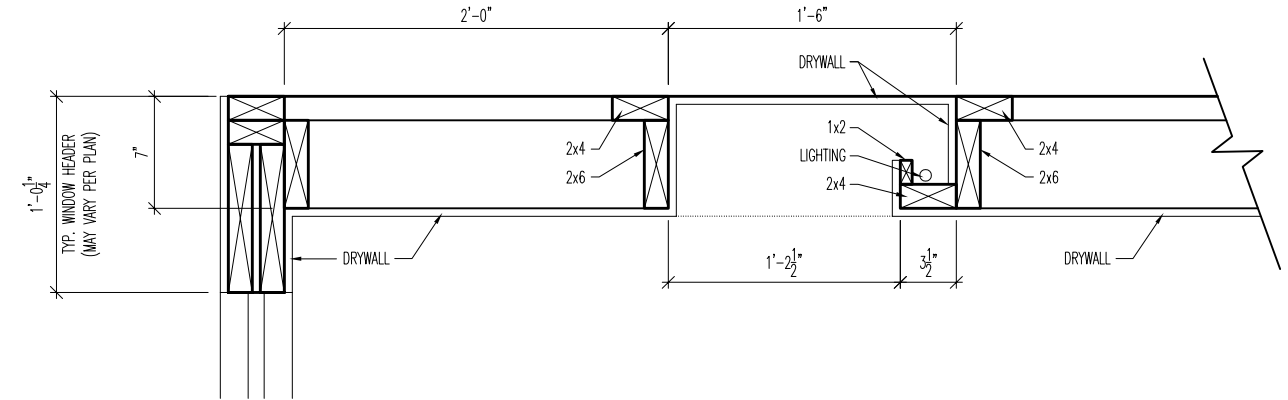
SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

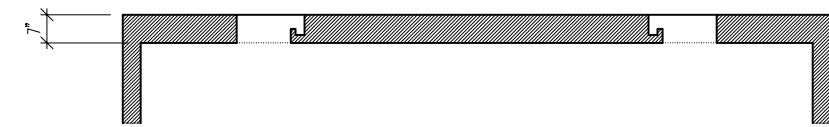
SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.



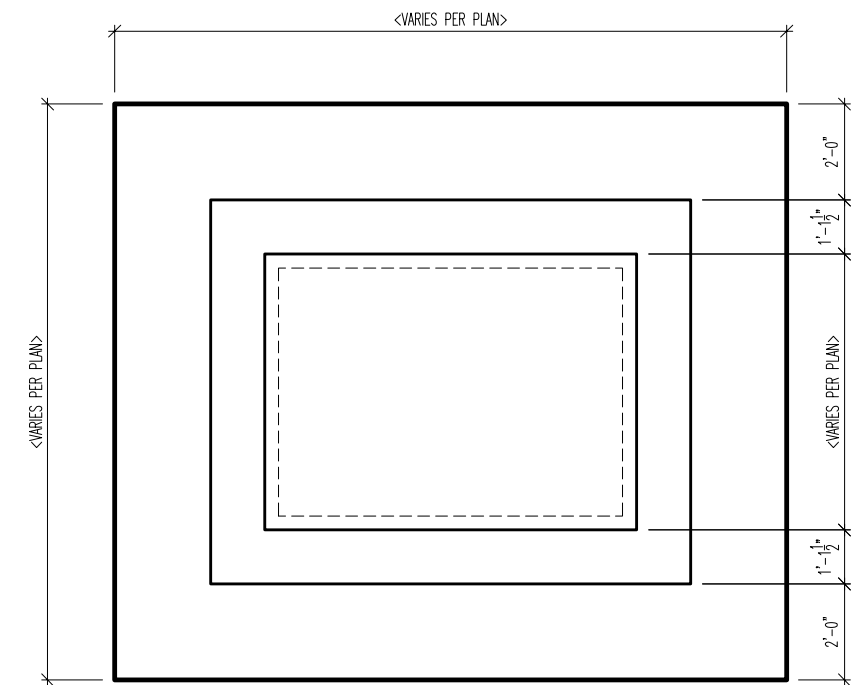
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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"CL-08" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

SHEET NO.  
**CL-08**

Drawing3.dwg Jan 09, 2018 - 11:46am

Drees Homes

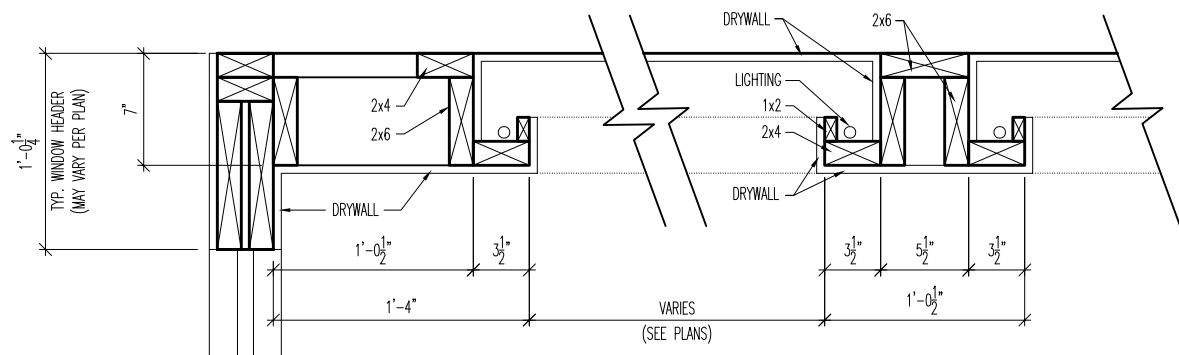
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

"CL-11" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

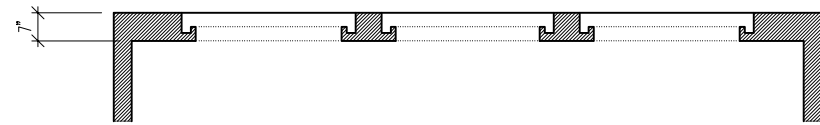
SHEET NO.  
**CL-11**

Drawing3.dwg Jan 09, 2018 - 11:46am



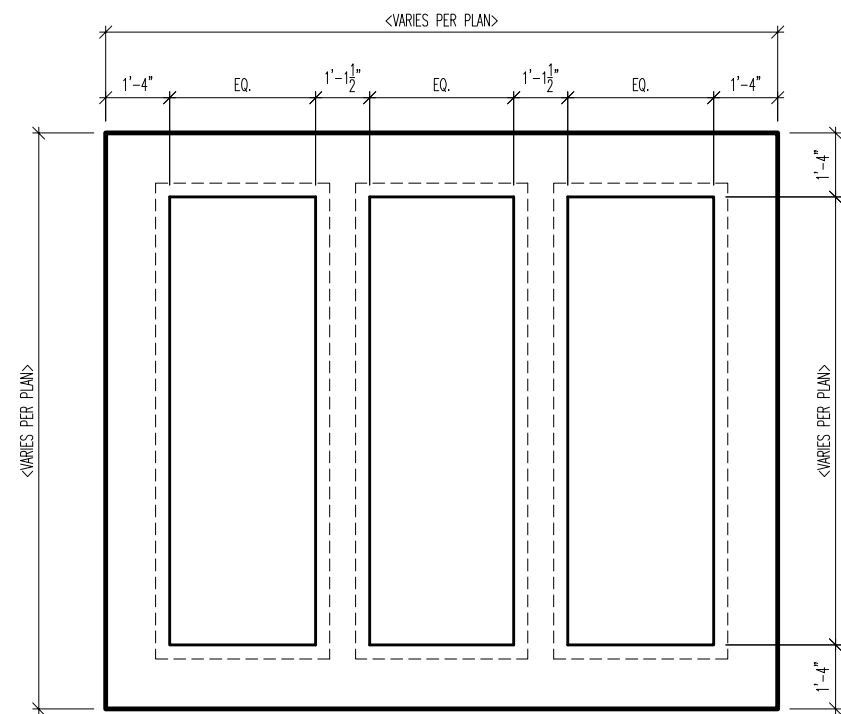
**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL ROOM SECTION**

SCALE: 1/4" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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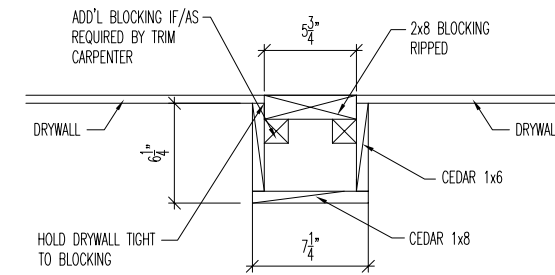
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

"CL-14" CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

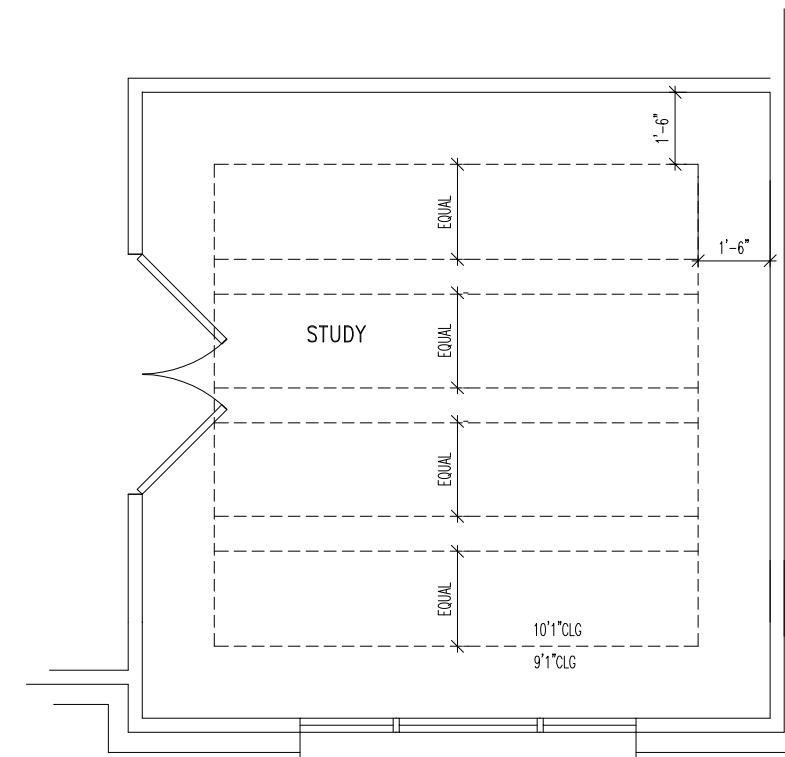
SHEET NO.  
**CL-14**

Drawing3.dwg Jan 09, 2018 - 11:47am



**DETAILED SECTION**

SCALE: 1" = 1'-0"



**TYPICAL PLAN LAYOUT**

SCALE: 1/4" = 1'-0"

Drees Homes

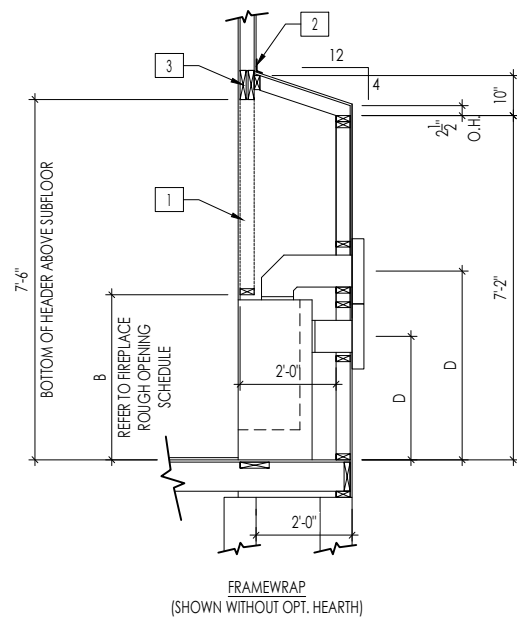
6650 West Snowville Road, Suite J, Brecksville, Ohio 44141

CEDAR BEAM CEILING DESIGN  
CLEVELAND  
SCALE: AS NOTED

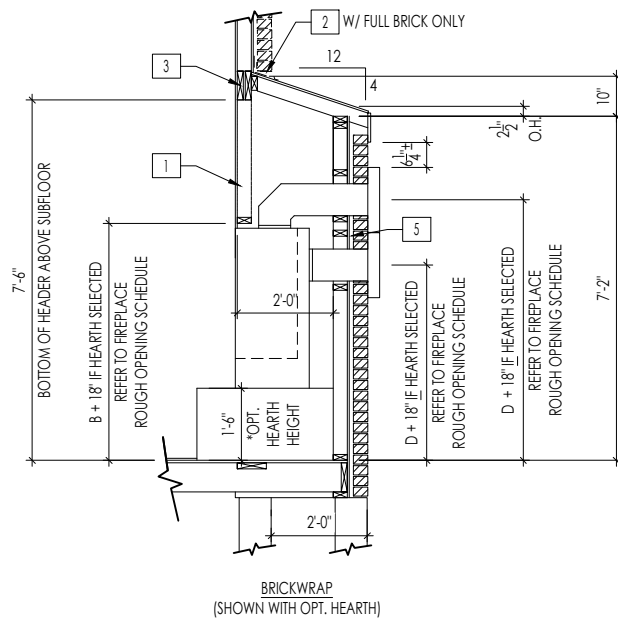
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SHEET NO.  
**CEDAR**

Drawing3.dwg Jan 09, 2018 - 11:47am



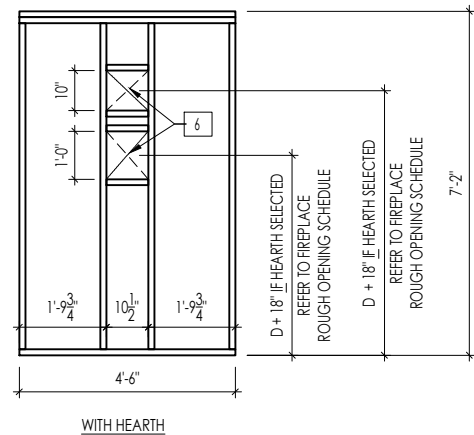
FRAMEWRAP  
(SHOWN WITHOUT OPT. HEARTH)



BRICKWRAP  
(SHOWN WITH OPT. HEARTH)

**FIREPLACE DOGHOUSE SECTIONS**

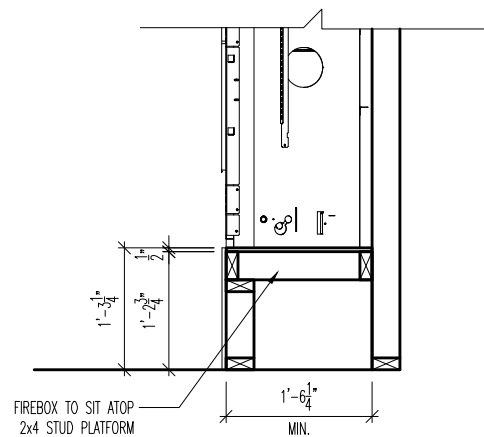
SCALE: 1/4" = 1'-0"



WITH HEARTH

**DIRECT VENT REAR WALL FRAMING**

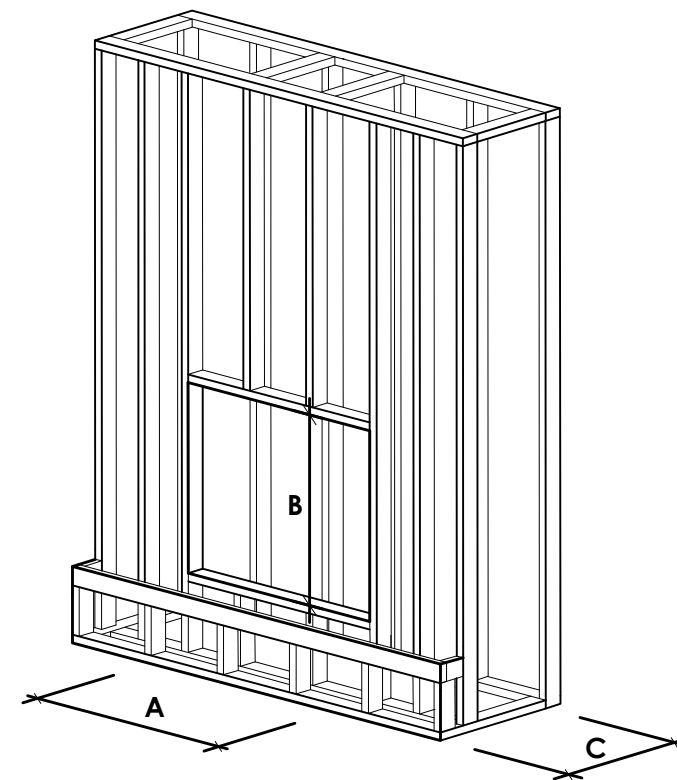
SCALE: 1/4" = 1'-0"



FIREBOX TO SIT ATOP  
2x4 STUD PLATFORM

**RAVE FIREPLACE PLATFORM DETAIL**

SCALE: 1/2" = 1'-0"



NOTE:  
PROVIDE OSB SHEATHING WHEN  
STONE VENEER SELECTED

**FIREPLACE ROUGH OPENING SCHEDULE**

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
	NOVUS 33	39"	34-7/8"	19-5/8"	TOP 40" SIDE 23-1/2"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPEC.
	COURTYARD 42	49-1/4"	44-1/8"	18-1/8"	SEE MANUFACTURER'S SPEC.
	LANAI *(NOT IN CINCY/NKY)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPEC.
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"

all dimensions are in inches

**General Notes**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

**Key Notes**

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)



**The Drees Company**

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**FIREPLACE DETAILS**

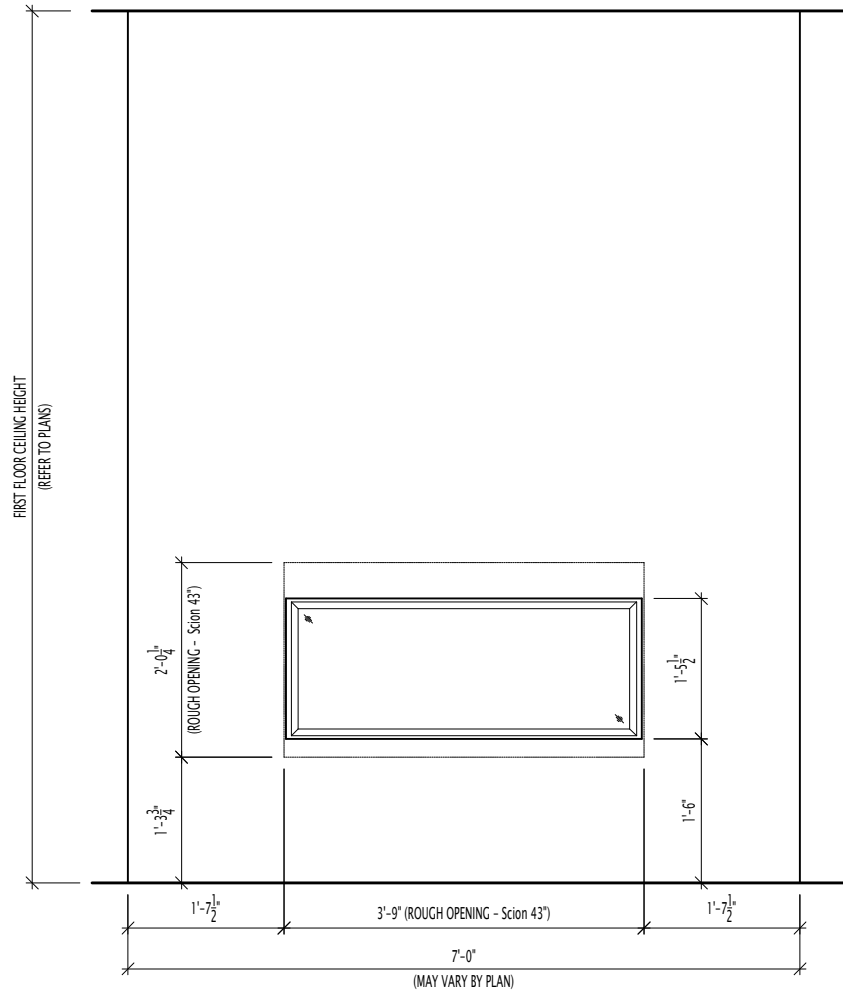
Std. Drawn By: MRPB  
Std. Date: 02.29.20  
Date of Last Rev: 5.10.2022

Sheet Description:  
**FIREPLACE DETAIL**  
g:\architecture\cincinnati\cint standard drawings\fireplace\fireplace detail sheets.dwg

SCALE: VARIES

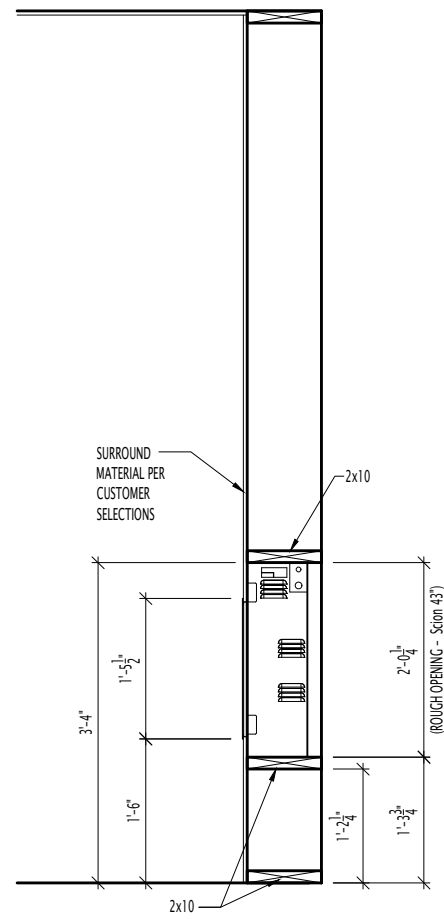
Sheet No.

**F-1**



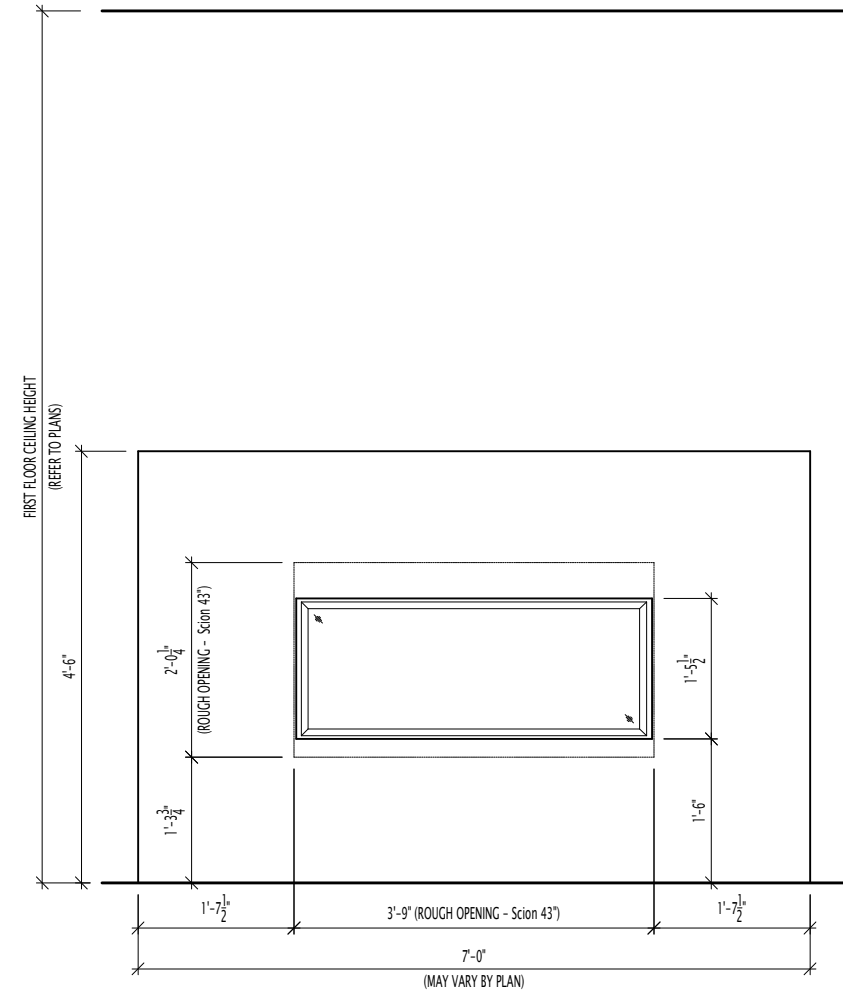
**ELEVATION- FULL HEIGHT**

SCALE: 1/2" = 1'-0"



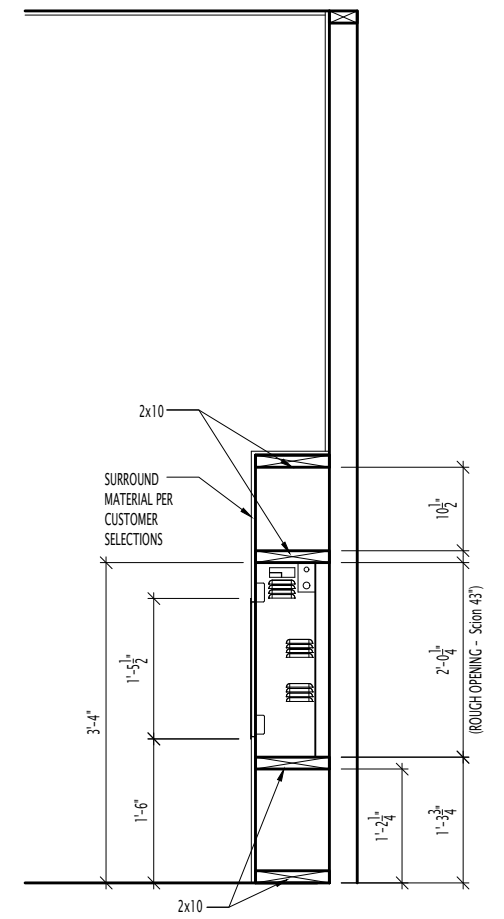
**SECTION - FULL HEIGHT**

SCALE: 1/2" = 1'-0"



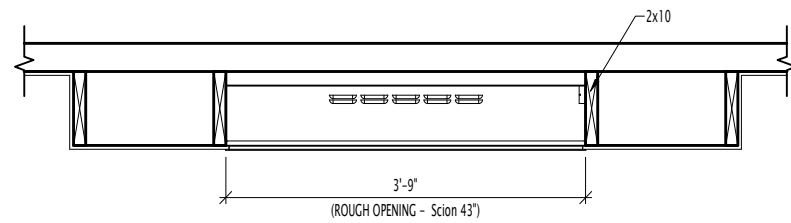
**ELEVATION- HALF HEIGHT**

SCALE: 1/2" = 1'-0"



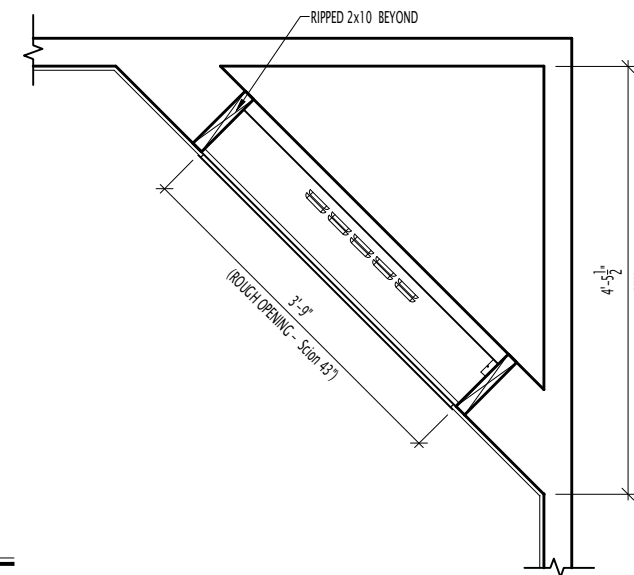
**SECTION - HALF HEIGHT**

SCALE: 1/2" = 1'-0"



**PLAN VIEWS**

SCALE: 1/2" = 1'-0"

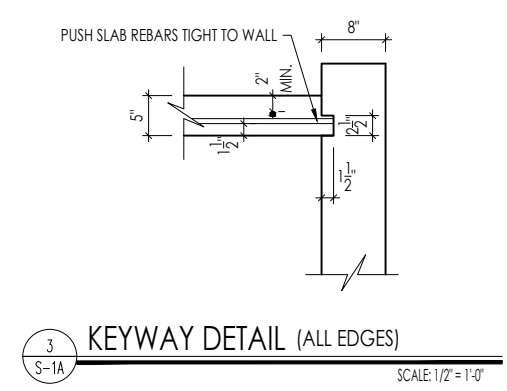
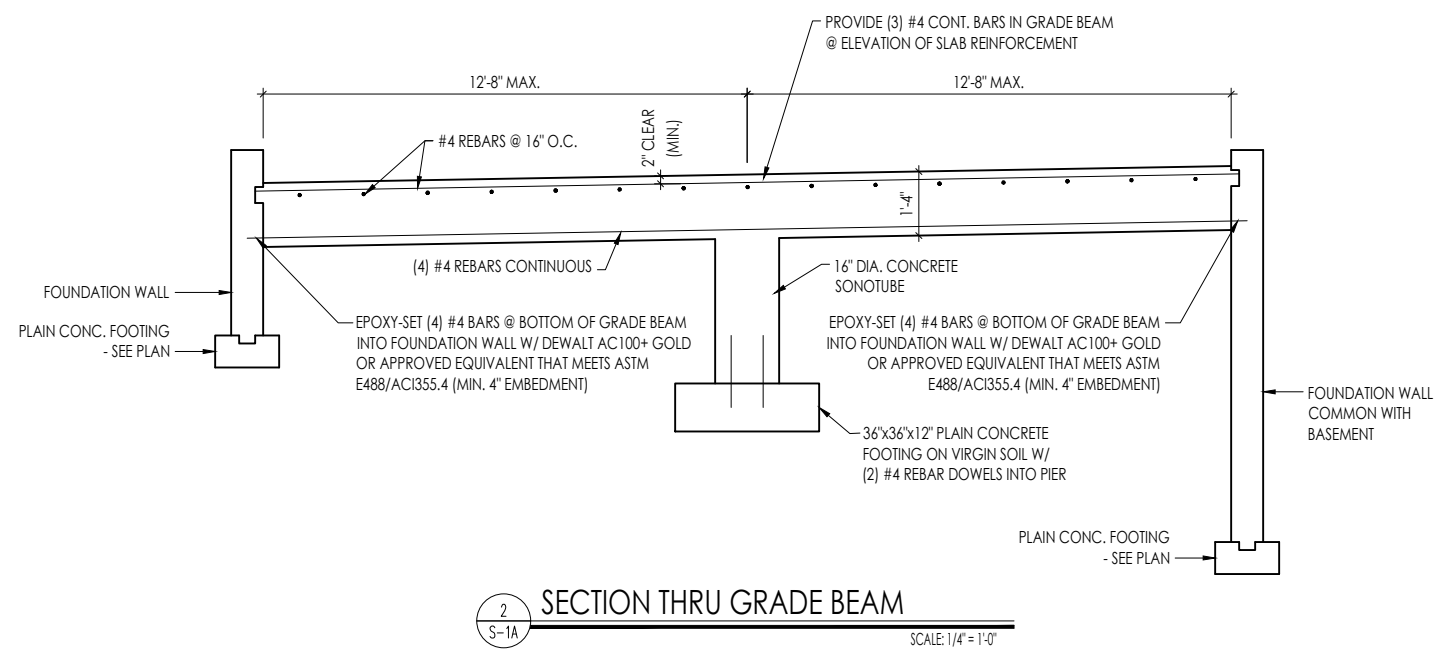
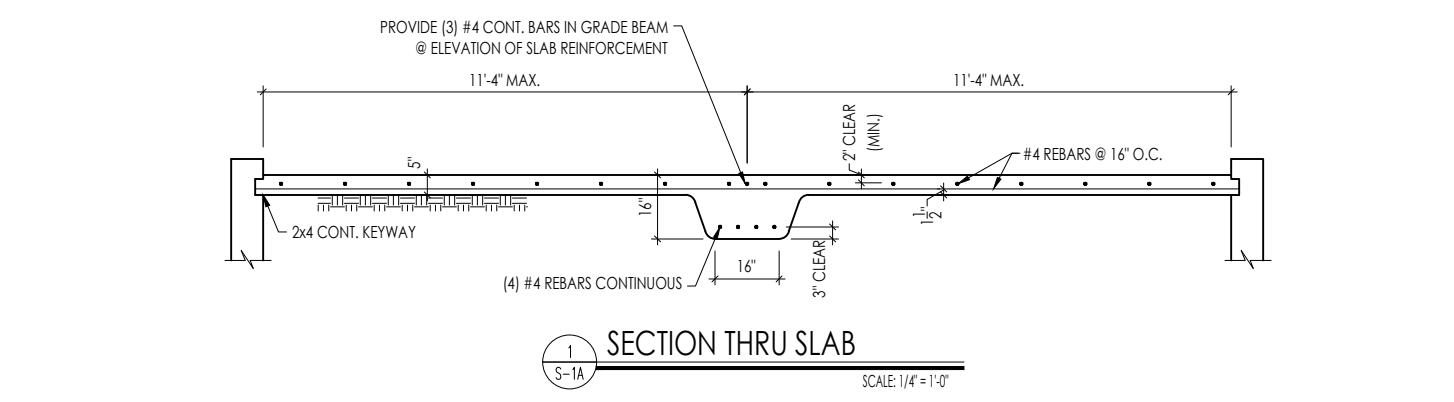
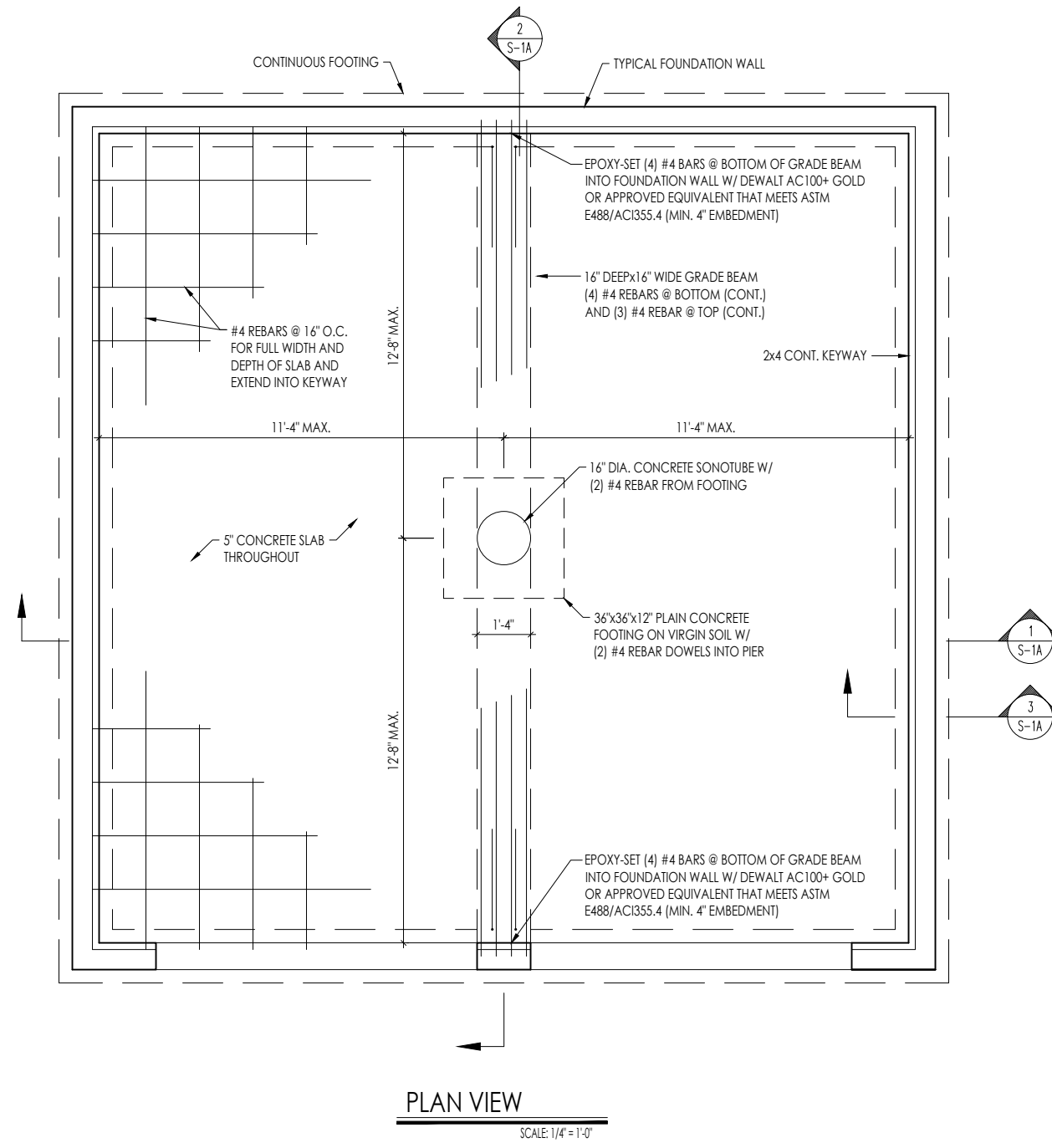


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SCION FIREPLACE DETAIL  
CINCINNATI / NKY SINGLE FAMILY & TOWNHOMES  
SCALE: NONE

REVISED BY:	ALD
LAST REVISION:	8.15.2022
G:\Architecture\Cincinnati\Cinti Standard Drawings\Fireplace\Scion Fireplace Detail.dwg Nov 30, 2022 - 8:57am	

F-03



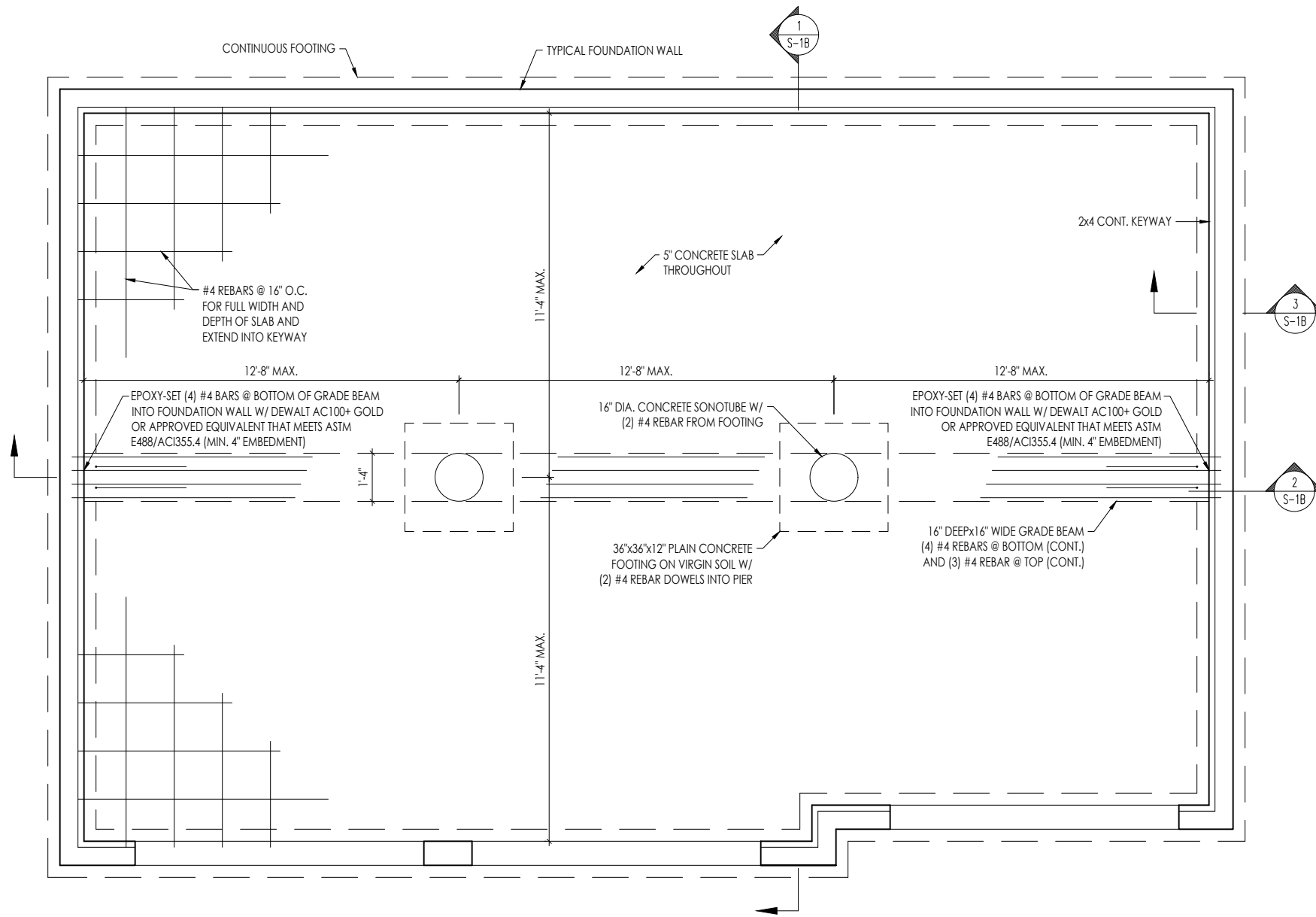
**GENERAL NOTES**

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0\"/>
- 2. CONCRETE STRENGTH AT SLAB: 3500 PSI
- 3. ALL REBAR SHALL BE  $F_y = 60$  KSI STEEL

**ALTERNATE GARAGE SLAB**

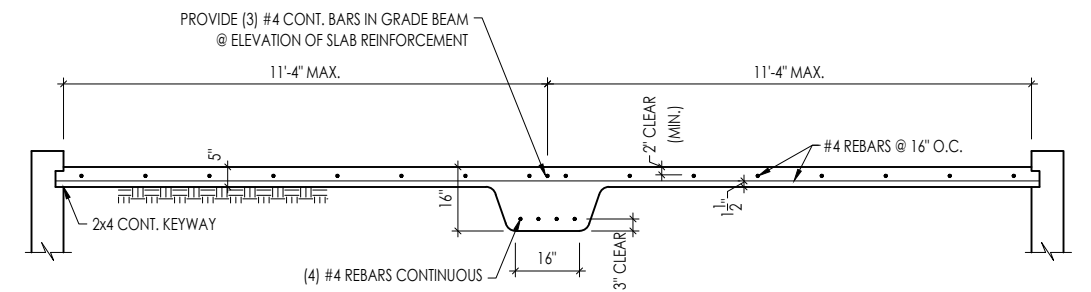
1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.

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RESIDENTIAL STRUCTURAL ENGINEERING  
100 Mulhern Ave., Dayton, OH 45424  
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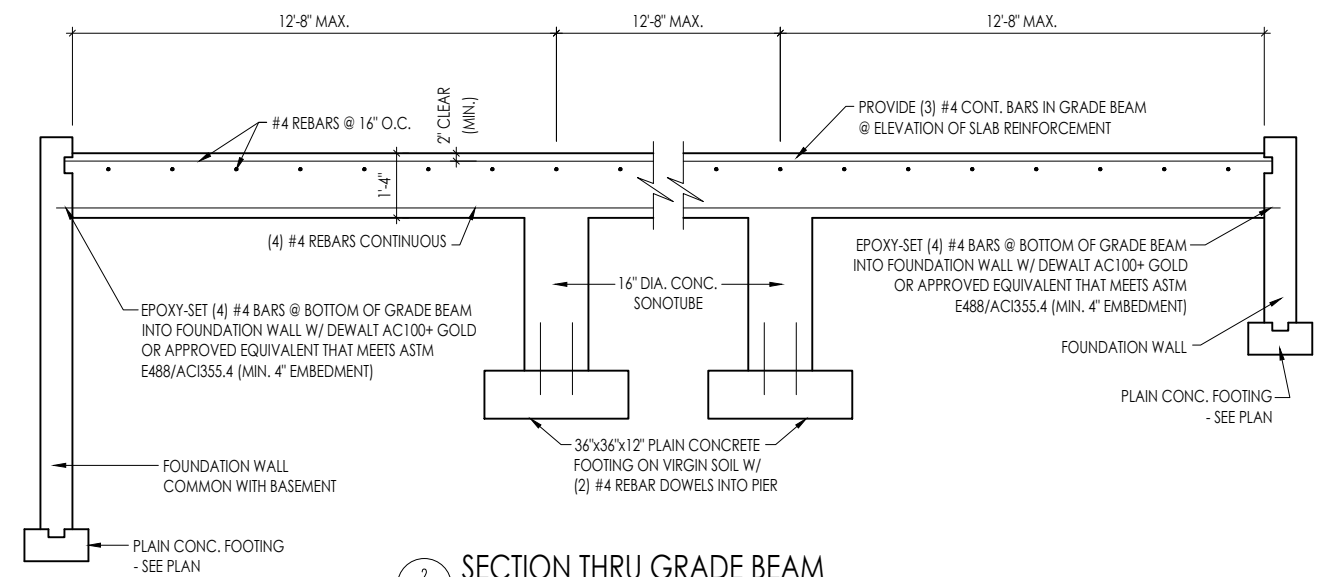
PLAN VIEW

SCALE: 1/4" = 1'-0"



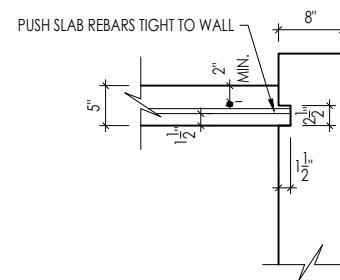
SECTION THRU SLAB

SCALE: 1/4" = 1'-0"



SECTION THRU GRADE BEAM

SCALE: 1/4" = 1'-0"



KEYWAY DETAIL (ALL EDGES)

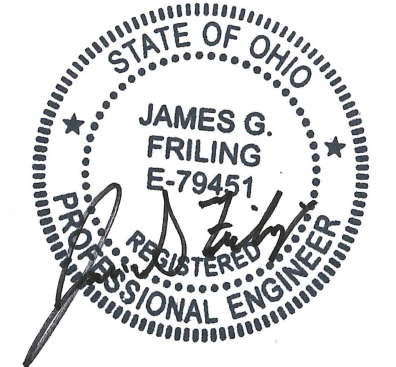
SCALE: 1/2" = 1'-0"

GENERAL NOTES

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0" - FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. ALL REBAR SHALL BE  $F_y = 60$  KSI STEEL

ALTERNATE GARAGE SLAB

1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.



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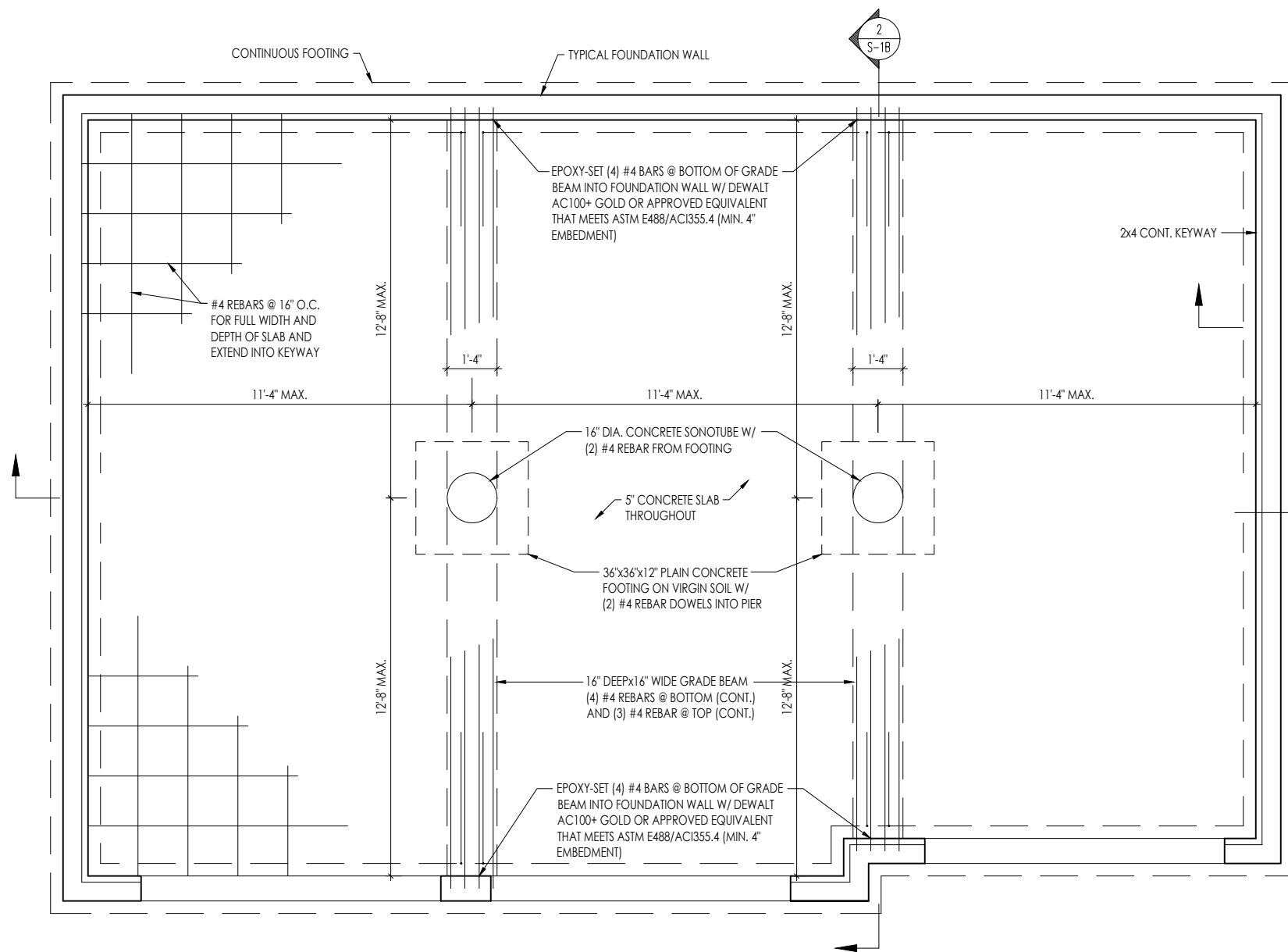
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Std. By:	ALL	Sheet Description:
Chk. By:	ARC	REINFORCING DETAILS
Std. Date:	5/22/09	3-CAR FRONT OR SIDE ENTRY GARAGE
Date of Last Rev:	01/20/23 mph	\\ftm-wm-fs1\data\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019

SCALE: AS NOTED

Sheet No.

S-1B



PLAN VIEW

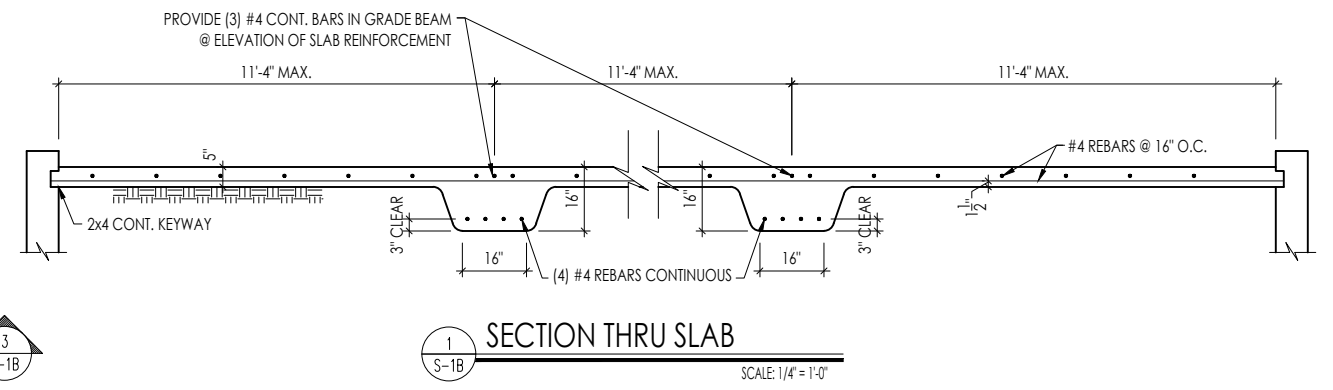
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0" - FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. ALL REBAR SHALL BE  $F_y = 60$  KSI STEEL

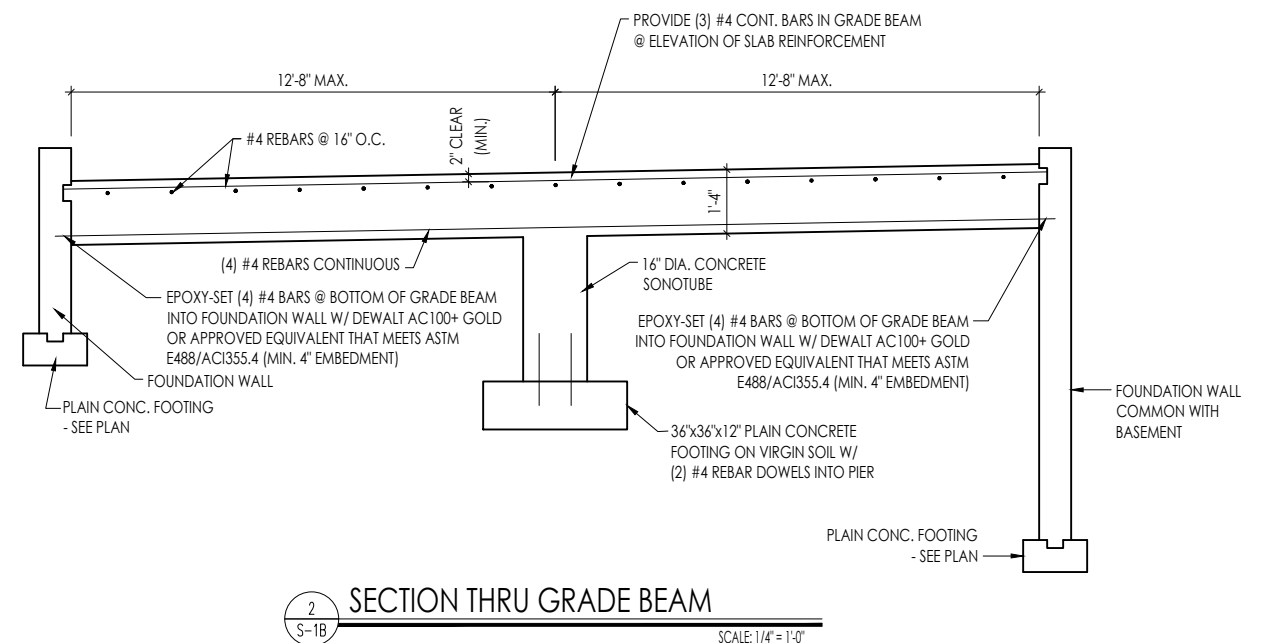
ALTERNATE GARAGE SLAB

1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.



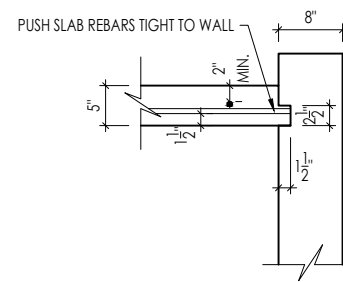
SECTION THRU SLAB

SCALE: 1/4" = 1'-0"



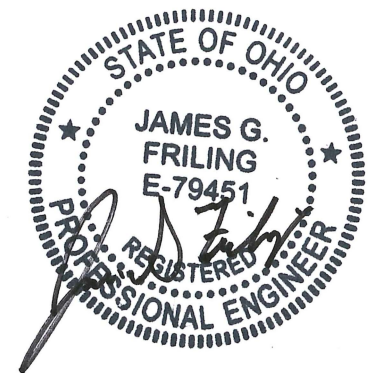
SECTION THRU GRADE BEAM

SCALE: 1/4" = 1'-0"



KEYWAY DETAIL (ALL EDGES)

SCALE: 1/2" = 1'-0"



Drees Homes

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Std. By:	ALL	Sheet Description:
Chk. By:	ARC	REINFORCING DETAILS
Std. Date:	5/22/09	3-CAR FRONT OR SIDE ENTRY GARAGE
Date of Last Rev:	01/20/23 mph	\\ftm-wm-fsl\data\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019

SCALE: AS NOTED

Sheet No.

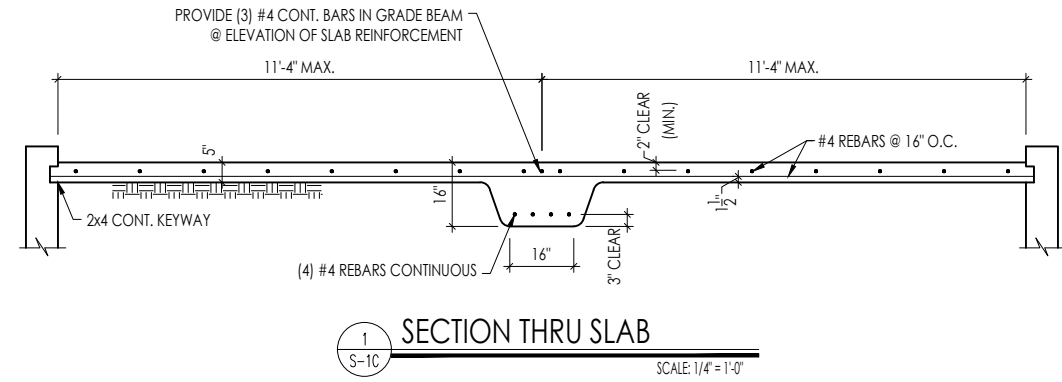
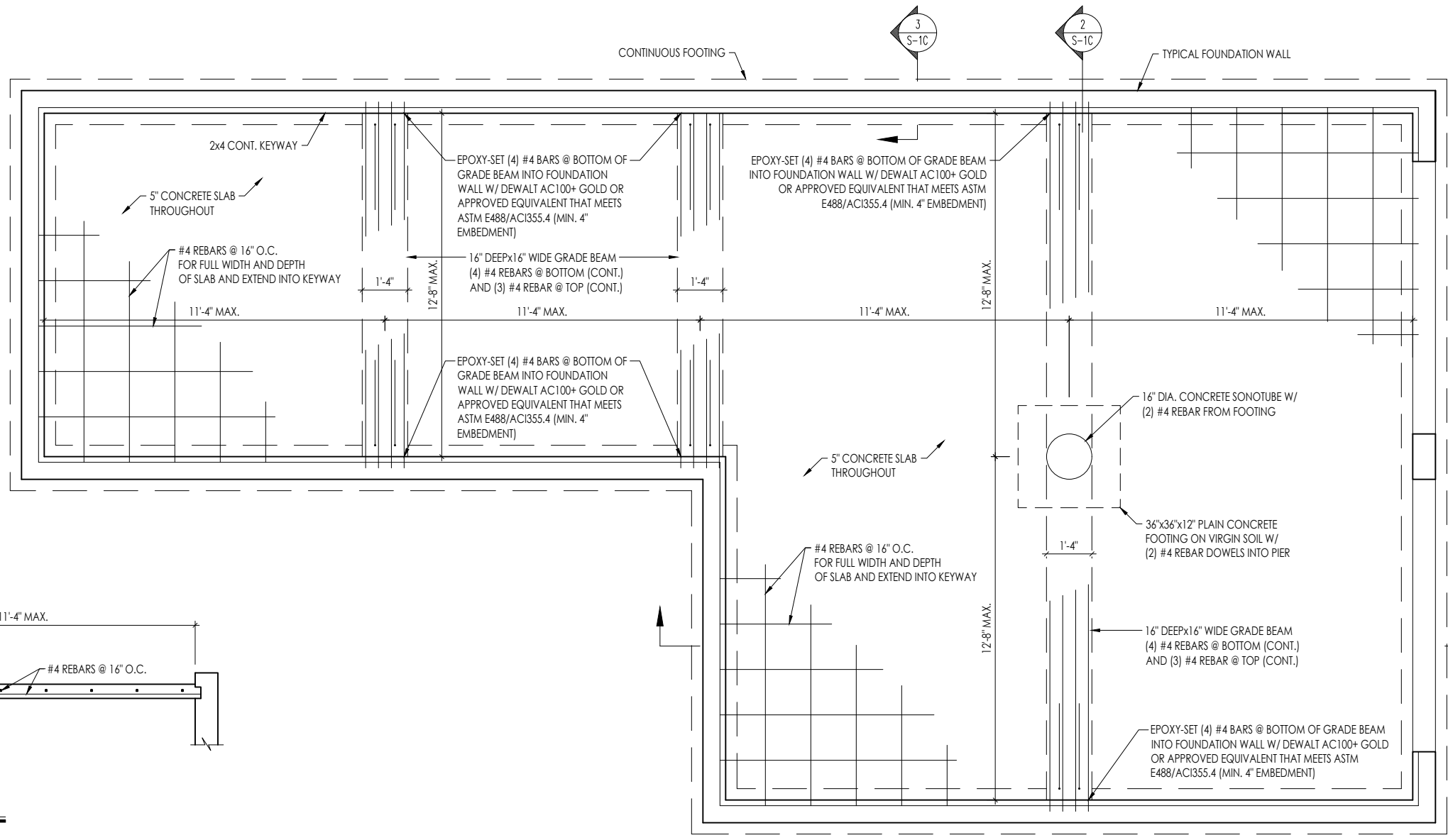
S-1B  
ALTERNATE

**GENERAL NOTES**

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0" - FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. ALL REBAR SHALL BE  $F_y = 60$  KSI STEEL

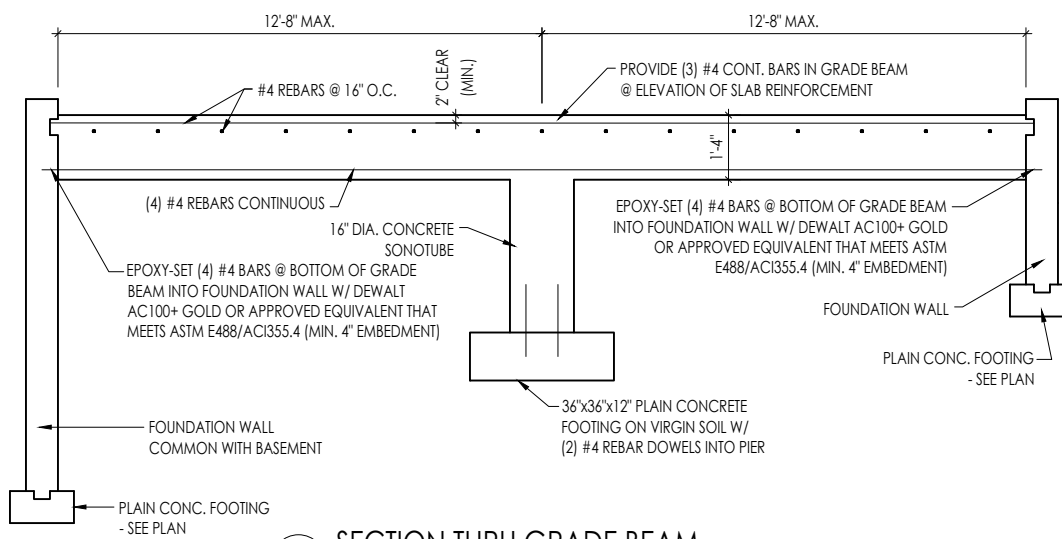
**ALTERNATE GARAGE SLAB**

1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.



1 SECTION THRU SLAB

SCALE: 1/4" = 1'-0"

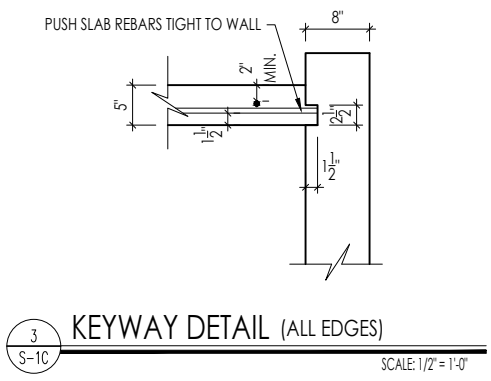


2 SECTION THRU GRADE BEAM

SCALE: 1/4" = 1'-0"

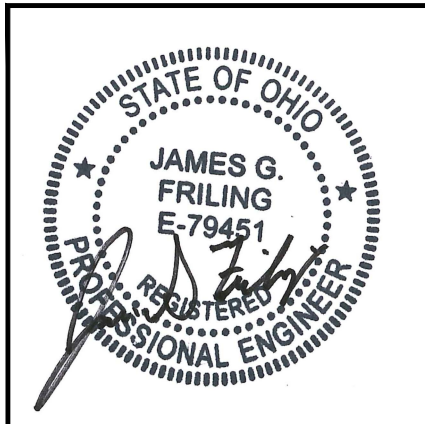
PLAN VIEW

SCALE: 1/4" = 1'-0"



3 KEYWAY DETAIL (ALL EDGES)

SCALE: 1/2" = 1'-0"

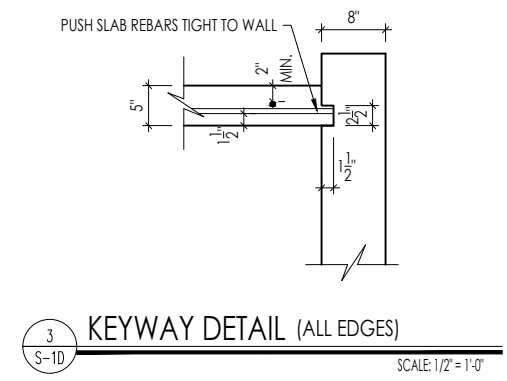
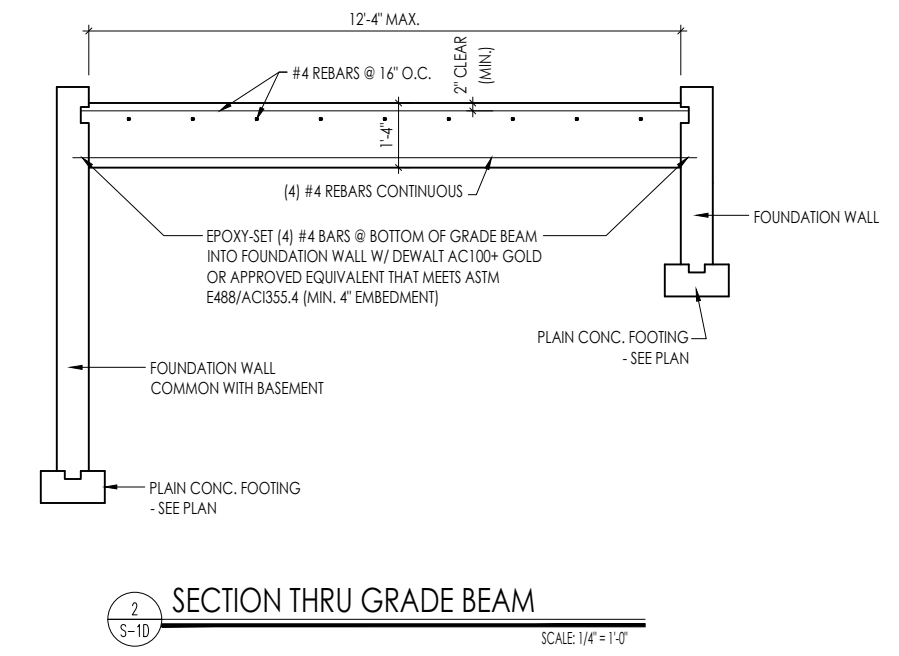
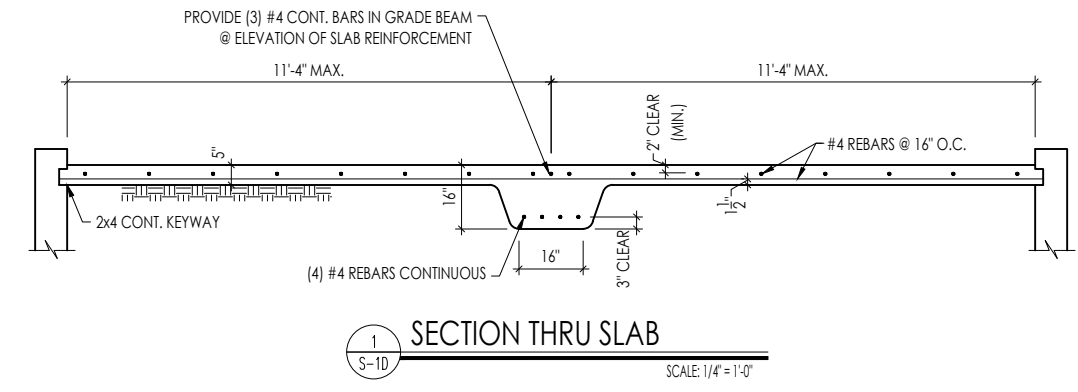
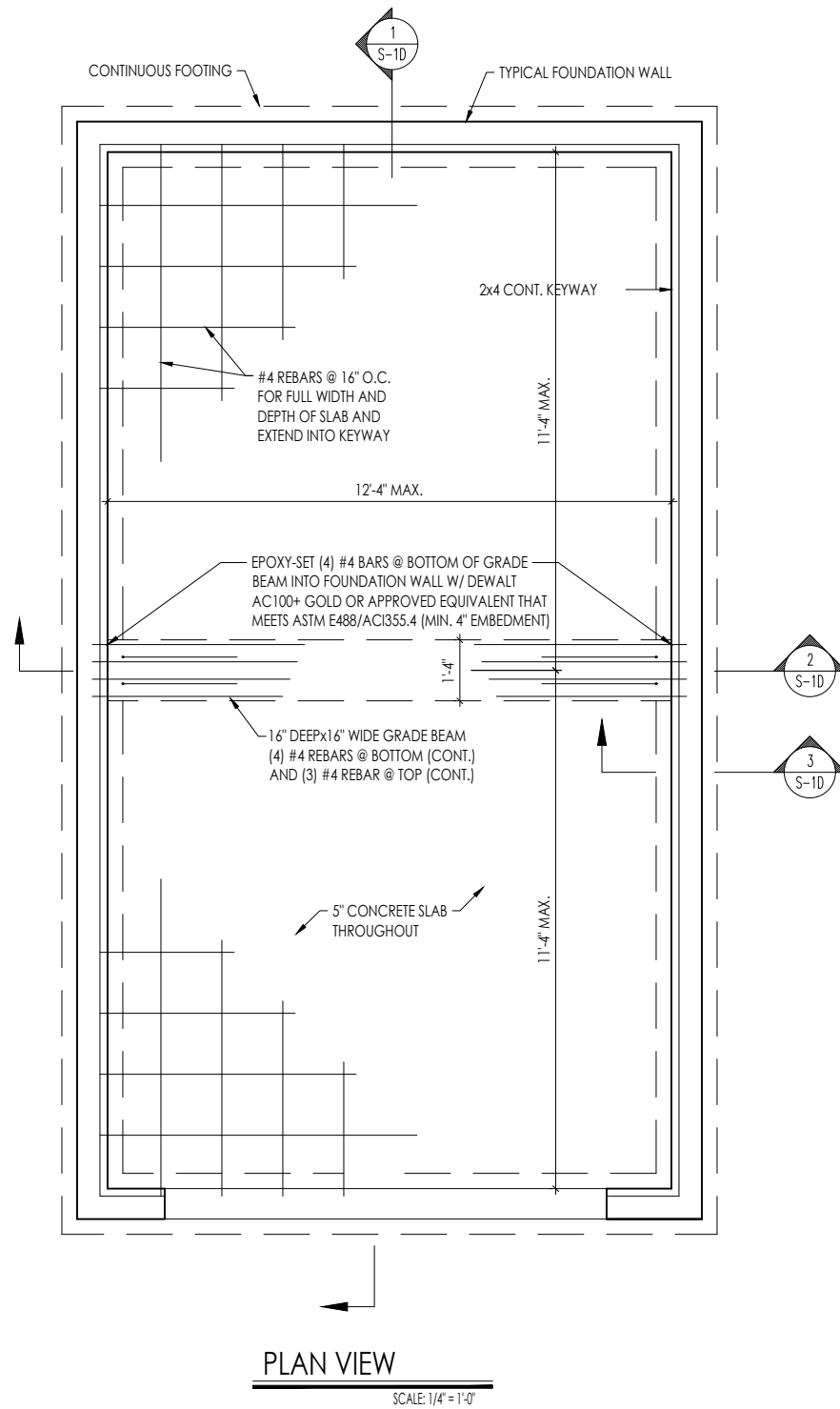


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Std. By:	ALL	Sheet Description:
Chk. By:	ARC	REINFORCING DETAILS
Std. Date:	5/22/09	TANDEM GARAGE
Date of Last Rev:	01/20/23 mph	\\fpm-wm-fs1\data\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019

Sheet No.  
**S-1C**





**GENERAL NOTES**

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0"- FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. ALL REBAR SHALL BE  $F_y = 60$  KSI STEEL

**ALTERNATE GARAGE SLAB**

1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.

STATE OF OHIO  
JAMES G. FRILING  
E-79451  
REGISTERED PROFESSIONAL ENGINEER

**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING  
144 Mulhern Ave., Brecksville, OH 44141  
937.440.9999 • mulhern+kulp.com



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Std. By:	ALL	Sheet Description:
Chk. By:	ARC	REINFORCING DETAILS
Std. Date:	5/22/09	1-CAR FRONT ENTRY GARAGE
Date of Last Rev:	01/20/23 mph	\\ftm-wm-fs1\data\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019

Sheet No.  
**S-1D**

# MIDWEST SINGLE FAMILY WINDOW SCHEDULE

\* MEETS EMERGENCY ESCAPE & RESCUE OPENING REQUIREMENTS

Drees General Callout	Window Type	Pella Architect Classic Clad Wood Windows		Simonton Vinyl Windows ProFinish Brickmould 300		Drees General Callout	Pella Architect Classic Clad Wood Windows		Simonton Vinyl Windows ProFinish Brickmould 300	
		Call No.	Rough Opening	Call No.	Rough Opening		Call No.	Rough Opening	Call No.	Rough Opening
1840	SINGLE/DOUBLE HUNG	2147	1'-9 3/4" x 3'-11 3/4"	1840	1'-8" x 4'-0"	2040 FIXED	2547 FIXED	2'-1 3/4" x 3'-11 3/4"	2040	2'-0" x 4'-0"
1850	SINGLE/DOUBLE HUNG	2159	1'-9 3/4" x 4'-11 3/4"	1852	1'-8" x 5'-2"	2050 FIXED	2559 FIXED	2'-1 3/4" x 4'-11 3/4"	2052	2'-0" x 5'-2"
1860	SINGLE/DOUBLE HUNG	2171	1'-9 3/4" x 5'-11 3/4"	1860	1'-8" x 6'-0"	2440 FIXED	2947 FIXED	2'-5 3/4" x 3'-11 3/4"	2440	2'-4" x 4'-0"
1870	SINGLE/DOUBLE HUNG	2177	1'-9 3/4" x 6'-5 3/4"	1868	1'-8" x 6'-8"	2850 FIXED			2852	2'-8" x 5'-2"
2030	SINGLE/DOUBLE HUNG	2535	2'-1 3/4" x 2'-11 3/4"	2030	2'-0" x 3'-0"	2860 FIXED			2860	2'-8" x 6'-0"
2040	SINGLE/DOUBLE HUNG	2547	2'-1 3/4" x 3'-11 3/4"	2040	2'-0" x 4'-0"	3020 FIXED	3525 FIXED	2'-11 3/4" x 2'-1 3/4"	3020	3'-0" x 2'-0"
2044	SINGLE/DOUBLE HUNG	2553	2'-1 3/4" x 4'-5 3/4"	2044	2'-0" x 4'-4"	3030 FIXED	3535 FIXED	2'-11 3/4" x 2'-11 3/4"	3030	3'-0" x 3'-0"
2050	SINGLE/DOUBLE HUNG	2559	2'-1 3/4" x 4'-11 3/4"	2052	2'-0" x 5'-2"	3040 FIXED	3547 FIXED	2'-11 3/4" x 3'-11 3/4"	3040	3'-0" x 4'-0"
2060	SINGLE/DOUBLE HUNG	2571	2'-1 3/4" x 5'-11 3/4"	2060	2'-0" x 6'-0"	3050 FIXED	3559 FIXED	2'-11 3/4" x 4'-11 3/4"	3052	3'-0" x 5'-2"
2070	SINGLE/DOUBLE HUNG	2577	2'-1 3/4" x 6'-5 3/4"	2068	2'-0" x 6'-8"	3060 FIXED	3571 FIXED	2'-11 3/4" x 5'-11 3/4"	3060	3'-0" x 6'-0"
2450	SINGLE/DOUBLE HUNG	2959	2'-5 3/4" x 4'-11 3/4"	2452	2'-4" x 5'-2"	3440 FIXED	4147 FIXED	3'-5 3/4" x 3'-11 3/4"	3240	3'-2" x 4'-0"
2460	SINGLE/DOUBLE HUNG	* 2971	2'-5 3/4" x 5'-11 3/4"	2460	2'-4" x 6'-0"	3450 FIXED	4159 FIXED	3'-5 3/4" x 4'-11 3/4"	3452	3'-4" x 5'-2"
* 2470	SINGLE/DOUBLE HUNG	* 2977	2'-5 3/4" x 6'-5 3/4"	* 2468	2'-4" x 6'-8"	3460 FIXED	4171 FIXED	3'-5 3/4" x 5'-11 3/4"	3460	3'-4" x 6'-0"
2830	SINGLE/DOUBLE HUNG	3335	2'-9 3/4" x 2'-11 3/4"	2830	2'-8" x 3'-0"	3850 FIXED	4559 FIXED	3'-9 3/4" x 4'-11 3/4"	3852	3'-8" x 5'-2"
2840	SINGLE/DOUBLE HUNG	3347	2'-9 3/4" x 3'-11 3/4"	2840	2'-8" x 4'-0"	4040 FIXED	4747 FIXED	3'-11 3/4" x 3'-11 3/4"	4040	4'-0" x 4'-0"
2844	SINGLE/DOUBLE HUNG	3353	2'-9 3/4" x 4'-5 3/4"	2844	2'-8" x 4'-4"	4044 FIXED	4753 FIXED	3'-11 3/4" x 4'-5 3/4"	4044	4'-0" x 4'-4"
2850	SINGLE/DOUBLE HUNG	3359	2'-9 3/4" x 4'-11 3/4"	2852	2'-8" x 5'-2"	4050 FIXED	4757 FIXED	3'-11 3/4" x 4'-11 3/4"	4052	4'-0" x 5'-2"
* 2860	SINGLE/DOUBLE HUNG	* 3371	2'-9 3/4" x 5'-11 3/4"	* 2860	2'-8" x 6'-0"	4060 FIXED	4771 FIXED	3'-11 3/4" x 5'-11 3/4"	4060	4'-0" x 6'-0"
* 2870	SINGLE/DOUBLE HUNG	* 3377	2'-9 3/4" x 6'-5 3/4"	* 2868	2'-8" x 6'-8"	4070 FIXED	4777 FIXED	3'-11 3/4" x 6'-5 3/4"	4070	4'-0" x 7'-0"
3030	SINGLE/DOUBLE HUNG	3735	3'-1 3/4" x 2'-11 3/4"	3030	3'-0" x 3'-0"	4440 FIXED	5347 FIXED	4'-5 3/4" x 3'-11 3/4"	4440	4'-4" x 4'-0"
3038	SINGLE/DOUBLE HUNG	3741	3'-1 3/4" x 3'-5 3/4"	3038	3'-0" x 3'-8"	5040 FIXED	5947 FIXED	4'-11 3/4" x 3'-11 3/4"	5040	5'-0" x 4'-0"
3040	SINGLE/DOUBLE HUNG	3747	3'-1 3/4" x 3'-11 3/4"	3040	3'-0" x 4'-0"	5044 FIXED	5953 FIXED	4'-11 3/4" x 4'-5 3/4"	5044	5'-0" x 4'-4"
3044	SINGLE/DOUBLE HUNG	3753	3'-1 3/4" x 4'-5 3/4"	3044	3'-0" x 4'-4"	5050 FIXED	5959 FIXED	4'-11 3/4" x 4'-11 3/4"	5052	5'-0" x 5'-2"
3050	SINGLE/DOUBLE HUNG	3759	3'-1 3/4" x 4'-11 3/4"	* 3052	3'-0" x 5'-2"	5060 FIXED	5971 FIXED	4'-11 3/4" x 5'-11 3/4"	5060	5'-0" x 6'-0"
3060	SINGLE/DOUBLE HUNG	3771	3'-1 3/4" x 5'-11 3/4"	* 3060	3'-0" x 6'-0"	5070 FIXED	5977 FIXED	4'-11 3/4" x 6'-5 3/4"	5070	5'-0" x 7'-0"
* 3070	SINGLE/DOUBLE HUNG	* 3777	3'-1 3/4" x 6'-5 3/4"	* 3068	3'-0" x 6'-8"	6030 FIXED	7135 FIXED	5'-11 3/4" x 2'-11 3/4"	6030	6'-0" x 3'-0"
3444	SINGLE/DOUBLE HUNG	4153	3'-5 3/4" x 4'-5 3/4"	3444	3'-4" x 4'-4"	6034 FIXED	7141 FIXED	5'-11 3/4" x 3'-5 3/4"	6034	6'-0" x 3'-4"
* 3450	SINGLE/DOUBLE HUNG	* 4159	3'-5 3/4" x 4'-11 3/4"	* 3452	3'-4" x 5'-2"	6040 FIXED	7147 FIXED	5'-11 3/4" x 3'-11 3/4"	6040	6'-0" x 4'-0"
* 3460	SINGLE/DOUBLE HUNG	* 4171	3'-5 3/4" x 5'-11 3/4"	* 3460	3'-4" x 6'-0"	6044 FIXED	7153 FIXED	5'-11 3/4" x 4'-5 3/4"	6044	6'-0" x 4'-4"
* 3470	SINGLE/DOUBLE HUNG	* 4177	3'-5 3/4" x 6'-5 3/4"	* 3468	3'-4" x 6'-8"	6050 FIXED	7159 FIXED	5'-11 3/4" x 4'-11 3/4"	6052	6'-0" x 5'-2"
* 3850	SINGLE/DOUBLE HUNG	* 4559	3'-9 3/4" x 4'-11 3/4"	* 3852	3'-8" x 5'-2"	2'-8" HALF ROUND	3317 DOUBLE HUNG	2'-9 3/4" x 1'-5 1/4"	2'-8"	2'-8" x 1'-4"
* 3860	SINGLE/DOUBLE HUNG	* 4571	3'-9 3/4" x 5'-11 3/4"	* 3860	3'-8" x 6'-0"	3'-0" HALF ROUND	3719 DOUBLE HUNG	3'-1 3/4" x 1'-7 1/4"	3'-0"	3'-0" x 1'-6"
* 4050	SINGLE/DOUBLE HUNG	* 4559	3'-9 3/4" x 4'-11 3/4"	* 4052	4'-0" x 5'-2"	3'-8" HALF ROUND	4121 DOUBLE HUNG	3'-5 3/4" x 1'-9 1/4"	3'-8"	3'-8" x 1'-10"
* 4060	SINGLE/DOUBLE HUNG	* 4571	3'-9 3/4" x 5'-11 3/4"	* 4060	4'-0" x 6'-0"	4'-0" HALF ROUND	4523 DOUBLE HUNG	3'-9 3/4" x 1'-11 1/4"	4'-0"	4'-0" x 2'-0"
* 4070	SINGLE/DOUBLE HUNG	* 4577	3'-9 3/4" x 6'-5 3/4"	* 4068	4'-0" x 6'-8"	5'-0" HALF ROUND	5930	4'-11 3/4" x 2'-6 1/4"	5'-0"	5'-0" x 2'-6"
3030 SLIDER				3030	3'-0" x 3'-0"	6'-0" HALF ROUND	7437 DOUBLE HUNG	6'-2 3/4" x 3'-1 3/4"	6'-0"	6'-0" x 3'-0"
3040 SLIDER				3040	3'-0" x 4'-0"	2020 OCTAGON	2525 FIXED	2'-1 3/4" x 2'-1 3/4"	2020	2'-0" x 2'-0"
4020 SLIDER				4020	4'-0" x 2'-0"	2'-8" QUARTER ROUND			2'-8"	2'-8" x 2'-8"
4030 SLIDER				4030	4'-0" x 3'-0"	3'-0" QUARTER ROUND			3'-0"	3'-0" x 3'-0"
4034 SLIDER				4034	4'-0" x 3'-4"	2850 ELONGATED QUARTER ROUND			2850	2'-8" x 5'-0"
* 4040 SLIDER				* 4040	4'-0" x 4'-0"	3040 ELONGATED QUARTER ROUND			3040	3'-0" x 4'-0"
* 4050 SLIDER				* 4150	4'-1" x 5'-0"	3050 ELONGATED QUARTER ROUND			3050	3'-0" x 5'-0"
5030 SLIDER				5030	5'-0" x 3'-0"	5050 ELONGATED ELLIPTICAL			5050	5'-0" x 5'-0"
5034 SLIDER				5034	5'-0" x 3'-4"	6050 ELONGATED ELLIPTICAL			6050	6'-0" x 5'-0"
* 5040 SLIDER				* 5040	5'-0" x 4'-0"	3045 PARTIAL ELONGATED ELLIPTICAL			3045	3'-0" x 4'-5"
* 5050 SLIDER				* 5050	5'-0" x 5'-0"	4046 PARTIAL ELONGATED ELLIPTICAL			4046	4'-0" x 4'-6"
6030 SLIDER				6030	6'-0" x 3'-0"	2440 FIXED ARCH	2440 FIXED EYE	2'-4 1/4" x 4'-0"	2440 FIXED EYE	2'-4 1/4" x 4'-0"
6034 SLIDER				6034	6'-0" x 3'-4"					
* 6040 SLIDER				* 6040	6'-0" x 4'-0"					
* 6050 SLIDER				* 6050	6'-0" x 5'-0"					
7050 SLIDER				7050	7'-0" x 5'-0"					
9050 SLIDER				9050	9'-0" x 5'-0"					
3030 CASEMENT		1735-LR	2'-10 3/4" x 2'-11 3/4"							
3040 CASEMENT		1747-LR	2'-10 3/4" x 3'-11 3/4"							
4020 CASEMENT		2525-LR	4'-2 3/4" x 2'-1 3/4"							
4030 CASEMENT		2535-LR	4'-2 3/4" x 2'-11 3/4"							
4034 CASEMENT		2541-LR	4'-2 3/4" x 3'-5 3/4"							
4040 CASEMENT		2547-LR	4'-2 3/4" x 3'-11 3/4"							
4050 CASEMENT		2559-LR	4'-2 3/4" x 4'-11 3/4"							
5030 CASEMENT		2935-LR	4'-10 3/4" x 2'-11 3/4"							
5034 CASEMENT		2941-LR	4'-10 3/4" x 3'-5 3/4"							
5040 CASEMENT		2947-LR	4'-10 3/4" x 3'-11 3/4"							
5050 CASEMENT		2959-LR	4'-10 3/4" x 4'-11 3/4"							
6030 CASEMENT		3535-LR	5'-10 3/4" x 2'-11 3/4"							
6034 CASEMENT		3541-LR	5'-10 3/4" x 3'-5 3/4"							
6040 CASEMENT		3547-LR	5'-10 3/4" x 3'-11 3/4"							
6050 CASEMENT		3559-LR	5'-10 3/4" x 4'-11 3/4"							

Pella Slider Not Available  
Use Casement



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# MOULDED MILLWORK SCHEDULE

LAST REISED 11/00/10

HEADERS		
Description	Notes	Finish
ARCHED HEADER D1	H8xxEFR	N/A
ARCHED HEADER D1	H8xxEFR	N/A
ARCHED HEADER D	H8xxEFR	N/A
ARCHED HEADER D	H8xxEFR	N/A
ARCHED HEADER D3	AH10xx	WCHSEGxx01
ARCHED HEADER D3	N/A	WCHSEGxx01
ARCHED HEADER D4	AR5xx	ARxx06M
ARCHED HEADER D4	AR5xx	ARxx06M
ARCHED HEADER D5	AR10xxEC	ARxx06METAR6C
ARCHED HEADER D5	AR10xxEC	ARxx06METAR6C
ARCHED HEADER D6	AR10xxC	ARxx01MC
ARCHED HEADER D6	AR10xxC	ARxx01MC
ARCHED HEADER D	H0xxEF-4	N/A
ARCHED HEADER D8	AR14xxC	ARxx014MC
ARCHED HEADER D8	AR14xxC	ARxx014MC
ARCHED HEADER D	H0xxE	WCHARSxx13
CROSSHEAD A1	H0xx	WCHxx0N
CROSSHEAD A1	H0xx	WCHxx0N
CROSSHEAD B1	H14xxBT	WCHxx014BT
CROSSHEAD B1	H14xxBT	WCHxx014BT
CROSSHEAD B	H10xx	WCHxx01
CROSSHEAD B	H10xx	WCHxx01
CROSSHEAD C1	H18xxBT	WCHxx014BT
CROSSHEAD C1	H18xxBT	WCHxx014BT
CROSSHEAD C	H18xxBT-PA	LDCHxx018
CROSSHEAD C	H18xxBT-PA	LDCHxx018
CROSSHEAD E1-HDR	E1-HDR	E1-HDR
CROSSHEAD E-HDR	E-HDR	E-HDR
CROSSHEAD E3-HDR	E3-HDR	E3-HDR
CROSSHEAD E3-ARCHHDR	E3-ARCHHDR	E3-ARCHHDR
CROSSHEAD E3-CLHDR	E3-CLHDR	E3-CLHDR
CROSSHEAD E5-HDR	E5-HDR	E5-HDR
WINDOW HEADER A1	H6xx	WCHxx06
WINDOW HEADER A1	H6xx	WCHxx06
WINDOW HEADER B1	H0xx-	WCHxx0N
WINDOW HEADER B1	H0xx-	WCHxx0N
WINDOW HEADER B	H0xxBT	WCHxx01NBT
WINDOW HEADER B	H0xxBT	WCHxx01NBT
WINDOW HEADER B	H0xxBT	WCHxx01NBT
WINDOW HEADER C1	H0xx	CAxx01
WINDOW HEADER C1	H0xx	CAxx01
WINDOW HEADER C	H0xxT	WCHxx0T
WINDOW HEADER C	H0xxT	WCHxx0T
WINDOW HEADER C3	H10xxBT	WCHxx01BT
WINDOW HEADER C3	H10xxBT	WCHxx01BT
WINDOW HEADER C4	H14xxBT	WCHxx014BT
WINDOW HEADER D1	H0xxF-4	N/A
WINDOW HEADER D1	H0xxF-4	N/A
WINDOW HEADER D	H0xx-1	N/A
WINDOW HEADER D	H0xx-1	N/A
WINDOW HEADER W1	W1	W1
WINDOW HEADER W3	W3	W3
WINDOW HEADER W3	W3	W3
WINDOW HEADER W3D	W3D	W3D
WINDOW HEADER W4	W4	W4
WINDOW HEADER W4	W4	W4

PILASTERS		
Description	Notes	Finish
FLUTED PILASTER A1	PL0xxF	PIL0xx
FLUTED PILASTER B1	PL0xxF	PIL0xx
FLUTED PILASTER C1	PL11xxFM	PIL110xx
PANEL PILASTER A	PL0xxP	PIL0xxDP
PANEL PILASTER B	PL0xxP	PIL0xxDP
PANEL PILASTER C	PL11xxPM	PIL110xxDP
PILASTER D1	M311-	PIL110xxA
PILASTER D	M303-	N/A
PILASTER E1-PIL	E1-PIL	E1-PIL
PILASTER E-PIL	E-PIL	E-PIL
PILASTER E3-PIL	E3-PIL	E3-PIL
PILASTER P-PIL-EOT	P-PIL-EOT	P-PIL-EOT
PLAIN PILASTER A3	PL0xxS	PIL0xxP
PLAIN PILASTER B3	PL0xxS	PIL0xxP
PLAIN PILASTER C3	PL11xxS	PIL110xxP
PLINTH D1	PF1	ADD "P" TO END OF PILASTER
PLINTH D	P14.5	N/A

LOUERS			
Description	Notes	Finish	Mid-A
CATHEDRAL LOUER D1	CL0104	CL01004	--
CATHEDRAL LOUER D1T	CL0104TRIM4	CL010044F	--
CATHEDRAL LOUER D	CL0143	CL01403	--
CATHEDRAL LOUER D	CL0143TRIM4	CL014034F	00 44 1400
CATHEDRAL LOUER D3	CL0003	CL00003	--
CATHEDRAL LOUER D3T	CL0003TRIM4	CL000034F	--
HALF CIRCLE LOUER D1	HRL03	HRL03016	--
HALF CIRCLE LOUER D1T	HRL03TRIM4	HRL0304F	--
HALF CIRCLE LOUER D	HRL036	HRL036018	--
HALF CIRCLE LOUER D	HRL036TRIM4	HRL03604F	00 43 0034
OCTAGONAL LOUER D1	OL004	OL004	--
OCTAGONAL LOUER D1	OL004TRIM4	OL0044F	--
OVAL LOUER D1	OL0053	OL03005	--
OVAL LOUER D1T	OL0053TRIM4	OL030054F	--
RECTANGULAR LOUER D1	L01004	L01004	00 45 1018
RECTANGULAR LOUER D1T	L01004TRIM4	L010044F	00 45 1018
RECTANGULAR LOUER D	L01636	L016036	--
RECTANGULAR LOUER D	L01636TRIM4	L0160364F	--
RECTANGULAR LOUER D3	L00436	L004036	--
RECTANGULAR LOUER D3T	L00436TRIM4	L0040364F	--
RECTANGULAR LOUER D4	L00404	L00404	--
RECTANGULAR LOUER D4T	L00404TRIM4	L004044F	--
ROUND LOUER D1	RL018	RL018	--
ROUND LOUER D1T	RL018TRIM4	RL01804F	--
ROUND LOUER D	RL000	RL000	--
ROUND LOUER D	RL000TRIM4	RL00004F	--
TRIANGULAR LOUER D1	--	TRL0xx036	00 40 0x0x

BRACETS		
Description	Notes	Finish
EXTERIOR BRACKET D1	BR43	N/A
EXTERIOR BRACKET D	DB1	DTLB60406
EXTERIOR BRACKET D3	BR304 (0" WIDE)	B0T0400400
EXTERIOR BRACKET D4	BR455	N/A
EXTERIOR BRACKET D5	BR300-1	B0T1001006
EXTERIOR BRACKET D6	BR300	B0T10010
EXTERIOR BRACKET D	BR400	B0T1601803
EXTERIOR BRACKET D8	BR413	DTLB50503
EXTERIOR BRACKET D	TBD	B0T11000
EXTERIOR BRACKET D1	TBD	B0T1000403
EXTERIOR BRACKET D11	BR435	B0T05000
EXTERIOR BRACKET D1	BR404	B0T1603004
GABLE BRACKET D1	TBD	DTLB60406R(OR L)PITCH
GABLE BRACKET D	BR403-x0	B0T5000
GABLE BRACKET D3	BR404-x0	B0T5000 (CUT 0" PROJECTION)

MOULDINGS		
Description	Notes	Finish
BAND MOULD D1	M010-16	MLD610-10
BAND MOULD D	M301-16	MLD000-16
BARGE MOULD D1	WM01	WM01
CASE MOULD D1	M300-16	MLD006-16
CASE MOULD D	N/A	MLD044-10
CROWN MOULD D1	M404-16	MLD500-16
DENTIL MOULD D1	M105-16	MLD310-16
DENTIL MOULD D	M108-8	MLD353-8
HALF ROUND MOULD D1	N/A	MLD605-10
PANEL MOULD D1	M310-8 OR 16	MLD610-10

PEDIMENTS / COMBO HEADERS		
Description	Notes	Finish
BROW COMBO D1	BCxx	CSAPxx
PEA PEDIMENT D1	Pxx-4 (60)	PCPxx
PEA PEDIMENT E1-PED	E1-PED	E1-PED
PEA PED COMBO D1	PCxx-4	CPCPxx
RAMS HEAD PEDIMENT D1	Rxx	RHPxx00
ROUND PEDIMENT D1	Bxx-4	PSPxx
SUNRISE COMBO D1	SCxx-4	CSPxx
ICTORIAN PEDIMENT D1	Pxx	D0Pxx / SWDHxx0xx

WINDOW DECORATION		
Description	Notes	Finish
HALF CIRCLE SUNBURST D1	SPxxxx	SWDHxx0xx
PALLADIAN WINDOW D1	H0AR10-xx xx" FL/FR	ARxx01MFLxxx
PALLADIAN WINDOW D1	H0AR10-xx xx" FL/FR	ARxx01MFLxxx 000 010TM
PALLADIAN WINDOW D	H0AR10SPxxxx	ARxx01MFLxxx 000 SWDHxx0xx
PALLADIAN WINDOW D	H0AR10SPxxxx	ARxx01MFLxxx 000 SWDHxx0xx 000 010TM
PEA PED CAP HEADER D1	N/A	CHPCxx015
PLAIN SEGMENT D1	SPxxxxP	PSPxx
SEGMENT SUNBURST D1	SPxxxx	SWDHxx0xx

ACCESSORIES		
Description	Notes	Finish
GABLE D1	PGDx10	GPA (0000 000000)
EYSTONE D1	Y14F-3	Y14
EYSTONE D	YHM0F	00M
WREATH D1	N/A	WAB34



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Sheet Description:  
MOULDED MILLWORK SCHEDULE

Sheet No.

SC-02

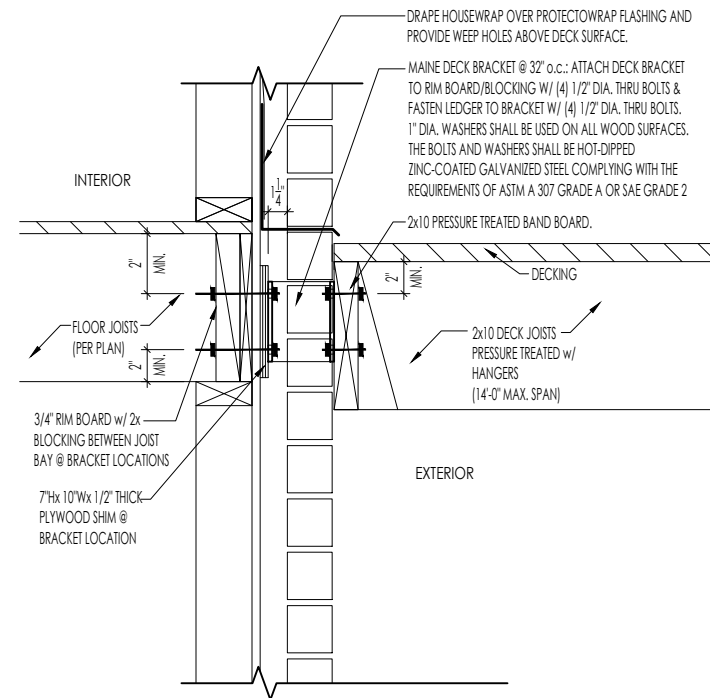


General Notes

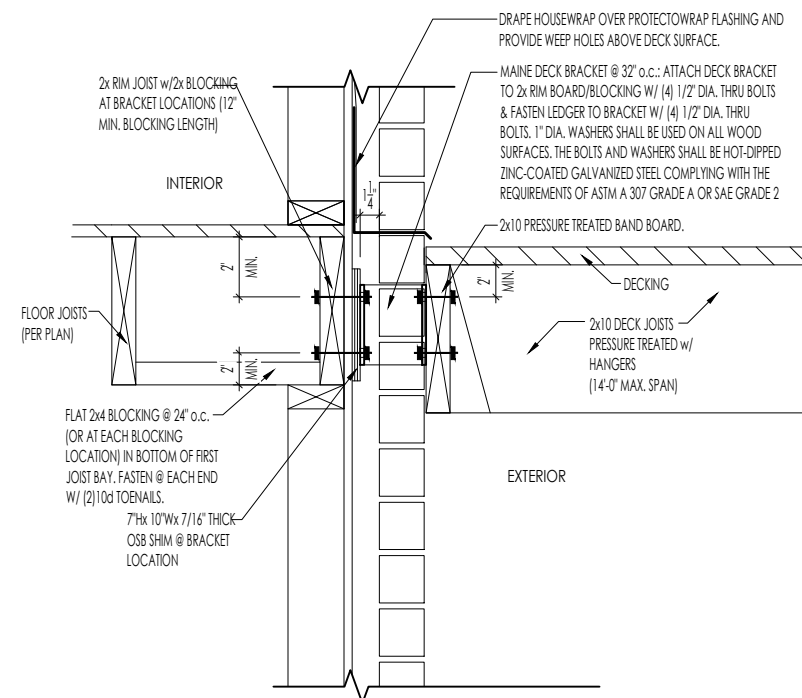
- REFER TO SHEET 0N.1 FOR GENERAL NOTES.
- DESIGN LOADS:  
DECK LOAD: 40 ps.f. LIVE LOAD + 15 ps.f. DEAD LOAD = 55 ps.f. TOTAL LOAD  
ROOF LOAD: 25 ps.f. LIVE LOAD + 20 ps.f. DEAD LOAD = 45 ps.f. TOTAL LOAD
- ALL WOOD TO BE PRESSURE TREATED.
- ALL DECK COLUMNS TO HAVE AN UNSUPPORTED LENGTH NO GREATER THAN 10'-0" OR, IF OVER 10'-0", TO BE REVIEWED BY ARCHITECTURE DEPARTMENT

Key Notes

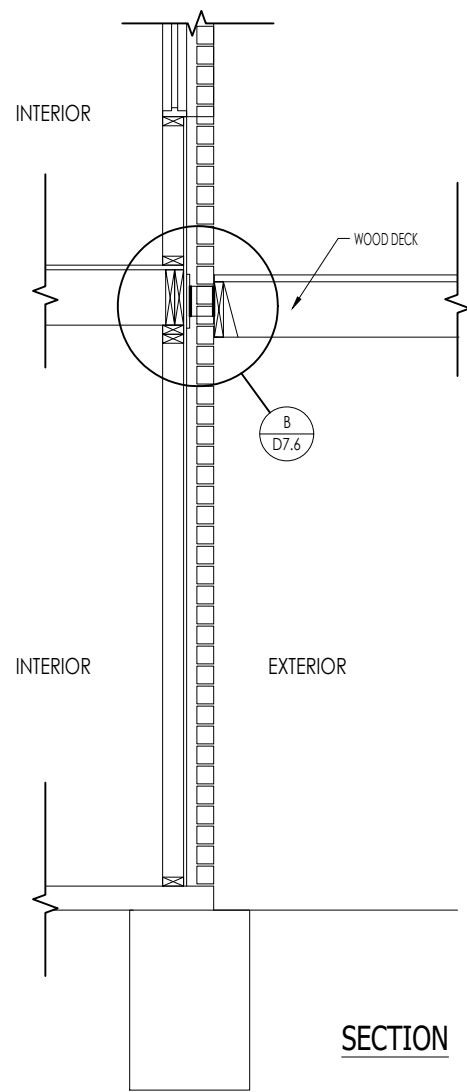
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- 2 -
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- 6 -
- 7 -
- 8 -
- 9 -
- 10 -



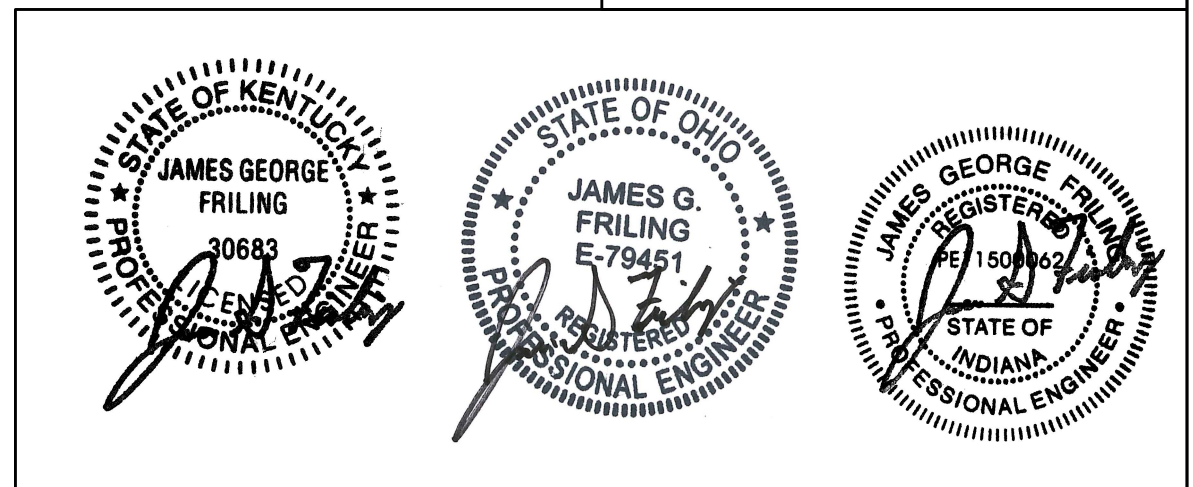
**C DECK ATTACHMENT DETAIL w/ PERPENDICULAR JOISTS - BRICK**  
SCALE: 1" = 1'-0"



**B DECK ATTACHMENT DETAIL w/ PARALLEL JOISTS - BRICK**  
SCALE: 1" = 1'-0"



**A WALL SECTION**  
SCALE: 1" = 1'-0"



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**DECK DETAILS**

Std. Drawn By: AKS  
Std. Chk. By: MATT G.  
Std. Date: 02/12/13  
Date of Last Rev: REV\_DATE

Sheet Description: DECK DETAIL WITH BRICK TO GRADE  
SCALE: VARIES

Contract Drawn By: DWG BY  
Phone #: DWG PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

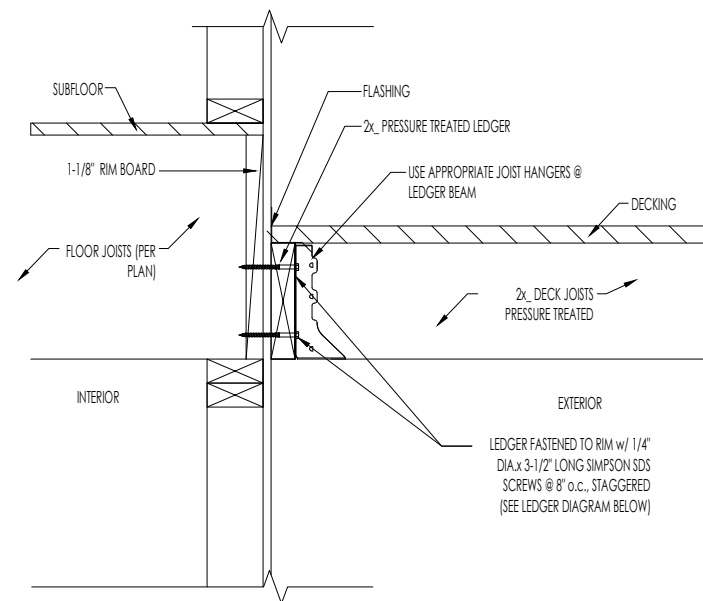
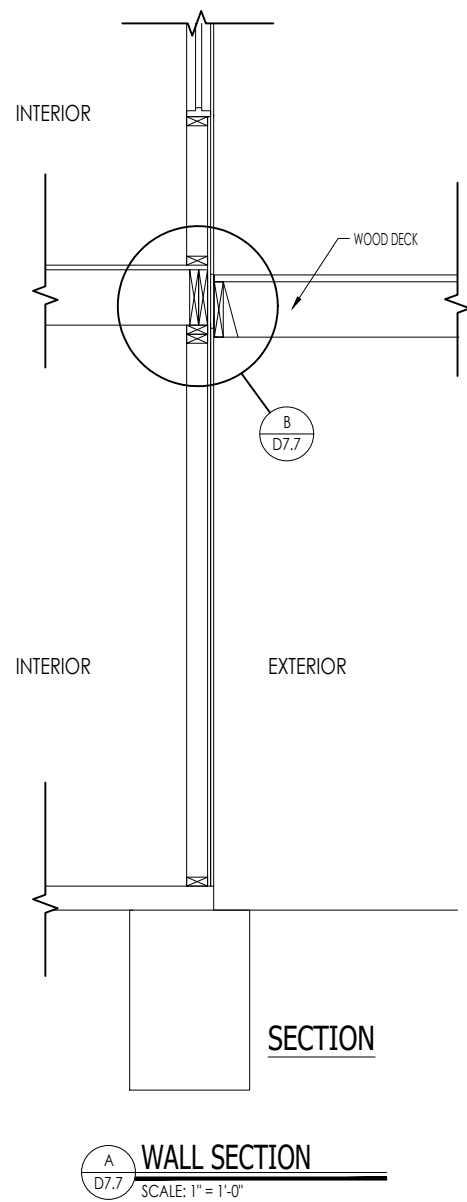
Original Site Specific Dwg. & Effective Change Order Date:  
**CON\_DT**

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

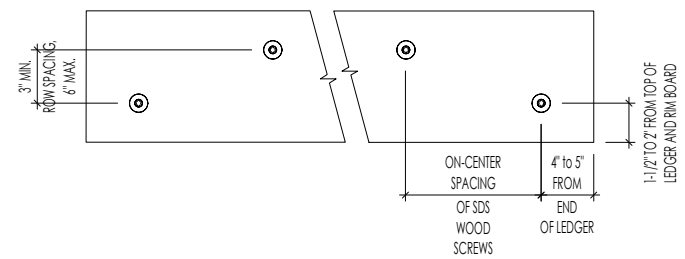
Sheet No.  
**D7.6**

- General Notes**
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - DESIGN LOADS:  
DECK LOAD: 40 p.s.f. LIVE LOAD + 15 p.s.f. DEAD LOAD = 55 p.s.f. TOTAL LOAD  
ROOF LOAD: 25 p.s.f. LIVE LOAD + 20 p.s.f. DEAD LOAD = 45 p.s.f. TOTAL LOAD
  - ALL WOOD TO BE PRESSURE TREATED.
  - ALL DECK COLUMNS TO HAVE AN UNSUPPORTED LENGTH NO GREATER THAN 10'-0" OR, IF OVER 10'-0", TO BE REVIEWED BY ARCHITECTURE DEPARTMENT

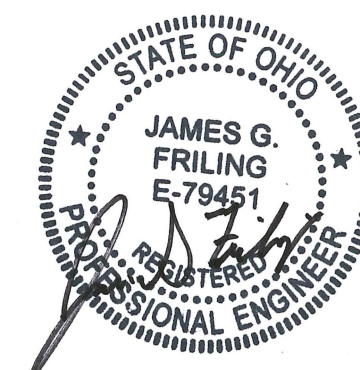
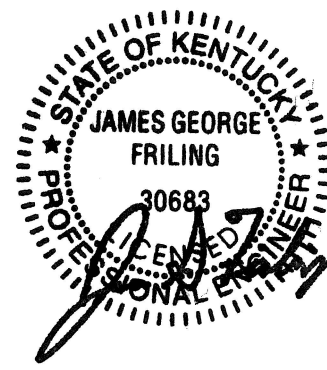
- Key Notes**
- - 
  - 
  - 
  - 
  - 
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  - 
  -



LEDGER FASTENER SPACING  
MAY BE OFFSET UP TO 3"  
TO AVOID INTERFERENCE WITH  
JOIST ATTACHMENT



**B D7.7 DECK ATTACHMENT DETAIL w/ PARALLEL JOISTS - SIDING**  
SCALE: 1" = 1'-0"



**Drees HOMES.**

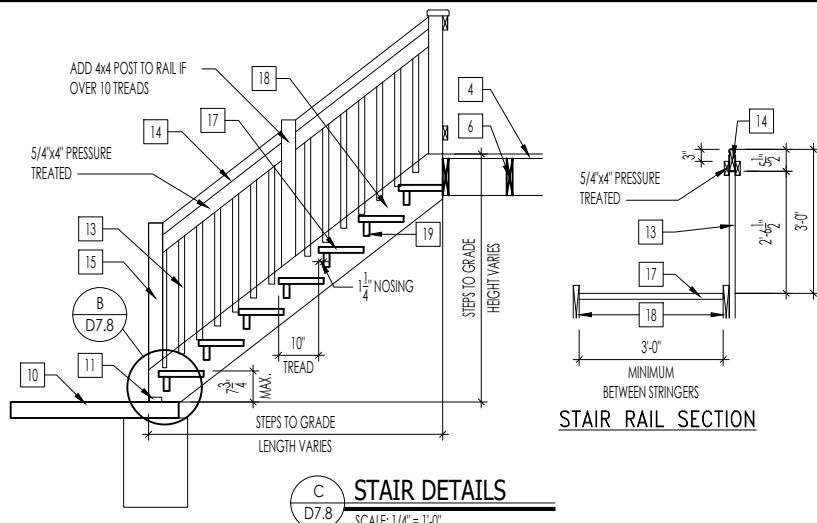
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Std. Drawn By: AKS	Sheet Description: DECK DETAIL WITH SIDING TO GRADE	SCALE: VARIES
Std. Chk. By: MATT G.		
Std. Date: 02/12/13		
Date of Last Rev: REV_DATE		

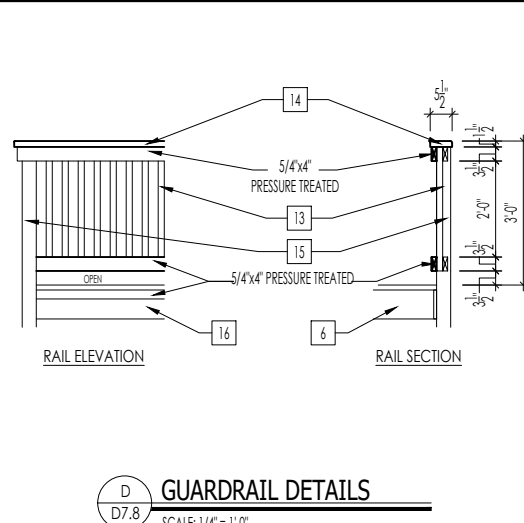
Contract Drawn By:	DWG BY:	Original Site Specific Dwg. & Effective Change Order Date:
Phone #:	DWG PH:	
Coordinator's Name:	COORD NM:	CON_DT
Coordinator's Phone #:	COORD PH:	

Subdivision:	SUB_NM	Sheet No. D7.7
Job #:	JOB_NM	
Customer Name:	CUS_NM	
Job Address:	JOB_AD	

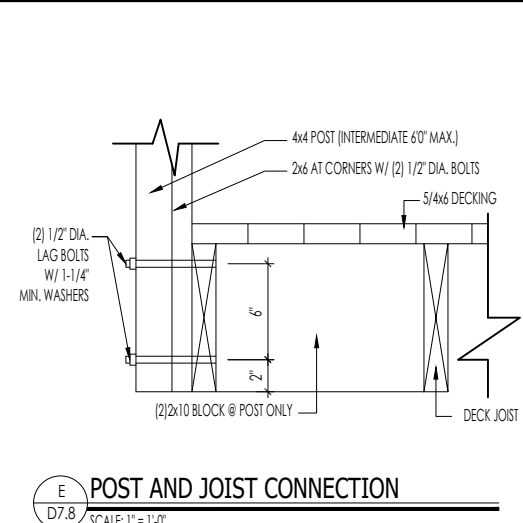
New Std Deck Detail 2-25-20.dwg Sep 22, 2021 - 3:12pm



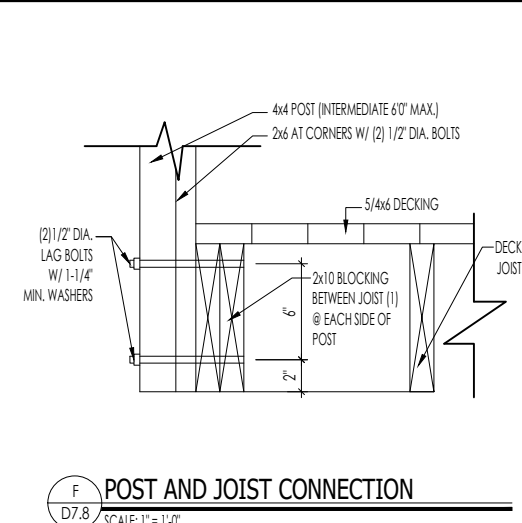
**C STAIR DETAILS**  
SCALE: 1/4" = 1'-0"



**D GUARDRAIL DETAILS**  
SCALE: 1/4" = 1'-0"



**E POST AND JOIST CONNECTION**  
SCALE: 1" = 1'-0"

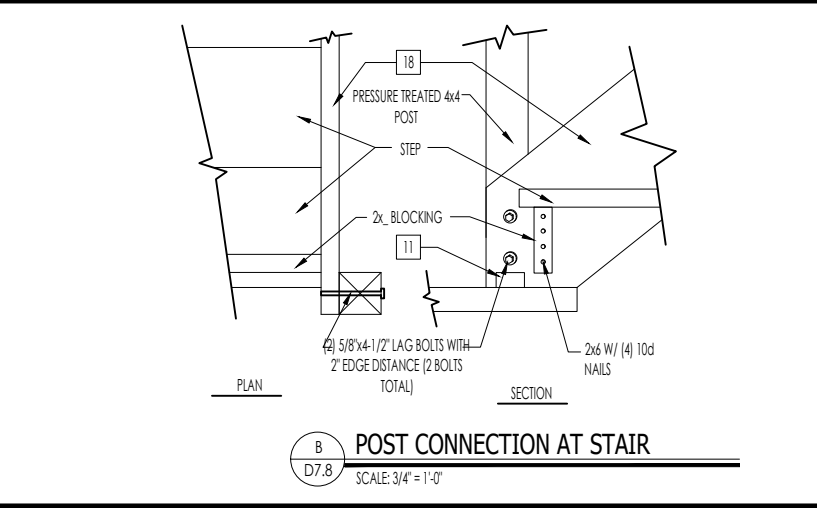


**F POST AND JOIST CONNECTION**  
SCALE: 1" = 1'-0"

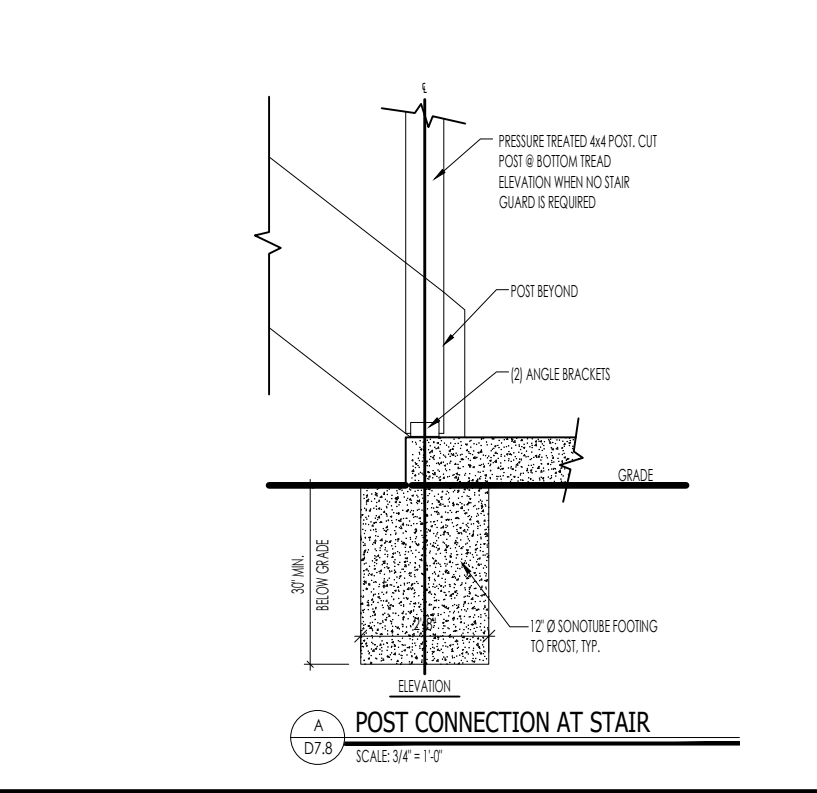
**General Notes**

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- DESIGN LOADS:  
DECK LOAD: 40 p.s.f. LIVE LOAD + 15 p.s.f. DEAD LOAD = 55 p.s.f. TOTAL LOAD  
ROOF LOAD: 25 p.s.f. LIVE LOAD + 20 p.s.f. DEAD LOAD = 45 p.s.f. TOTAL LOAD
- ALL WOOD TO BE PRESSURE TREATED.
- ALL DECK COLUMNS TO HAVE AN UNSUPPORTED LENGTH NO GREATER THAN 10'-0" OR, IF OVER 10'-0", TO BE REVIEWED BY ARCHITECTURE DEPARTMENT

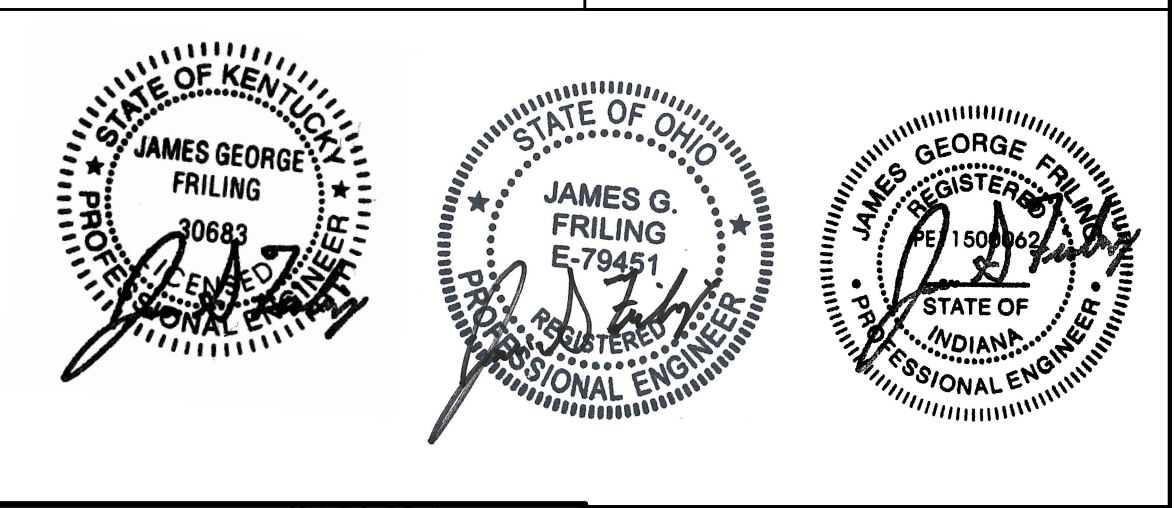
- Key Notes**
- THIS SIDE OF DECK BUILT AGAINST HOUSE. FOR LEDGER CONNECTION, USE A/D7.5 FOR STANDARD DECK CONNECTION, USE DETAILS SHEET D7.6 FOR BRICK TO GRADE DECK CONNECTION; USE DETAILS SHEET D/7.7 FOR SIDING TO GRADE DECK CONNECTION
  - FLASHING AS REQUIRED
  - 
  - 5/4x6 DECKING WITHOUT SPACING
  - 1x4 DIAGONAL BRACING ATTACHED TO THE BOTTOM CHORD OF THE JOIST (NOT FLUSH).
  - JOIST AND SPACE PER PRINTS
  - WOOD POST - USE 6x6 POST UP TO 20'-0" IN HEIGHT MAXIMUM.
  - 16" DIAMETER SONOTUBE FOOTING TO FROST, TYP.
  - USE SIMPSON ABW6Z FOR 6x6 POST
  - CONCRETE PAD
  - (2) ANGLE BRACKETS TO PREVENT KICKOUT
  - WOOD STEPS AS REQUIRED BY GRADE
  - 2x2s @ 5-1/2" o.c.
  - 5/4x6 RAIL CAP. GRASPABLE FINGER RECESS AREA SHOULD BE ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1-3/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1-1/4 INCHES TO A MAXIMUM OF 2-3/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH.
  - PRESSURE TREATED 4x4 POST
  - 2x BANDBOARD
  - 2x12 STAIR TREAD
  - ROUTED 2x10 STAIR STRINGER TO ACCEPT STAIR TREADS.
  - 2x4 RISER HELD TIGHT TO UNDERSIDE OF STAIR TREAD. ATTACH THROUGH ENDS AT STRINGER AND DOWN THROUGH TOP OF TREAD.
  - 
  - NOTCH TOP OF POST TO ACCEPT BEAM PER PRINTS - BOLT W/(2) 1/2" THROUGH BOLTS
  - BEAM PER PRINTS



**B POST CONNECTION AT STAIR**  
SCALE: 3/4" = 1'-0"



**A POST CONNECTION AT STAIR**  
SCALE: 3/4" = 1'-0"



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Std. Drawn By: AKS	Sheet Description: SCALE: VARIES	Contract Drawn By: DWG BY:	Original Site Specific Dwg. & Effective Change Order Date:
Std. Chk. By: MATT G.	DECK ACCESSORY DETAILS	Phone #: DWG PH	CON_DT
Std. Date: 02/12/13		Coordinator's Name: COORD NM	
Date of Last Rev: REV_DATE		Coordinator's Phone #: COORD PH	

Subdivision: SUB_NM	Sheet No. D7.8
Job #: JOB_NM	
Customer Name: CUS_NM	
Job Address: JOB_AD	

**ORDINANCE NO. 2023-36**

**INTRODUCED BY: Vice Mayor Weiss**

**AN ORDINANCE AMENDING CODIFIED ORDINANCE SECTION 1064.05 ENTITLED “STORAGE BEHIND REAR BUILDING LINE” AND DECLARING AN EMERGENCY.**

**WHEREAS**, City Council wishes to enact standards and regulations that are clear and enforceable relating to storage of garbage cans and/or trash/rubbish receptacles;

**WHEREAS**, City Council wishes to enact regulations relating to storage of garbage cans and/or trash/rubbish receptacles that will improve the health and safety of the community, reduce litter and garbage on city streets, and enhance the aesthetics of neighborhoods; and

**WHEREAS**, City Council wishes to enact penalties for failure to adhere to its regulations relating to storage of garbage cans and/or trash/rubbish receptacles;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY HEIGHTS, COUNTY OF CUYAHOGA, AND STATE OF OHIO, THAT:**

**Section 1.** Council hereby amends Codified Ordinance Section 1064.05 entitled “Storage Behind Rear Building Line”, which shall read in its entirety as follows:

**1064.05 STORAGE BEHIND REAR BUILDING LINE**

~~Except after sunset on the day before the regularly scheduled garbage and rubbish collection for the premises involved, and the actual time of collection, no person shall deposit, store, cause or allow to be stored on the premises under his or her ownership or control, any ashes, garbage, refuse, rubbish or waste paper, unless such deposit or storage takes place behind the rear building line of the premises.~~

(a) Garbage cans, trash/rubbish receptacles or any other container for waste (hereafter “Container”) may not be stored in front of the rear foundation line of any residence, or in front of the rear foundation line of any building which is parallel with any street line on which the building fronts, except after sundown on the evening immediately preceding the day for refuse collection and for 12 hours immediately following refuse collection by the City.

(b) Empty Containers are not permitted to remain in front of the rear foundation line of any residence or building by the owner, agent, lessee or occupant of that residence or building for a period in excess of 12 hours from the time of collection by the City

(c) No owner, agent, lessee or occupant of any property or any other responsible party shall violate subsections (a) or (b) hereof. If there is a violation, the violation shall be enforced as follows:

- (1) The Housing and Community Development Director, Building Commissioner, Certified Building Official, Service Director or Chief of Police or sworn peace officer are authorized to issue notices and citations to the owner, agent, lessee, occupant or other responsible party of any property maintained in violation of this ordinance.
- (2) The authorized official shall post a notice of violation in a conspicuous location on the property. The notice shall state the time when the notice was issued and shall indicate the nature of the violation. Should another violation occur within 18 months of the original violation, the property owner shall be charged seventy-five dollars (\$75.00).



(3) Payment shall be made to the City of University Heights, Housing and Community Development Department, within thirty days of the date of the bill. Any bill that is not paid within thirty days shall be placed on the property taxes of the property owner as a tax lien for collection by the City Finance Director.

(d) Nothing herein shall be construed to limit the authority of the City or its Law Director to undertake any action or to seek any other remedies or sanctions available.

**Section 2.** Codified Ordinance Section 1064.05 in existence immediately prior to the passage of this ordinance is hereby repealed.

**Section 3.** It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including the requirements of Section 121.22 of the Ohio Revised Code.

**Section 4.** This Ordinance is declared to be an emergency measure necessary for the preservation of the public peace, safety, health and welfare of the citizens of the City of University Heights, by amending the regulations in Section 1064.05 so that they are clear and enforceable, for the health and safety of the City's residents. It shall therefore become effective upon its passage by the affirmative vote of not less than five (5) members of Council and approval of the Mayor; otherwise it shall become effective at the earliest time allowed by law.

**City of University Heights, Ohio**

---

**Michael Dylan Brennan, Mayor**

**Passed:** \_\_\_\_\_

**Attest:** \_\_\_\_\_  
**Kelly M. Thomas, Clerk of Council**

**Approved**  
**as to form:** \_\_\_\_\_  
**Luke F. McConville, Law Director**

**ORDINANCE NO. 2023-40**

**INTRODUCED BY: MAYOR MICHAEL DYLAN BRENNAN**

**AN ORDINANCE AMENDING CODIFIED ORDINANCE SECTION 1246.01 ENTITLED “GENERAL PROVISIONS” FOR THE PURPOSE OF ELIMINATING THE RESIDENCY REQUIREMENT FOR MEMBERSHIP ON THE ARCHITECTURAL REVIEW BOARD, AND DECLARING AN EMERGENCY**

**WHEREAS**, the City wishes to eliminate the residency requirement for membership on the Architectural Review Board (“ARB”) for the purposes of expanding the potential pool of candidates to fill positions on the Board;

**WHEREAS**, the City has had a vacancy on the Architectural Review Board since January of 2023 and has had no applicants step forward to fill the vacancy;

**WHEREAS**, by expanding the pool of candidates for the Architectural Review Board, the City will reduce the possibility for conflicts of interest that would cause recusal of members from the same firm that could make reaching a quorum more difficult;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY HEIGHTS, OHIO THAT:**

**Section 1.** Council hereby amends Codified Ordinance Section 1246.01 entitled “General Provisions,” to read in its entirety as set forth in Exhibit A hereto, a copy of which is attached and which is incorporated herein by reference as if fully rewritten. A complete copy of Exhibit A is also on file with the Clerk of Council.

**Section 2.** It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements.

**Section 3.** This Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health and safety of the City and for the further reason that an appointment to fill the current Board vacancy must be made as soon as possible so that ARB may conduct its business with a full slate of members; wherefore, this ordinance shall be in full force and effect from and immediately after its adoption and approval by the Mayor.

**CITY OF UNIVERSITY HEIGHTS, OHIO**

---

**MICHAEL DYLAN BRENNAN, MAYOR**

**PASSED:** \_\_\_\_\_

**ATTEST:**

---

**KELLY M. THOMAS, CLERK OF COUNCIL**

**APPROVED AS TO FORM:**

---

**LUKE F. MCCONVILLE, LAW DIRECTOR**

EXHIBIT A

**§ 1246.01 GENERAL PROVISIONS.**

(a) Creation, Purpose and Intent. The Architectural Review Board is hereby created to review applications for new or replacement dwelling structures in all residential zoned districts, and to review applications in all other zoning districts when an increase in building square footage or a substantial exterior change is proposed, to:

- (1) Ensure that new development and redevelopment are compatible and harmonious with the existing overall character of the City;
- (2) Strengthen, enhance and improve the existing visual and aesthetic character of the City; and
- (3) Maintain a high design character of community development, and ensure compatibility of new development.

(b) Powers and Duties. The Architectural Review Board shall review plans for new development and alterations to existing development in the following respects:

- (1) The design of the building – use of materials, finish grade lines, dimensions, orientation, fenestration and proportions.
- (2) The design of the building in conjunction with site features such as landscaping, parking, and vehicular and pedestrian circulation for all projects to be erected, altered, remodeled or repaired; and
- (3) The design and placement of business identification signs when referred by the Building Commissioner.

In undertaking this review, the Architectural Review Board may promulgate design criteria to guide subsequent phases of development.

(c) Membership and Term.

- (1) The Architectural Review Board shall consist of five registered architects who shall be either (i) residents of the City of University Heights or (ii) registered as an architect in the State of Ohio. If a sufficient number of registered architects are not available, one member may be from another related profession if the person has demonstrated an interest, experience or knowledge in architecture, landscape architecture, urban design or related disciplines. In the event the Building Commissioner is a registered architect, he or she may serve as a voting member of the ARB, even if not a resident of University Heights, provided that the Building Commissioner must be appointed by the Mayor and approved by Council in order to serve in such capacity. The Building Commissioner shall be eligible to participate in discussions whether he or she is a voting member or not.
- (2) One other registered architect meeting the criteria of division (c)(1) hereof shall be designated as an alternate to the ARB and shall review any proposal where a member of the ARB has a conflict of interest.
- (3) All members shall be appointed by the Mayor and approved by Council.
- (4) The term of office shall be for three years, except in the case of appointments made in 2022, in which case the terms shall be staggered so that at least one term expires every three years.
- (5) If there is a vacancy for any reason, a newly appointed person shall complete the unexpired term.

(6) All members of the Architectural Review Board shall be paid \$50.00 per attended meeting. Should one of the members hold a salaried position with the City during his or her appointment, this person shall not be compensated for his or her attendance at these meetings, or for any other related time or service to the ARB.

(d) Action by ARB. The Architectural Review Board shall meet as necessary. Approval of an application submitted to the ARB shall require the affirmative vote of a majority of a quorum. A quorum shall be not less than three members. In the event an application is not approved by the ARB, the ARB shall clearly indicate to the applicant the reasons the application was not approved. When proposals before the ARB are also subject to Planning Commission and/or Board of Zoning Appeals action, the ARB decision shall serve as a recommendation. When action is taken on a proposal that is not subject to the Board of Zoning Appeals or Planning Commission, the decision of the ARB will be final. Any person aggrieved by a final decision of the ARB may appeal to the Board of Zoning Appeals within ten days of the decision.

(e) Interpretive Illustrations for Design Guidelines. The ARB may prepare from time to time or authorize the preparation of illustrations which demonstrate the development and design guidelines in Section 1262.12. Such illustrations may include drawings and/or photographs that depict the guidelines. Any such illustrations shall be considered administrative guidelines which assist in the utilization of the development and design guidelines.

(f) Application. Applicants shall complete a form as prescribed by the Building Commissioner and approved by the Law Director. The application fee shall be one hundred dollars (\$100.00). Drawings, photographs or samples shall be submitted that will properly communicate the applicant's proposal. The Building Commissioner may reject an application if he or she determines the documents are inadequate.

(g) Permits. The Building Commissioner may not issue permits for projects subject to ARB action until approved by the ARB. Conditions of approval shall become part of the permit documents.

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Grant Number: **2416079** Program: **ArtSTART**

**This agreement, with the objective of promoting and preserving the arts in Ohio, entered into on July 20 2023 by and between the Ohio Arts Council, an agency of the State of Ohio, and hereafter referred to as the "Council," with offices at 30 East Broad Street, 33rd Floor, Columbus, Ohio 43215-3414, and the "Participant" who is listed immediately below:**

**City of University Heights**  
**2300 Warrensville Center Road**  
**University Heights, OHIO 44118-3825**

**Whereas**, the Participant has requested financial assistance for **2023 Fall Fest** and has submitted an application and verified its most recently completed fiscal year with financial statements (as required) to the Council, and

**Whereas**, the Participant pledges **\$4,444.00** as matching funds to qualify for Council assistance, and

**Whereas**, between **09/01/2023 and 10/31/2023**, **City of University Heights** will present Fall Fest, a one-day celebration that features live music, family activities, interactive arts programming, and local vendors.

**Now Therefore**, the Council shall pay to the Participant an amount not to exceed the sum of \$4,444.00 subject to the following conditions and covenants:

1. This Agreement is conditioned upon the availability of funds appropriated to the Council or available to it from other sources. This Agreement is subject to the determination by the Ohio Arts Council that sufficient funds have been appropriated by the Ohio General Assembly to the Ohio Arts Council for the purposes of this contract, and to the certification of funds by the Office of Budget and Management, as required by Ohio Revised Code 126.07. If the Ohio Arts Council determines that sufficient funds have not been appropriated for the purposes of this contract, or if the Office of Budget and Management fails to certify the availability of funds, this Agreement or any renewal thereof will terminate on the date that the funding expires without any further obligation by either party.
2. If the Participant's programming is comprised, in whole or in part, of any events such as exhibit or performance, the Participant shall submit to the Council the date, time, and location as soon as known, but no later than two weeks before the event. In order to provide members of the Council Board, appropriate Council committees, and the Council staff with the opportunity to view the arts program supported by the Council, the Participant agrees to admit said individuals upon request.
3. Promptly notify the Council of any changes or problems in the program and of the need for changes to this Agreement. There shall be no variance from this Agreement without prior written approval of the Council. If any such change, substitution, or variance shall occur, the Council shall have the right to reduce its obligation under this Agreement to the extent it judges itself damaged, which judgment shall be conclusive and binding upon the Participant, or the Council may terminate this Agreement and thereafter have no further obligation to the Participant.
4. In order to provide accountability of Council funds, the Council shall reserve the right to conduct program evaluations and financial audits at such times, places, and by such means, and in such manner, as the Council, in its sole discretion, shall determine, and the Participant agrees to, and shall, fully cooperate with the Council and its agents and representatives.
5. The participant may request a partial payment which is 50 percent of the total grant. Participants in need of partial payment must complete a Partial Payment Request confirming that Council funds will be used only for expenses that have been incurred during the grant period. Denial of the request is not a breach of the Agreement or any part of it by Council. The Participant agrees to comply with all terms of the Partial Payment Request.
6. The Participant shall submit a full and certified accounting, summarizing all expenditures, as required on the Council Final Report

Form. This accounting shall be subject to financial audit and program evaluation by appropriate agencies of the State of Ohio and the United States Government. The Participant will be responsible for the safekeeping and identification of records that corroborate the program financial statements. Said records (sales receipts, invoices, travel claims, pay vouchers, etc.) must be kept in the Participant's files for a period of three (3) years after the completion of the grant period, and be produced and made available to the Council for inspection and reproduction, at the request of the Council.

7. The Council shall process a payment to the Participant for an amount not to exceed that stated above, after completion of the grant period and submission of the appropriate Council Final Report Form, which includes the Participant's financial report detailing expenditures of the Council's grant. The Final Report shall be due thirty (30) days after the completion of the grant period. Council reserves the right to cancel any grant for failure to complete the Final Report within the thirty day period stated above, unless arrangements for an extension have been made with the Council.

8. The Participant shall provide Council with documentation of the activities funded by the Council in this Agreement, including but not limited to, copies of publicity, printed materials, statements of credit, and where appropriate, photographs. These support materials shall be submitted with the Final Report. Where the Participant is awarded funds for an artistic product such as printing of a book or completion of a film or videotape, at least one copy will be made available to Council for viewing purposes to determine whether the terms of this Agreement have been met. Failure to comply with Council's request under this paragraph shall be grounds for the Council in its sole discretion to cancel or rescind this Agreement and any grants or monies due under it.

9. Credit and Publicity Requirements: By signing this Grant Agreement, Participant acknowledges that they have read and agree to the requirements outlined in the [Logos and Branding](http://oac.ohio.gov/brand) page on the Ohio Arts Council's website (<http://oac.ohio.gov/brand>). The Participant agrees to all terms and conditions therein and agrees to comply with credit and publicity terms and conditions. Failure to comply with these requirements may jeopardize future funding as the Ohio Arts Council will review and confirm the grantee's past compliance with the credit and publicity requirements prior to approving any additional funding.

10. Grant funds awarded in this Agreement may not be used for brick-and-mortar activities, capital improvements, equipment purchases over \$1,000, hospitality costs, scholarship assistance, or out-of-state travel.

11. The Participant assures Council that direct efforts will be made to involve the community and that said program(s) for which grant funds have been awarded will not be offered for student credit.

12. The Council shall not be responsible or liable for any deficit arising from the Participant's program.

13. In the event the Participant ceases to program arts activities, other than for reasons described below in Article 14, and has previously received financial assistance from the Council, the Participant will reimburse the Council to the full extent of payments made by the Council pursuant to this Agreement.

14. If the Participant is unable to program arts activities during the grant period by virtue of any act or regulation of any public authority, or on account of events such as, but not limited to, war, labor difficulties, strikes, riots, epidemics, interruption of transportation services, acts of God, or any other cause beyond the Participant's control, the Council shall still be obligated to make the payment required herein, to the extent that the Participant has incurred expenses or obligations in connection therewith, which obligations could not otherwise be discharged, due to the occurrence of one of the above circumstances.

15. The Participant shall notify all persons with whom the Participant contracts that the Participant shall be solely responsible for payment and shall not represent that the operation constitutes a joint financial venture with the Council. The Participant hereby agrees to and does assume all risk of claims heretofore or hereafter arising, known, or unknown, from any matters relating to this Agreement, and in addition, agrees to save the State harmless from possible copyright infringements or other claims relating to or growing out of this Agreement or conduct which takes place arising under it. The Council can, at its own option, require the Participant to execute written contracts with those persons, or entities with whom the Participant deals. Council can require all contracts be submitted to it for its review and approval at any time it may deem advisable, and this approval shall apply to all contracts under this clause.

16. The Participant agrees to hold the Council and the State of Ohio harmless from any claims of any kind for injuries or damages which result from the making of any arrangement for said arts programs or in the performance of said program.

17. No person shall be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination under any program, activity, or service on the basis of race, color, religion, sex, national origin, disability, ancestry, or age. The Participant further agrees not to discriminate against any employee or applicant for employment to be hired in the performance of this Agreement with respect to hire, tenure, terms, conditions, or privileges of employment, or any matter directly or indirectly related to employment because of race, color, religion, sex, national origin, disability, ancestry, or age.

18. The Participant herewith assures the Council that (1) all professional performers and related or supporting professional personnel employed on projects or productions which are financed under this Agreement will be paid, without subsequent deduction or rebate on any account, not less than the minimum compensation as determined by the Secretary of Labor to be the prevailing minimum compensation for persons employed in similar activities; (2) no part of any project or production which is financed under this Agreement will be performed or engaged in under working conditions which are unsanitary or hazardous or dangerous to the health and safety of the persons engaged in such project or production. Compliance with the safety and sanitary laws of the State of Ohio shall be prima facie evidence of compliance. The Participant also agrees to comply with, and not to violate, other laws, state or federal, including those covering health, safety and welfare, but without limitation thereto.

19. The Participant shall not assign this Agreement or any part thereof without the written consent of the Council.

20. The Participant agrees that each of the covenants of the Council contained herein is dependent upon the fulfillment of all the conditions and covenants of the Participant contained herein.

21. If any provision of this Agreement should be held invalid by a Court of the State of Ohio, all other provisions shall nevertheless be in effect and binding upon the parties.

22. This Agreement, including agreements incorporated by reference, is to be governed by the laws of the State of Ohio, and venue shall be proper in Franklin County, Ohio, in the Courts of the State of Ohio.

23. The acceptance of the terms of this Agreement has been authorized by the governing body of the Participant and the undersigned representative has been authorized to act for the Participant in the administration of this Agreement.

In witness hereof, the parties affix their signatures to this Agreement executed in triplicate on the day and year first above mentioned.

**State of Ohio - Ohio Arts Council**

**Participant**

By: *Donna S. Collins*  
Donna S. Collins  
Executive Director

By:  
Title:  
Print Name:  
EIN:

\*To be signed by the Chief Administrative Officer. This must be a person authorized to execute binding contracts with other entities. This Grant Agreement should not be signed by the Project Director if he/she does not have the authority to sign legal documents for the organization.

**ADDENDUM to OHIO ARTS COUNCIL AGREEMENT**

The following clause replaces Clauses 15 & 16 of the Grant Agreement:

"It is understood that the, the Participant herein, is a state-supported institution of higher education and is not an agent of the Ohio Arts Council. The planning of this arts project, and conduct of and the administration of this grant is the responsibility of this Participant, to the extent permitted by law. The Participant hereby assumes risks for claims arising from matters relating to this arts project, and, to the extent permitted by law, agrees to hold the Arts Council harmless from claims for bodily injury, property damage, false arrest, detention, or imprisonment or malicious prosecution, libel, slander, defamation or violation of the right of privacy, wrongful entry or eviction, or other invasion of the right of private occupancy, which results from the making of any arrangement for said arts project, or in the performance of said project, including use of video or film, when the Participant will be responsible for any copyright infringements, and for violation of constitutional and statutory rights under the United States and the State of Ohio Constitutions and statutes."

**Final Score**

53



**Starfish Computer**  
 Phone: 440-808-0468  
 Fax: 440-808-0470  
 24831 Lorain Road  
 North Olmsted, OH 44070

**Quote**  
 No.: **13348**  
 Date: **7/27/2023**

Prepared for:  
 Michael D Brennan (216) 932-7800  
 City of University Heights  
 2300 Warrensville Center Road  
 University Hts., Ohio 44118

Prepared by: Patrick Hanrahan  
 Account No.: 12849  
 Phone: (216) 932-7800

Quantity	Description	UOM	Sell	Total
<b>Emergency Support and Service through 8/31/2023</b>				
<b>*Quantity of 1 is for month of August</b>				
<b>Emergency Support and Service</b>				
1.00	20-Hour Block of AdHoc Network Support Services	HR	\$3,100.00	\$3,100.00
<b>Spam Filter</b>				
1.00	Spam Filter Monthly Services	EA	\$270.00	\$270.00
<b>Server, Desktop Patching, Monitoring and Antivirus</b>				
1.00	Server, Desktop Patching, Monitoring and Antivirus for 35 Desktops - Monthly Service	EA	\$780.00	\$780.00
<b>Loaner Switch and Server</b>				
1.00	Starfish Computer Loaner Switch and Server Montly Utilization	EA	\$300.00	\$300.00
<b>Backup/Disaster Recovery - Device is Property of Starfish Computer Corporation</b>				
1.00	Backup Disaster Recovery Monthly Service	EA	\$1,100.00	\$1,100.00
<b>Hybrid Cloud Backup</b>				
<b>Bare Metal Restore</b>				
<b>Advanced File Level Restore</b>				
<b>Inverse Chain Technology</b>				
<b>Instant On-Site Virtualization</b>				
<b>Instant Off-site Virtualization</b>				
<b>Screenshot Backup Verification</b>				
<b>Message Level Exchange Recovery</b>				
<b>CAPACITY</b>				
<b>Storage Capacity 6000GB (3000GB Usable)</b>				
<b>CLOUD</b>				
<b>Capacity 1 Year Data Retention</b>				
<b>Dual Bi-Coastal US Based SAS70 Rated Data Centers</b>				

**Your Price:** \_\_\_\_\_  
**\$5,550.00**

**Total:** \_\_\_\_\_  
**\$5,550.00**

Prices are firm until 8/17/2023

Terms:

**Prepared by:** Patrick Hanrahan, phanrahan@starfishcomputer.com

**Date:** 7/27/2023

**Accepted by:** \_\_\_\_\_

**Date :** \_\_\_\_\_



**Quote**

No.: **13348**

Date: 7/27/2023

**Disclaimer**

Prices are subject to change, error and availability. Prices do not include shipping and handling, if any. Return Policy: Returned parts will be charged a 20% restocking fee. Returns must be made within in 30 days of our order date. Special order parts are non-returnable.

Please fax signed quote to 440-808-0470 or email to sales@starfishcomputer.com so that your order can be placed. Thank you for your business.

# 2023- 2024 NFPA 1582 Firefighter Occupational Medical Examinations

Period of Performance: September 30, 2023 - December 31, 2024

Purpose: Provide One (1) NFPA 1582 compliant occupational medical exams for up to 35 employees during the period of performance.

Location of Services to be provided and completed: Cuyahoga County

## Exams that shall be completed in physical:

- Chest X-Ray, 2V (baseline/every 5 years)
- Physical Exam
- OSHA Respirator Questionnaire Review
- Occupational and Medical History Review
- Pulmonary Function Test (spirometry)
- Electrocardiogram (EKG) with Interpretation
- Audiogram
- Snellen Distant/Rosenbaum Near Vision
- Prostate Specific Antigen (PSA) Screening
- CBC with Differential/Platelet
- Comprehensive Metabolic Panel (CMP) Includes lipids and liver function
- Urinalysis
- Hepatitis- B Antibody Test (if immunized)
- TB Skin Testing
- Fecal Occult Blood Testing
- Cardiac Stress Testing
- Calcium Scoring Test (40 years and older)
- Skin Cancer
  - Comprehensive inspection of skin included in physical exam
  - Any suspicious lesions shall be referred for dermatological assessment
- Testicular Cancer
  - Baseline examination included in physical exam
- Prostate Cancer
  - PSA Testing offered to all male FF at age 50 and annually thereafter
  - PSA Testing offered to all male FF at age 40 and annually thereafter with a family history or are of African American heritage
  - Digital Rectal Exam can be performed if a PSA is obtained
- Colorectal Cancer
  - Fecal Occult Blood testing is recommended for all FF at age 40 and annually thereafter
  - Recommend sigmoidoscopy or colonoscopy beginning at age 50 and with any positive fecal occult blood test
- Bladder Cancer
  - Urinalysis recommended for all FF to evaluate for blood
  - Referral to urology if positive
- Oral Cancer
  - Examination of the mouth and throat is included in physical exam
- Thyroid Cancer
  - Thyroid palpation for nodules is included in the physical exam



**Bricker Graydon LLP**  
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Suite 650  
Cleveland, OH 44115  
216.523.5405 Office  
www.brickergraydon.com

**Catherine Swartz**  
Partner  
216.523.5465 Direct Phone  
cswartz@brickergraydon.com

July 13, 2023

**VIA EMAIL**

Michael Dylan Brennan, Mayor  
City of University Heights  
2300 Warrensville Center Road  
University Heights, Ohio 44118-3895

Re: Bankruptcy Counsel Services related to University Square Real Estate Holdings LLC, Case No. 23-12301, U.S. Bankruptcy Court, N.D. Ohio (“University Square”)

Dear Mayor Brennan:

Thank you for asking Bricker Graydon LLP (the “Firm” or “Bricker Graydon”) to serve as your counsel in the matter described below. This letter will confirm the engagement of our Firm and will describe the scope and terms on which we will provide legal services to you.

**The Client.** City of University Heights, Ohio/ (the “Client”) will be our client in this engagement.

**Scope of Engagement.** The Firm is being engaged to represent the Client’s interests related to the bankruptcy proceeding of University Square (the “Matter”).

In addition to the Matter described in the preceding paragraph, upon your request and only upon our agreement in writing, our representation may extend to other matters. The terms of this letter will apply to such other matters, unless otherwise agreed in writing. It is also understood that the Client is not relying upon us for business, investment, or accounting advice or decisions, nor to investigate the character or credit of any other persons or parties in this matter.

Unless otherwise agreed, our engagement does not include providing any advice or legal services relating to federal or state securities laws, including appearing or practicing before the U.S. Securities and Exchange Commission (the “SEC”) or your disclosure obligations under such laws, and we agree that you will not, without our prior written consent, include documents we provide to you in filings with federal or state securities regulators, including the SEC.



**Compensation.** We customarily charge an hourly fee for legal services, which currently range from \$250 to \$700, depending on the attorney's experience and expertise. Our current paralegal rates range from \$175 to 325 per hour. The hourly rates of our professionals are periodically reviewed and adjusted to reflect the current cost and expertise of delivering comparable legal services. For the Matter, we will provide the Client a 15% discount on hourly rates, with rates through December 31, 2023 for the bankruptcy team as follows:

<b>Attorney</b>	<b>Standard Rate</b>	<b>Discount Rate</b>
Susan Argo	\$600	\$510
Mike Debbeler	\$700	\$595
Jeffrey Hendricks	\$525	\$445
Jeff Pfirman	\$400	\$340
Justin Ristau	\$515	\$435
Sebastian West	\$275	\$235

The fees and costs relating to this matter are not predictable. Accordingly, we have made no commitment to you concerning the maximum fees and costs that will be necessary to resolve or complete this matter. It is expressly understood that payment of the Firm's fees and costs is in no way contingent upon the ultimate outcome of the Matter.

Because of the potential for unpredictable and unforeseen circumstances, we normally cannot quote a precise fee total for the completion of the Matter. If requested, we will endeavor to estimate the total fee where the nature of the Matter allows us to do so. Any estimate would be provided with the clear understanding that it is not a maximum or a fixed-fee quotation; that the cost will likely be more or less than the estimated amount.

**Disbursements and Third Party Expenses.** In addition to our hourly fees for professional services, you will also be charged for miscellaneous services and cash disbursements incurred on your behalf. These services and expenses include such items as document reproduction, charges for the management and storage of electronic data related to your matter, extraordinary postage, certain staff overtime where justified, on-line research services, and necessary travel expenses (including transportation, lodging, meals, and other related expenses).

Depending on the circumstances, you may also be asked to advance funds to reimburse the Firm for payments made or to be made your behalf, or to pay a third-party directly. These disbursements include items such as regulatory filing fees, special messengers, express deliveries, outside document management and copying services, service of process and court fees, stenographer and videographer fees, expert witness fees, and local or special counsel fees. All such expenses are your responsibility.

**Invoices and Payments.** Our invoices are typically sent on a monthly basis. If charges incurred in any month are nominal, however, billing may be deferred until the next month. We offer a variety of invoice formats to summarize the services performed, the fees, and related disbursements in a manner that you prefer.

Our invoices are payable upon receipt. We include a carrying charge of 1.5% per month on outstanding balances for invoices remaining unpaid past 45 days from the invoice date. If the delinquency continues and satisfactory payment arrangements are not made, we reserve the right, subject to any necessary tribunal approval, to withdraw from the representation and may pursue collection of your



account. In the event of any collection action, you agree to pay the costs incurred to collect the balance; including court costs, filing fees, and reasonable attorney's fees.

**Professional Responsibility and Conflicts of Interest.** The conduct of attorneys and law firms are governed by the Rules of Professional Conduct (the "Rules of Conduct"). They include rules relating to actual or potential conflicts of interest. At the outset of this representation, and for each subsequent engagement, we undertake to identify potential and actual conflicts between your interests and those of others whom we currently represent or have previously represented, based upon the facts as we know them at the time of each engagement. It is always possible that during the course of our relationship, new facts arise which, under the Rules of Conduct, could require us to withdraw from further representation of you, or seek specific consent from you and another current or former client in order to continue representing you. If a conflict situation arises, we will discuss it with you and take appropriate steps to resolve the conflict or other problems, if possible. If you perceive an actual or potential conflict, please promptly contact the undersigned.

**Advance Consent to Conflicts.** Bricker Graydon represents many other businesses and individuals. It is possible that during the period of this engagement, we may also represent other clients in matters substantially unrelated to this representation, where your respective interests are adverse.

For example:

- If you have a lending relationship with a Bricker Graydon client, we may represent the other client in a substantially unrelated matter in which your interests are adverse, including an unrelated matter arising out of that lending relationship.
- If you have an employment relationship with a Bricker Graydon client, we may represent the other client in a substantially unrelated matter where your interests are adverse, including an unrelated matter arising out of that employment relationship.
- If you have a business relationship with a Bricker Graydon client, we may represent the other client in a substantially unrelated matter where your interests are adverse, including an unrelated matter arising out of that business relationship.

You agree that our representation of you concerning the Matter will not disqualify our Firm from representing other clients in matters, including litigation, that are substantially unrelated to the Matter. You consent to waive any conflict of interest as to those other, substantially unrelated representations. Bricker Graydon agrees, per the applicable Rules of Conduct, not to divulge any confidential or nonpublic information about you that we acquire as a result of our work on the Matter, or to use any such information to your material disadvantage in connection with any substantially unrelated matter in which we represent a party adverse to you.

In addition to legal work the Firm provides to clients, certain attorneys associated with the Firm also provide government relations services to various trade associations and other clients of the Firm ("Government Relations Services"). The Government Relations Services may include, but are not limited to, advocating certain positions on behalf of a client before state legislatures and before various federal, state, and local legislative or regulatory bodies or officials. Such services may include, but are not limited to seeking the enactment, repeal, or amendment of various laws, regulations or ordinances. In connection with the Government Relations Services we provide, we may be engaged to advocate a position on issues that are adverse to the Client's interests.



By executing this engagement letter, the Client is acknowledging that the Client has not retained the Firm to provide Government Relations Services, and that our work for the Client in this Matter will not disqualify the Firm from providing Government Relations Services to other clients, even when the interests of those other clients are adverse to the Client's interests. To the extent such Government Relations Services present an actual or prospective conflict of interest, by executing this engagement letter, the Client agrees to waive the right to disqualify the Firm from providing Government Relations Services to other clients.

**Client Information and Communications.** So that the Firm's attorneys can fully represent the interests of the Client, it is important that counsel be provided all relevant information concerning the Matter. The Client agrees to timely provide full and complete information requested by counsel in regard to the Matter. The Rules of Conduct provide that in the event the Firm and counsel are not able to adequately represent the interests of the Client as a result of incorrect or insufficient information provided by the Client, the Firm and counsel may terminate the representation in this Matter, subject to any approval required by a court or other authority.

To facilitate communications between the Client and the Firm, we understand that you shall be the point of contact of the Client and that the Firm is to take direction from this person. If there comes a time when the Firm receives conflicting direction from individuals within the Client, such that the Firm can no longer adequately represent the interests of the Client, the Firm may terminate the representation in this Matter, subject to any approval required by a court or other authority.

**Internal Consultation with Counsel to the Firm.** From time to time, lawyers or others in the Firm will consult with Bricker Graydon lawyers designated as General Counsel and Associate General Counsel to the Firm ("Firm Counsel"). Such consultations with Firm Counsel can touch on ethical and other professional-conduct issues, issues involving potential claims against the Firm that arise in connection with the Firm's representation of a client, and any dispute or potential dispute between you and the Firm. As a condition of the Firm's representation, you agree that any such consultations with the Firm's Counsel are protected from disclosure, including disclosure to you, by the attorney-client privilege, to the extent permitted by law.

**Litigation Matters – Litigation Holds.** If our representation in the Matter requires the production of information to another party, whether or not that party is adverse, applicable laws and rules likely require the Firm and the Client to preserve information. Any failure to do so may result in severe financial and procedural consequences. The duty to preserve is generally called a "Litigation Hold." A Litigation Hold requires preservation of both hard-copy and electronically stored information ("ESI"). It applies to information that exists at the time of the engagement as well as that which is created later.

By signing this letter, the Client agrees and acknowledges the Client's duty to preserve all information, including ESI, relating to the Matter, regardless of where it is located or what form it is in, until otherwise notified. That means all records, communications, and data. For example, memoranda, letters, spreadsheets, databases in your possession or under the Client's control, calendars, cellular and land-line phone data and logs, electronic storage devices, computer drives, emails (including attachments), voice mails, instant messages, audio, video, CD's, charts, handwritten notes, drafts, files, backups, and other materials. This applies to your entire organization and will almost certainly require IT assistance to preserve, or "hold," the information properly. You acknowledge that you understand Litigation Hold duties.

**Resolving Disagreements.** We hope that no disagreements ever arise concerning any aspect of our professional relationship. If there is a dispute concerning our fees, services, or relationship, we



encourage prompt conversations with the attorney you are working with to resolve any disagreement. If the issue is not resolved satisfactorily, we urge you to discuss your concerns with either Firm Counsel, Quintin Lindsmith (direct dial: 614-227-8802) or Stephen Smith (direct dial: 859-578-3070).

**Conclusion of Representation.** Either party may terminate the engagement before the Matter is concluded, at any time and for any reason, by written notice. The Firm's right to terminate the engagement is subject to the applicable Rules of Conduct. Upon your authorization, we will provide the "Client File" to successor counsel selected by you. Client Files include such things as third-party communications, communications with counsel, transactional documents, documents received from other parties, documents received from the Client, public filings, and the like. Client Files do not include Firm Files, described below. If permission to withdraw is required by a court or other authority, you agree to cooperate with such application for withdrawal and to engage successor counsel to represent you.

Client Files will also be provided to the Client upon written request, although such request must be made within five years of termination. We reserve the right to securely destroy or dispose of the Client Files five years after the termination of our representation, unless earlier notice is provided to you.

The Firm's files pertaining to the Matter will be retained by the Firm after termination. These "Firm Files" include such things as Firm administrative records, time and expense reports, personnel and staffing materials, and credit and accounting records; and internal lawyers' work product such as drafts, notes, internal memoranda, and legal and factual research, including investigative reports, prepared by or for the internal use of lawyers. For various reasons, including the minimization of unnecessary storage expenses, we reserve the right to destroy or otherwise dispose of any such Firm Files within a reasonable time after the termination of the engagement.

Following termination of our services, we may ask if you desire your papers and property returned to you ("Client Property"). If you do not respond requesting the return of your papers and property, you agree we may, upon reasonable notice to you, dispose of such Client Property.

After completion of the Matter, changes in the law may occur, and those changes may impact your future rights and liabilities. Unless you engage us after completion of the Matter to provide additional advice, the Firm will have no continuing obligation to advise you with respect to future legal developments.

Unless previously terminated, Bricker Graydon's representation of the Client will terminate upon the earlier of a written confirmation of completion, or sending you our final statement for services rendered in the Matter.

**Conclusion.** If the foregoing is agreeable, please sign the Acceptance and Agreement below. If we are required to begin providing legal services before you sign below, you are deemed to have accepted the terms of engagement as outlined in this letter.



Thank you again for selecting us to be your counsel. We look forward to working with you. If you have any questions regarding the foregoing or would like to discuss, please do not hesitate to give me a call.

Very truly yours,

Accepted and Approved:

CITY OF UNIVERSITY HEIGHTS, OHIO

By: \_\_\_\_\_  
Michael Dylan Brennan, Mayor

Date: July \_\_, 2023