



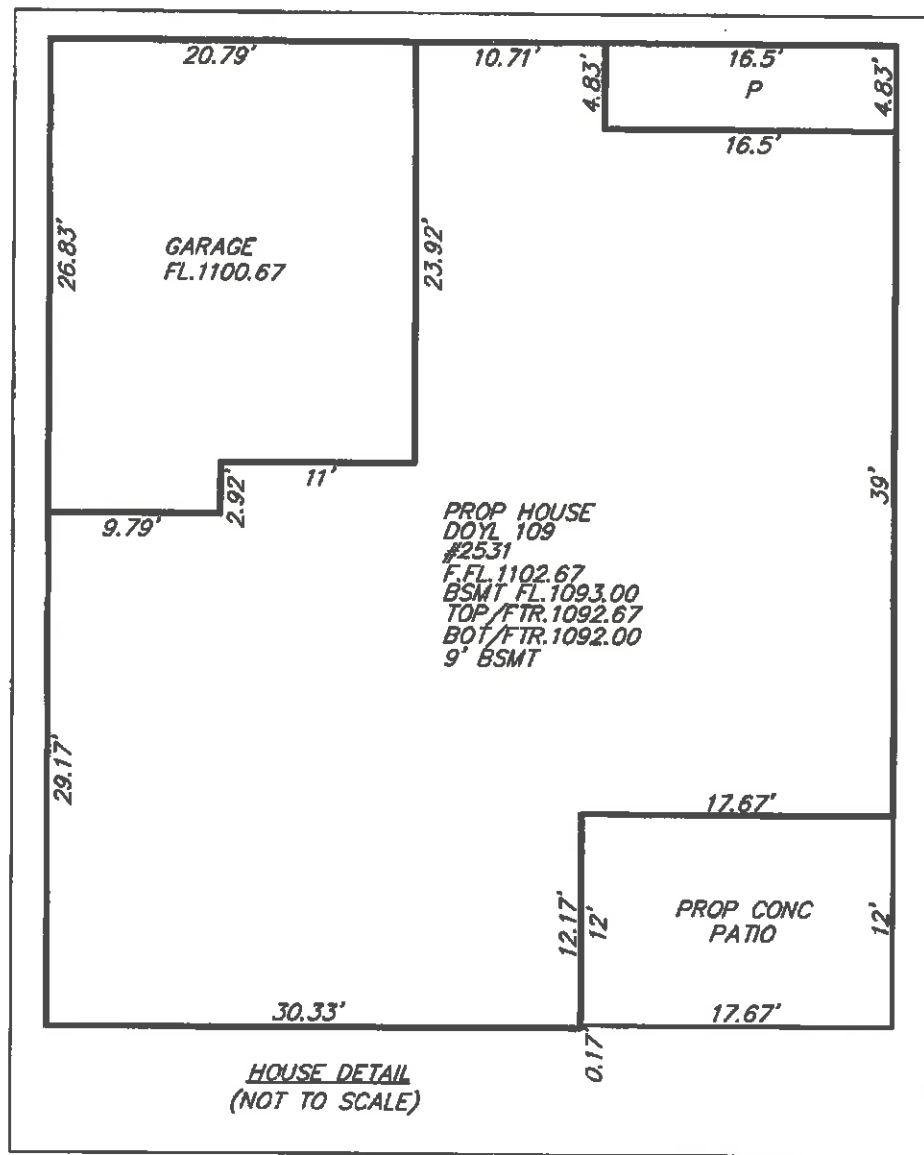
TO: Mayor Brennan and Members of City Council
FROM: Kelly M. Thomas, Clerk of Council
DATE: October 6, 2022
RE: Planning Commission Decision

At its regular meeting held on Thursday, October 6, 2022, the Planning Commission made the following motions to be approved by City Council.

A. Application from Mr. & Mrs. Schwartz for the Demolition of 2531 Lafayette Drive for new house build and Site Plan

MOTION BY MAYOR BRENNAN, SECONDED BY MR. CASEY to Recommend to City Council for the approval of the demolition of 2531 Lafayette Drive for a new house build and site plan approval with the contingency of entering into a Development Agreement with the City together with obtaining a variance from the Board of Zoning Appeals for land coverage together with any other variances that may be identified by the Building Department prior to the Board of Zoning Meeting. On roll call, all voted “aye.”

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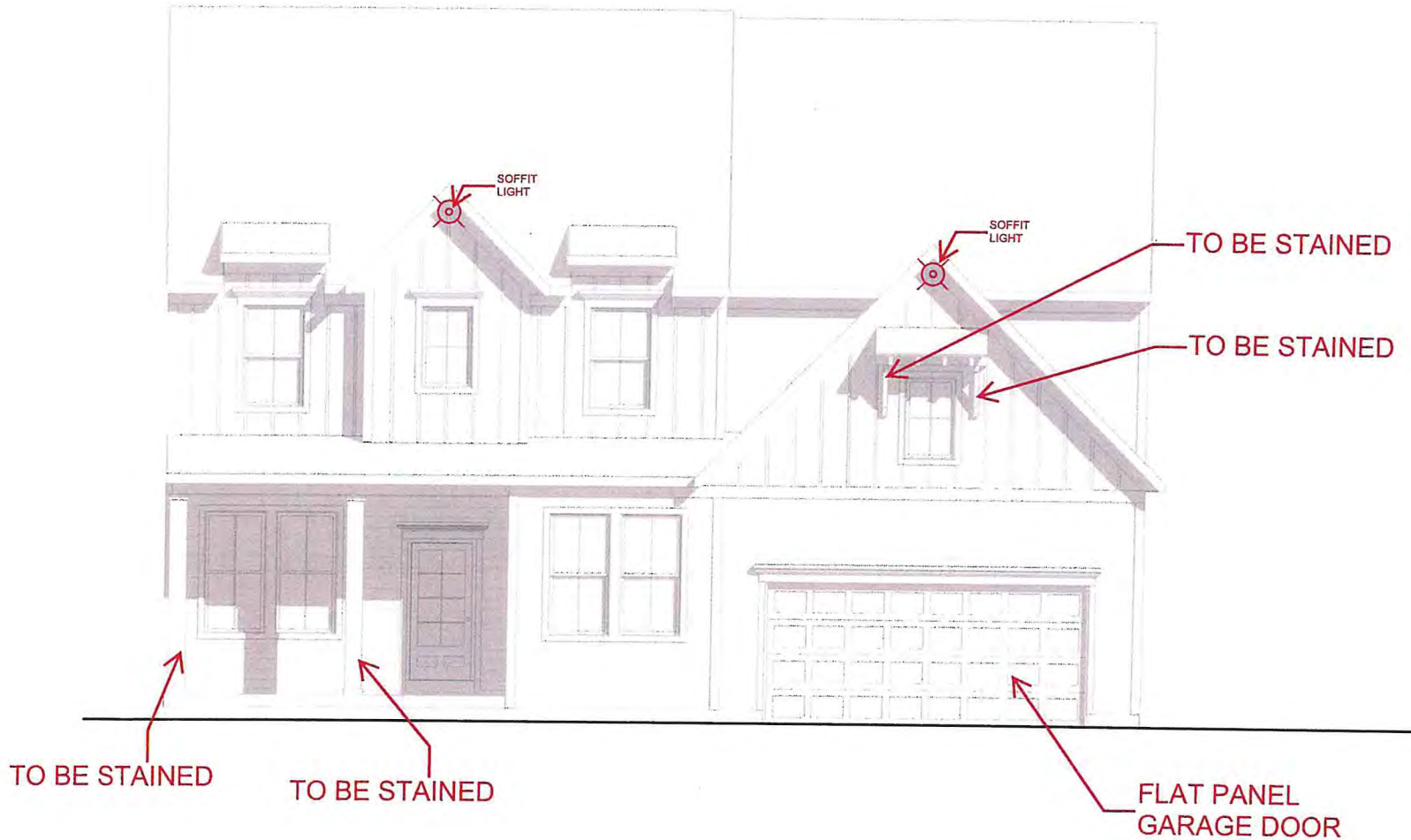


TYPE OF HOUSE: DOYL 109
 PLAN# BUCHANAN
 ELEVATION: N, 9' BSMT
 GAR: 2 CAR FRONT RIGHT
 SUNROOM, 3/4 BSMT BATH,
 BSMT LAUNDRY ROOM,
 GARAGE SERVICE DOOR,
 17.67x12 CONCRETE PATIO

Notes:

1. CWD must approve water connection
2. TV the sewer laterals prior to connection. Inform City Engineer (216-701-1957) of results.
3. Repair Street and curbs in accordance with City Standards.

HORIZ. SCALE: 1"=20'	VERT. SCALE:	5425 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44125 440-602-9071 FAX 216-360-0259	SITE PLAN FOR DREES HOMES DOYL 109 2531 LAFAYETTE DRIVE SUBLOT 6 OF THE LAFAYETTE-RUBYVALE SUBDIVISION PLAT VOL. 170 PG. 2 CITY OF UNIVERSITY HEIGHTS CUYAHOGA COUNTY STATE OF OHIO		
DRAWN BY: LNE	DATE: 8-18-2022	 AZTECH ENGINEERING + SURVEYING Civil Engineering + Land Surveying			
CHECKED BY: SRL	DRAWING NO.: 20223826				
JOB NO.: 20223826	SHEET: 2 OF 2				
				NO. DATE DESCRIPTION BY	



Square Footage

Living Areas	
1st Floor	1860 SF
2nd Floor	2027 SF
Finished Lower Level	1377 SF
	5264 SF
Unfinished Areas	
FRONT PORCH	120 SF
GARAGE	662 SF
UNFINISHED BASEMENT	490 SF
	1272 SF

Square Footage total may vary by +1 SF due to automated rounding of first and second floor area

Redraws

Plan Review: 8/5/22

- STRUCTURE PER ENGINEERING REDLINES
- BASEMENT WINDOW WELLS
- DINING ROOM SIDE WINDOW
- TEMPERED BEDROOM #3 WINDOW
- FLIPPED LOCATION OF BENCH SEAT AND POWDER BATH

Plan Review: 8/15/22

- 2640 WINDOW AT BEDROOM #4 CLOSET
- 28" DOOR I/O 24" AT LAUNDRY
- REVISE HALL BATH PER REDLINES
- LINEN CLOSET I/O SINK AT OWNERS BATH
- REMOVE DOOR TO BASEMENT
- 6020 TRANSOM AT FAMILY ROOM I/O (2)3020 TRANSOMS
- RE-LABELED LOWER LEVEL LAUNDRY AS WET BAR
- RE-LABELED LOWER KITCHEN AS LAUNDRY
- MOVE GARAGE SERVICE DOOR TO THE FRONT OF GARAGE

Division: CLEVELAND

Building Code: 2019 Residential Code of Ohio

Index to the Drawings

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1.02	Lower Level Framing Plan
1.03	Lower Level Mechanical Plan
2.01F	First Floor Framing Plan
2.01S	First Floor Structural Plan
2.02F	Second Floor Framing Plan
2.02S	Second Floor Structural Plan
2.04	Roof Plan
3.01	First Floor Subfloor Plan
3.02	Second Floor Subfloor Plan
4.01	First Floor Mechanical Plan
4.02	Second Floor Mechanical Plan
5.01	Building Section
6.01	Front Elevation
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6.03	Rear Elevation
6.04	Side Elevation
7.01	House Specific Details
7.02	House Specific Details
7.03	House Specific Details
7.04	House Specific Details

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: LJR			Series: SERIES_NM
Born on Date: 08/27/2010			Plan No.: PLAN_NM

the BUCHANAN

Drees HOMES
SM

680 West Snowville Road Suite 105, Brecksville, OH 44141-3242
Phone: (440) 717-9670

Sheet Information

0C.1
Cover Sheet
Elevation "N"

Architecture Plan Review: No Comments See Comments Items drawn on any drawings and not written in the contract sections WILL NOT be included in the site specific drawings.

Customer Request:	Design Solution:	Reason For Modification:	Comments:
1. REMOVE WINDOW AND SHUTTERS AT FRONT ELEVATION	1. SHUTTERS TO REMAIN	1. PER ARCHITECTURAL DESIGNERS- BUMP OUT CAN NOT BE LEFT BARE	1. XXX
2. XXX	2. XXX	2. XXX	2. XXX
3. XXX	3. XXX	3. XXX	3. XXX
4. XXX	4. XXX	4. XXX	4. XXX

Customer Plan Review Signature

I understand that my new Drees home will be built in general conformance to the plans, specifications, selections and the Purchase Agreement, all of which I have reviewed and approved. This set of plans may not reflect the elevations or options for my house. Drees draws the standard plans complete with the most common options. The subcontractor's sets will show only the options I selected in my selection sheets. I have reviewed the plot plan for my house and understand that there may be some field adjustments as to the exact location of the house on the lot. I further understand that my home will not be built exactly like any other Drees home or Model and that some minor variations from my plans and specifications may occur since every home that is built has it's own set of unique construction problems that must be dealt with as the home is being built.

Customer: _____ Date: _____
Customer: _____ Date: _____



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2. XXX	2. XXX	2. XXX	2. XXX
3. XXX	3. XXX	3. XXX	3. XXX
4. XXX	4. XXX	4. XXX	4. XXX

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 Customer: _____ Date: _____

Sheet Information

0C.1

Cover Sheet
Elevation "N"

6860 West Snowville Road, Suite 105, Brecksville, OH 44141-3242
Phone: (440) 717-9670

GENERAL NOTES

FOUNDATION NOTES

- ALL FOUNDATION WALLS TO BE 8" THICK POURED CONCRETE UNLESS OTHERWISE NOTED.
- PROVIDE FOOTER DRAIN TILE ON OUTSIDE OF FOOTER TO SUMP PUMP OR TO DAYLIGHT.
- BASEMENT WINDOW LOCATIONS MAY VARY FROM DRAWING DUE TO LOT CONDITIONS.
- BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL.
- WATERPROOF FOUNDATION WITH POLY MODIFIED ASPHALT SPRAY.
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE - 2,000 PSF
- PROVIDE FOOTER DRAIN CLEANOUT 10' FROM BACK CORNER ON SIDE OF HOUSE OPPOSITE THE GARAGE.
- EXTERIOR FLATWORK AND GARAGE SLABS SHALL BE POURED WITH A MINIMUM CONCRETE STRENGTH OF 4,500 LBS.
- VERTICAL CONTROL JOINTS IN BASEMENT FOUNDATION WALLS - STANDARD LOCATION GUIDELINES:
 - 1) PLACE A CONTROL JOINT IN ALL UNBRACED WALLS OVER 30' IN LENGTH. (NOTE: "I" WALLS AND CORNERS COUNT AS A BRACE).
 - 2) WINDOWS THAT ARE LARGER THAN THE STANDARD BASEMENT WINDOW REQUIRE A CONTROL JOINT.
 - 3) CONTROL JOINTS ARE NOT REQUIRED AT EVERY WINDOW THAT IS STANDARD SIZE.
 - 4) IF THERE IS A STANDARD WINDOW LOCATED IN A WALL SEGMENT THAT REQUIRES A CONTROL JOINT, THEN THE CONTROL JOINT SHOULD BE PLACED ON THE SIDE OF THE WINDOW THAT IS ADJACENT TO THE LONG SIDE OF THE WALL. IF THERE IS MORE THAN ONE WINDOW IN A WALL THEN ONLY ONE WINDOW SHOULD HAVE A CONTROL JOINT.
 - 5) DOORS DO NOT GET CONTROL JOINTS.
 - 6) CONTROL JOINTS SHOULD NOT BE LOCATED WITHIN 3' OF A BEAM POCKET.
 - 7) CONTROL JOINTS ARE REQUIRED AT THE FIRST AND LAST STEP DOWN AT STEPPED BASEMENT FOUNDATION WALLS.
- OVERALL FOUNDATION WALL HEIGHT MAY VARY BY UP TO 1".
- GARAGE AND BASEMENT SLABS TO HAVE A MINIMUM 6 MIL. VAPOR BARRIER BETWEEN GRAVEL AND SLAB.
- INTERIOR FLATWORK SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 3,000 PSI.
- PLACE GARAGE SLAB CONTROL JOINTS PERPENDICULAR TO ONE ANOTHER, EACH STARTING FROM THE CENTERLINE OF GARAGE WALL. WHEN OVERDIG EXCEEDS 2'-0", SLAB CONTROL JOINTS SHOULD BE OFFSET FROM PILASTER 2'-0" WITH ANOTHER JOINT RUNNING PERPENDICULAR.
- ALL VERTICAL STEEL AND ALL STEEL IN STRUCTURAL SLABS TO BE GRADE 60. ALL HORIZONTAL STEEL IN FOUNDATION WALLS AND FOOTERS TO BE GRADE 40 STEEL.

FRAMING NOTES

DESIGN LOADS:

FLOORS:	40 psf LIVE LOAD + 10 psf DEAD LOAD = 50 psf	GARAGE FLOOR: 50 psf LIVE LOAD	SEISMIC: "A" & "B"
ROOF:	25 psf LIVE LOAD + 20 psf DEAD LOAD = 45 psf	WIND SPEED: 115 MPH	

DESIGN DEFLECTION LIMITS (BASED ON LIVE LOAD, EXCEPT MASONRY):

RAFTERS GREATER THAN 3:12	L/180	CEILINGS	L/240
MASONRY VENEER	L/600		

NOMINAL LUMBER FLOORS: L/360
 MANUFACTURED WOOD FLOORS: DESIGNED TO MINIMUM PRO RATING OF 38 (OR EQUIVALENT)*
 NO MORE THAN 8 POINT DIFFERENCE BETWEEN ADJACENT SPANS.
 * IF PRO-RATING EQUIVALENCY CANNOT BE EVALUATED, ADHERE TO THE FOLLOWING MINIMUMS:
 - L/480 [LIVE LOAD] FOR SPANS UP TO 16'-0" AND NO GREATER THAN 1/2" DEFLECTION
 - L/600 [LIVE LOAD] FOR SPANS OVER 16'-0" IF SIMPLE SPAN; L/840 FOR SPANS OVER 16'-0" IF CONTINUOUS SPAN. NO GREATER THAN 1/2" DEFLECTION

-JOIST SPACING: 19.2" o.c. MAXIMUM SPACING
 DOUBLE EVERY OTHER FLOOR JOIST UNDER KITCHEN ISLANDS
 INSTALL UNCOUPLING MEMBRANE IN TILE FLOOR AREAS IF 19.2" o.c. FLOOR JOIST SPACING
 GLUE AND MECHANICALLY FASTEN (SCREWS) WOOD FLOOR IF 19.2" o.c. FLOOR JOIST SPACING
 - MANUFACTURED WOOD PRODUCTS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL WOOD BEAMS AND I-JOISTS) SHALL BE FABRICATED, HANDLED, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. PROVIDE I-JOIST PROTECTION AS REQUIRED BY 2019 RCO SECTION 302.13.
 -JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
 - ALL WOOD BEAMS/HEADERS: 2x6 TO BE SPF STUD GRADE OR BETTER
 2x8 OR LARGER TO BE NORTHERN HEM FIR #2 KD WITH E-1,400,000 p.s.i.

- ALL WOOD JOISTS TO BE S. PINE #2 KD WITH E-1,700,000 p.s.i., SPAN MUST BE LESS THAN 20'. USE HEM FIR IF SPAN IS 20' OR MORE.
 - ALL LVL'S TO BE TJM MICRROLLAM WITH Fb=2600, Fv=285, MOE=1.9, Fc=750.
 - EXTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 16" o.c. UNLESS OTHERWISE NOTED (10'4-1/2" MAXIMUM WALL HEIGHT)
 - ALL INTERIOR BEARING WALLS AND WALLS AT BASEMENT & FIRST FLOOR STAIRWELLS, KITCHEN, AND GARAGE TO BE 2x4 SPF STUD GRADE AT 16" O.C.; ALL OTHER NON-BEARING INTERIOR WALLS TO BE 2x4 SPF STUD GRADE AT 24" O.C. UNLESS OTHERWISE NOTED.
 - ALL WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED.
 - PROVIDE 4-1/2" SOLID BEARING TO FOUNDATION OR BEAM BELOW FOR ALL BEAMS, HEADERS, AND GIRDER TRUSSES. PROVIDE BLOCKING BETWEEN JOISTS AS REQUIRED.
 - CHECK SELECTIONS FOR FLOOR COVERINGS AT TOP AND BOTTOM OF STAIR RISERS AND ADJUST RISER HEIGHT AS NEEDED.
 - SEE FIREPLACE ELEVATION DETAIL FOR ADDITIONAL FRAMING REQUIREMENTS, IF ANY, AND SEE SELECTION SHEET FOR SIZE AND STYLE OF FIREPLACE.
 - PROVIDE BLOCKING AT ALL HANDRAIL BRACKETS, TOWEL BARS AND TOILET PAPER HOLDER LOCATIONS.
 - PROVIDE 20 MIN. FIRE-RATED DOOR AT GARAGE/HOUSE ENTRY.
 - PAD OUT GARAGE WALL CAVITIES/ FLOOR JOIST CAVITIES 3-1/2" TO RECEIVE FULL BATT INSULATION IF HEATING/ PLUMBING ARE PRESENT. FRAMING FOR HVAC CHASE TO EXTEND DOWN TO GARAGE SLAB.
 - ALL BEARING WALLS TO HAVE DOUBLE TOP PLATE.
 - A PARTIALLY EXPOSED EXTERIOR WALL, WALL SHEATHING SHOULD CONTINUOUSLY RUN TO BOTTOM OF SUB FLOOR.
 - ALL LUMBER CONTACTING CONCRETE TO BE PRESSURE TREATED.
 - ALL FASTENERS, HANGERS, AND OTHER CONNECTORS TO BE USED WITH PRESSURE TREATED WOOD ARE TO HAVE ZMAX COATING (OR EQUIVALENT) HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
 - STAIR NOSING SHOULD BE 3/4" TO 1-1/4" MAX. STAIR TREADS ARE DIMENSIONED FROM NOSING TO NOSING, WITH A 9" MIN. TREAD.
 - ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS, FRAMED HIGHER THAN THE STD PLATE HEIGHT, SHALL BE FRAMED WITH CONTINUOUS FULL HEIGHT STUDS TO THE HIGHEST CEILING (I.E. NO INTERMEDIATE BREAKS) TO PREVENT LATERAL HINGE CONDITIONS.
 - GUARDRAIL DESIGN LOAD TO RESIST A MINIMUM OF 200 LBS LATERAL FORCE.
 - ALL GLASS IN INTERIOR AND EXTERIOR DOORS TO BE TEMPERED (INCLUDING SIDELITES AND TRANSOMS).
 - IN THE GARAGE, PROVIDE 1/2" GYP. BOARD AT ALL WALLS COMMON TO LIVING SPACE AND ALL STRUCTURAL MEMBERS SUPPORTING FLOOR/CEILING ASSEMBLY. GARAGE CEILING TO BE 1/2" SAG RESISTANT GYP. BOARD WHEN THERE ARE NO HABITABLE SPACES ABOVE, OR 5/8" TYPE X GYP. BOARD WHEN HABITABLE SPACES ARE ABOVE.
 - STAIRS IN LOWER LEVEL: IF THERE IS A DOOR INTO SPACE UNDER STAIR, THEN 1/2" GYP. BOARD REQ'D ON INSIDE OF STORAGE SPACE & UNDERSIDE OF STAIR IF THERE IS NO DOOR INTO SPACE
 - UNDER STAIR, IT IS CONSIDERED OPEN AND NO GYP. BOARD IS REQ'D.
 - 5/8" (MIN.) OSB TO BE INSTALLED ON PORCH CEILINGS WHEN LIVING SPACE IS ABOVE.

MECHANICAL NOTES

- SMOKE DETECTORS TO BE 110V AND HARD WIRED. PROVIDE BATTERY BACK-UP AND INTERCONNECT (WHEN ONE SOUNDS, ALL SOUND).
- ALL GAS APPLIANCES MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- A STAIR HANDRAIL, ON ONE SIDE ONLY, SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE STAIRWAY, AND ENDS SHALL BE RETURNED TO A WALL OR POST. THE HANDRAIL MAY BE INTERRUPTED AT A NEWEL POST AT A TURN.
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS WITH 3 OR MORE RISERS. HANDRAIL HEIGHT SHALL BE 34" MIN. / 38" MAX.
- ALL HANDRAIL GRIP PORTIONS SHALL NOT EXCEED 2 5/8" IN CROSS-SECTIONAL DIMENSION.
- KITCHEN BACKSPLASH OUTLETS TO BE LAID FLAT, 37-1/4" FROM TOP OF SUBFLOOR TO BOTTOM OF BOX.
- GUARDRAILS TO BE 36" (MIN.) HIGH. GUARDRAILS AT THE OPEN SIDES OF STAIRS TO BE 36" (MIN.) HIGH, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. THE HORIZONTAL SPACING OF THE VERTICAL BALUSTERS SHALL BE 4" O.C.
- GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.8; ADD TEMPER RESISTANT AND GFCL
- ARC FAULT CIRCUIT OUTLETS TO BE INSTALLED PER NEC 2017, SECT. 210.12
- PROVIDE HOSE BIBS PER DIVISION SPEC. SHEET. EXACT LOCATION TO BE FIELD DETERMINED, UNLESS OTHERWISE NOTED ON THE PLANS.
- MIN. 50 C.F.M. FOR ALL EXHAUST FANS IN BATHROOMS
- ALL HOUSES TO HAVE A PROGRAMMABLE THERMOSTAT.
- TO COMPLY WITH SECTION 405 OF THE 2018 IECC (PERFORMANCE PATH).

SECTION, DETAILS & ROOF PLAN NOTES

- PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. UNLESS NOTED OTHERWISE.
- SEE TRUSS MANUFACTURER'S SHOP DRAWINGS FOR TRUSS LAYOUT AND DESIGN INCLUDING GIRDER TRUSSES AND BEAM LOCATIONS.
- ALL GIRDER TRUSSES TO BE BOLTED TOGETHER ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- TRUSSES TO BE BRACED AND INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS.
- TRUSS MANUFACTURER'S DIMENSIONS ARE TO OUTSIDE OF SHEATHING.
- ROOF TRUSS MANUFACTURER TO SPECIFY ALL CONNECTIONS AND HANGERS ON SHOP DRAWINGS.
- REFER TO HIB-91 OF TPI (TRUSS PLATE INSTITUTE) FOR SPECIFIC BRACING RECOMMENDATIONS AND REQUIREMENTS.
- TRUSS MANUFACTURER TO PROVIDE ENGINEERED TRUSS DRAWINGS TO THE FIELD ALONG W/ HIB-91 PRIOR TO ERECTION OF TRUSSES.
- PROVIDE A 2x4 LEDGER TO ACCEPT ROOF SHEATHING WHERE A FIRST FLOOR ROOF MEETS THE SIDE OF A SECOND FLOOR.
- PROVIDE 15# FELT PAPER UNDER SHINGLES
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SHORING AND BRACING DURING CONSTRUCTION FOR ALL ELEMENTS INCLUDING WALLS, JOISTS, TRUSSES COLUMNS, MASONRY AND OTHERS AS REQUIRED.
- PROVIDE ICE AND WATER GUARD AT ALL EAVES AND VALLEYS.
- ROOF TRUSSES WILL BE FASTENED BY CONNECTORS THAT WILL RESIST A MINIMUM OF 175 LBS OF UPLIFT
- PROVIDE 7/16" ROOF SHEATHING.
- INSTALLATION OF AN ICE BARRIER IS REQUIRED. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. THE 24 INCH MEASUREMENT SHALL BE ALONG THE SLOPE OF THE ROOF FROM THE POINT WHERE THE PROJECTED OUTSIDE FACE OF THE WALL INTERSECTS THE ROOF DECK. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN EIGHT UNITS VERTICAL IN 12 UNITS HORIZONTAL (67-PERCENT SLOPE), THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (914 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

ELEVATION NOTES

- WINDOW STYLE AND MULLIONS MAY VARY FROM ELEVATION DEPENDING UPON MANUFACTURER, STYLE, PATTERN, TYPE, ETC.
- FRONT DOOR COACH LIGHTS (IF ANY) TO BE SET AT 5'-8" ABOVE FINISHED SURFACE.
- GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.
- PROVIDE BRICK WEEP HOLES WITH WEEP CARDS AT 24" o.c. WITH BRICK VENEER.
- PROVIDE FLASHING AND WEEP HOLES AT 32" O.C. ABOVE BRICK ANGLE IRONS.
- PROVIDE BRICK WALL TIES AT 16" o.c. HORIZONTALLY AND VERTICALLY. PROVIDE BRICK WALL TIES WITHIN 12" OF ANY BRICK OPENINGS AT A MAXIMUM OF 36" o.c. AROUND OPENING.
- WRAP ALL FRIEZE AND FASCIA TRIM BOARDS IN ALUMINUM.
- REFER TO DETAIL ON SHEET IN THE BUILDER BOOK FOR STONE INSTALLATION DETAILS.
- PAD OUT ALL GABLE ENDS (WITHOUT GABLE EXTENSIONS) W/ (2) 1x3s PLACED SIDE BY SIDE WITH THE 1x8 OVER THE TOP TO COVER THE ENDS OF THE SIDING.
- USE EXTERIOR PROTECTIVE COVERINGS ON ALL DIRECT VENT FIREPLACES (IF ANY).
- EXTERIOR STEPS TO HAVE A MAXIMUM 8" RISER. WHEN VERTICAL RISE EXCEEDS 30" OR FOUR OR MORE CONTINUOUS RISERS, A HANDRAIL IS REQUIRED.

2019 RESIDENTIAL CODE OF OHIO METHOD USED FOR CHAPTER 11 ENERGY EFFICIENCY OHBA PATH #2 (SECTION 1112)

WALLS R VALUE R13

CEILINGS R VALUE R49

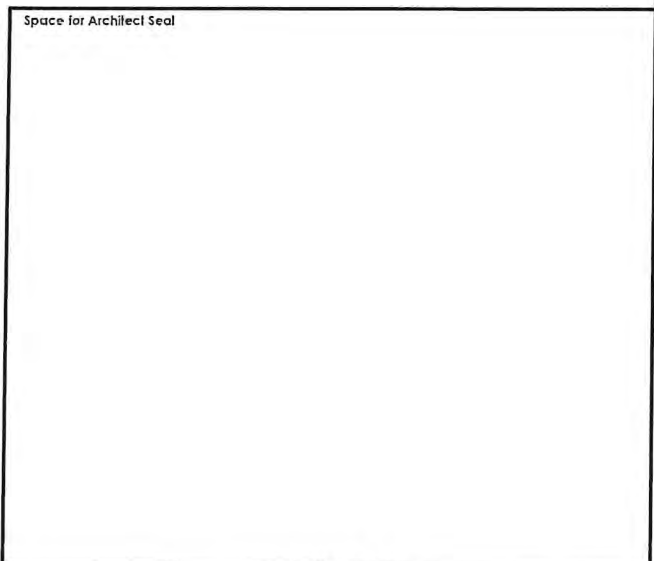
WINDOWS U VALUE 32U

BASEMENT FOUNDTION WALLS R11 4 FT DOWN ALL WALLS

FLOOR OVER UNCONDITIONED SPACE R30

RIM JOIST R13

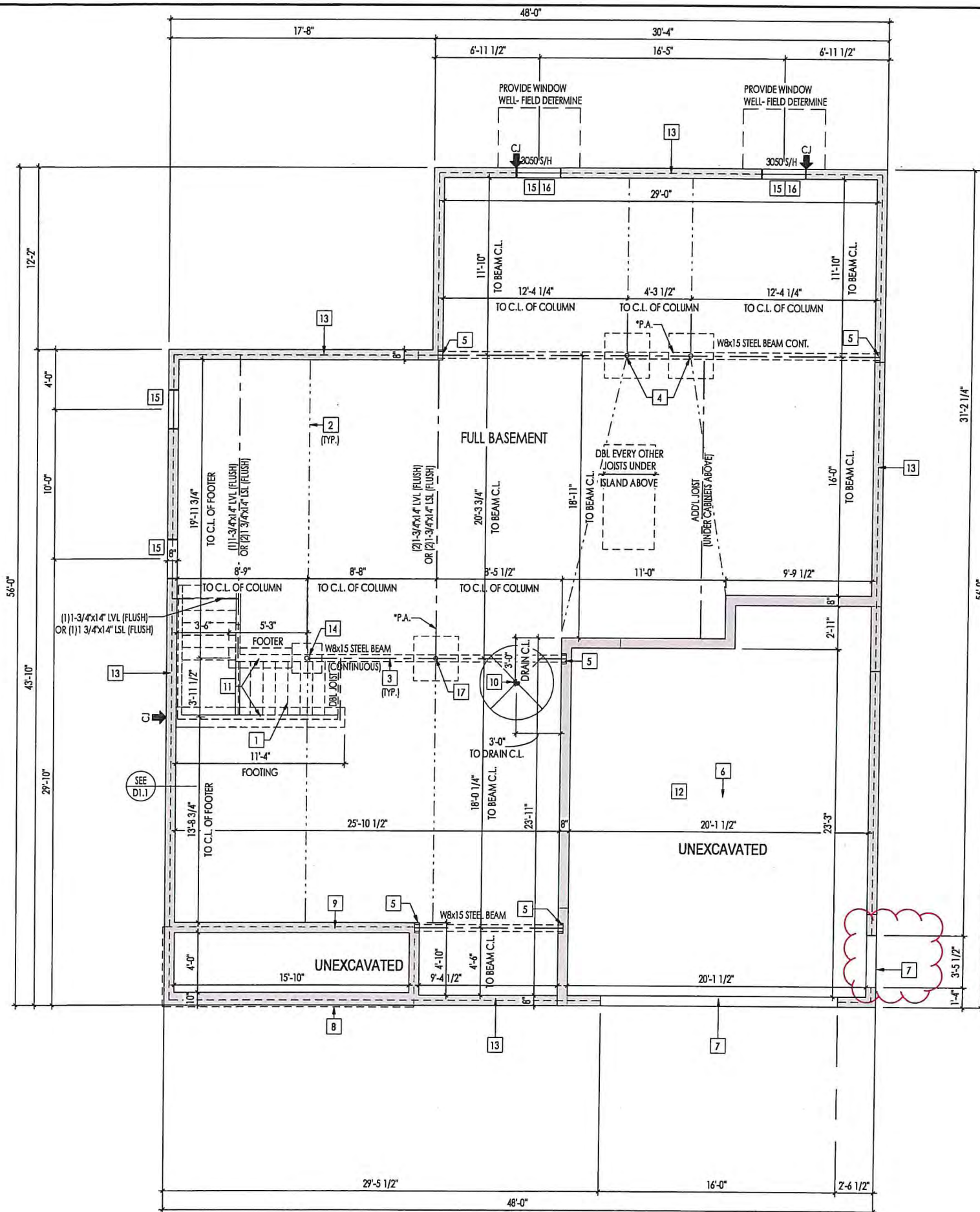
INCLUDES ALL DESIGNATED MANDATORY CODE SECTIONS CHAPTER 11



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Born on Date: 09/27/2010			CDs Drawn By: SSP
Drees HOMES <small>Copyright © 2010 2019 The Drees Company. All Rights Reserved. 6860 West Snowville Road, Suite 105, Becksville, OH 44141-3242 Phone: (440) 717-9670</small>			0N.1 General Notes Elevation "N"

0N.1
 General Notes
 Elevation "N"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ALL FOUNDATION WALLS TO BE 9'-0" TALL AND 8" THICK UNLESS OTHERWISE NOTED.
3. OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
4. SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.

Key Notes:

- 1 OUTLINE OF BASEMENT STAIRS
- 2 SLAB CONTROL JOINT
- 3 SLAB CONTROL JOINT LOCATED DIRECTLY UNDER STEEL BEAM
- 4 STEEL COLUMN PER MANUFACTURER (18K MAX) ON 36"x36"x12" CONCRETE PAD
- 5 8"W. x 8"H. x 4"D. BEAM POCKET
- 6 GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 1/4" PER FOOT TOWARDS GARAGE DOOR
- 7 CONTINUOUS FOOTING AND FOUNDATION; DROP TO BE FIELD DETERMINED
- 8 1-1/2" TYP. OVERHANG AT CONCRETE PORCH SLAB ABOVE
- 9 LINE OF STUD WALL/PORCH SLAB ABOVE - SEE DETAIL D/7.01 FOR MORE INFORMATION
- 10 50" DIA. AREA SLOPED TO DRAIN; 2" LOWER THAN TOP OF SLAB
- 11 8" DEEP x 16" WIDE FOOTING AT BEARING WALL
- 12 REFER TO SHEET S-1A, S-1B, S-1C, S-1D - AS NEEDED FOR GARAGE PILASTER DETAIL
- 13 BRICK LEDGE - FIELD VERIFY DROPPED BRICK LOCATIONS
- 14 STEEL COLUMN PER MANUFACTURER (16.4K MAX) ON 24"x24"x12" PLAIN CONCRETE PAD
- 15 BSMT WINDOW: HEADER TO BE HELD FLUSH IN SUBFLOOR CONT. END JOIST. OR (1) 1-3/4"x14" LSL
- 16 BOTTOM OF WINDOW SILL TO BE A MAX. 4" A.F.F.
- 17 ADJ. PIPE COLUMN (19K CAPACITY) ON 42"x42"x12" PLAIN CONC. FOOTING

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: **DOYL-0109-00** Drawing Date: **7/21/22** Coord Name: **M. HYATT** Coord Phone: **859.578.4290**

House Name: _____ Drawing Scale: 1/8" = 1'0" Contract Drawn By: **LJR**

the BUCHANAN Series: **SERIES_NM**

Born on Date: **08/27/2010** CDs Drawn By: **SSP** Plan No.: **PLAN_NM**

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Sheet Information
1.01
 Foundation Plan
 Elevation "N"

REISSUED: 08/05/2022

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

Key Notes:

- 1 STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN
- 2 2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" INSULATION. SEE DETAIL D/7.04
- 3 RE: DETAIL B/7.01 FOR BASEMENT STAIR FRAMING DETAILS
- 4 1x, RIPPED FOR WOOD SILL
- 5 SLOPE TOP OF WALL ALIGNED WITH STAIR STRINGER - RAILING ABOVE
- 6 TOP OF OPENING DROPPED 1" BELOW CEILING
- 7 HALF WALL UNDER STAIRS (FIELD DETERMINED), SLOPED CLG UNDER STAIRS
- 8 80 SQFT MAX. AREA OF CEILING, COMPLYING W/ RCO 302.13 EXCEPTION 3.1 & EXCEPTION 3.2, NOT REQUIRED DRYWALL PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY
- 9 UNFINISHED BASEMENT CEILING TO BE COVERED IN 1/2" GYPSUM BOARD (WITH THE EXCEPTION OF THE AREA OF KEYNOTE B) JOINTS DO NOT NEED TO BE TAPPED OR MUDDED.
- 10 -

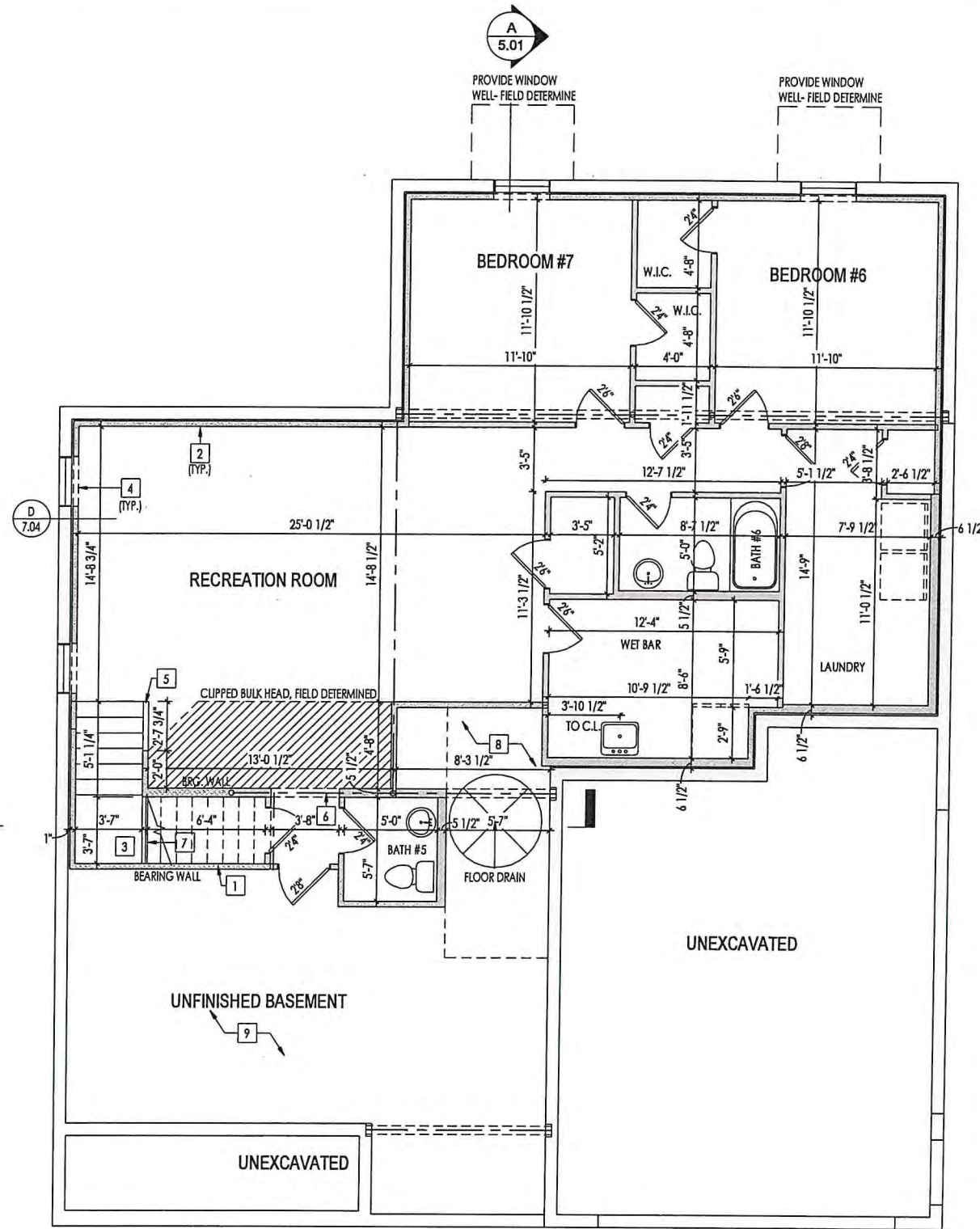
Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

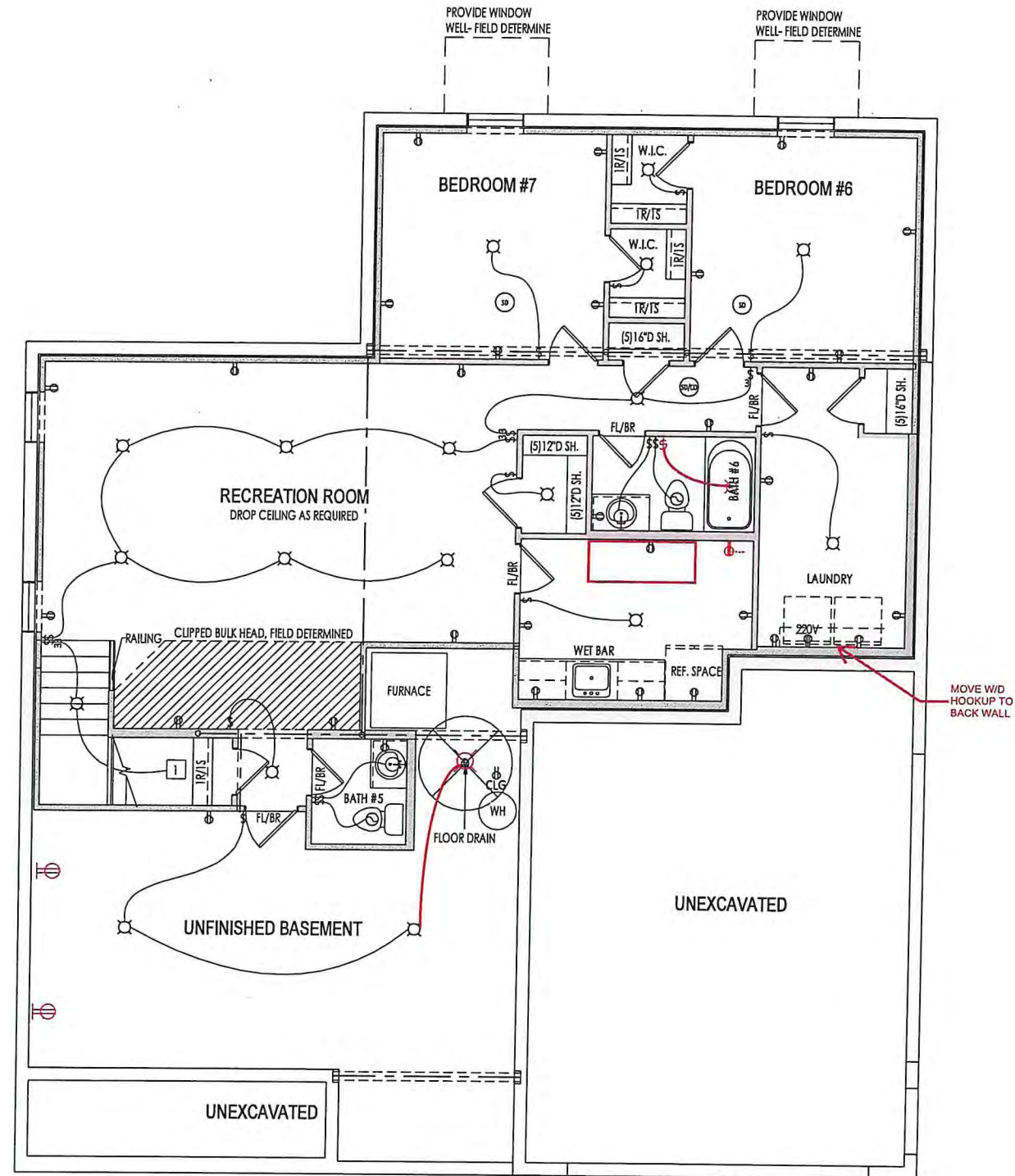
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:	Drawing Scale: 1/8" = 10"	Contract Drawn By: LJR	
the BUCHANAN		Series: SERIES_NM	Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP		

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1.02
 Lower Level Framing Plan
 Elevation "N"



REISSUED: 08/15/2022



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- 1 TO SWITCH ABOVE
- 2
- 3
- 4
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

MECHANICAL LEGEND

◀ PHONE JACK	○ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊕ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊕ WEATHERPROOF OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊕ 220 VOLT OUTLET	⊕ DOUBLE SPOTLIGHT FIXT.	⊕ GAS HOOK UP
⊕ GROUND FAULT OUTLET	⊕ DIRECTIONAL CAN LIGHT	⊕ FLOOR DRAIN
⊕ FLOOR OUTLET	⊕ PIN LIGHT	⊕ SMOKE DETECTOR
⊕ CABLE TELEVISION JACK	⊕ WALL SCONCE @ 5'-6" A.F.F.	⊕ CO DETECTOR
⊕ SINGLE POLE SWITCH	⊕ FLUORESCENT LIGHT	⊕ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊕ 3-WAY SWITCH	⊕ UNDER CABINET LIGHTING	⊕ EXHAUST FAN AND LIGHT COMBINATION
⊕ 4-WAY SWITCH	⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊕ CLG. MID. EXHAUST FAN

Space for Architect Seal

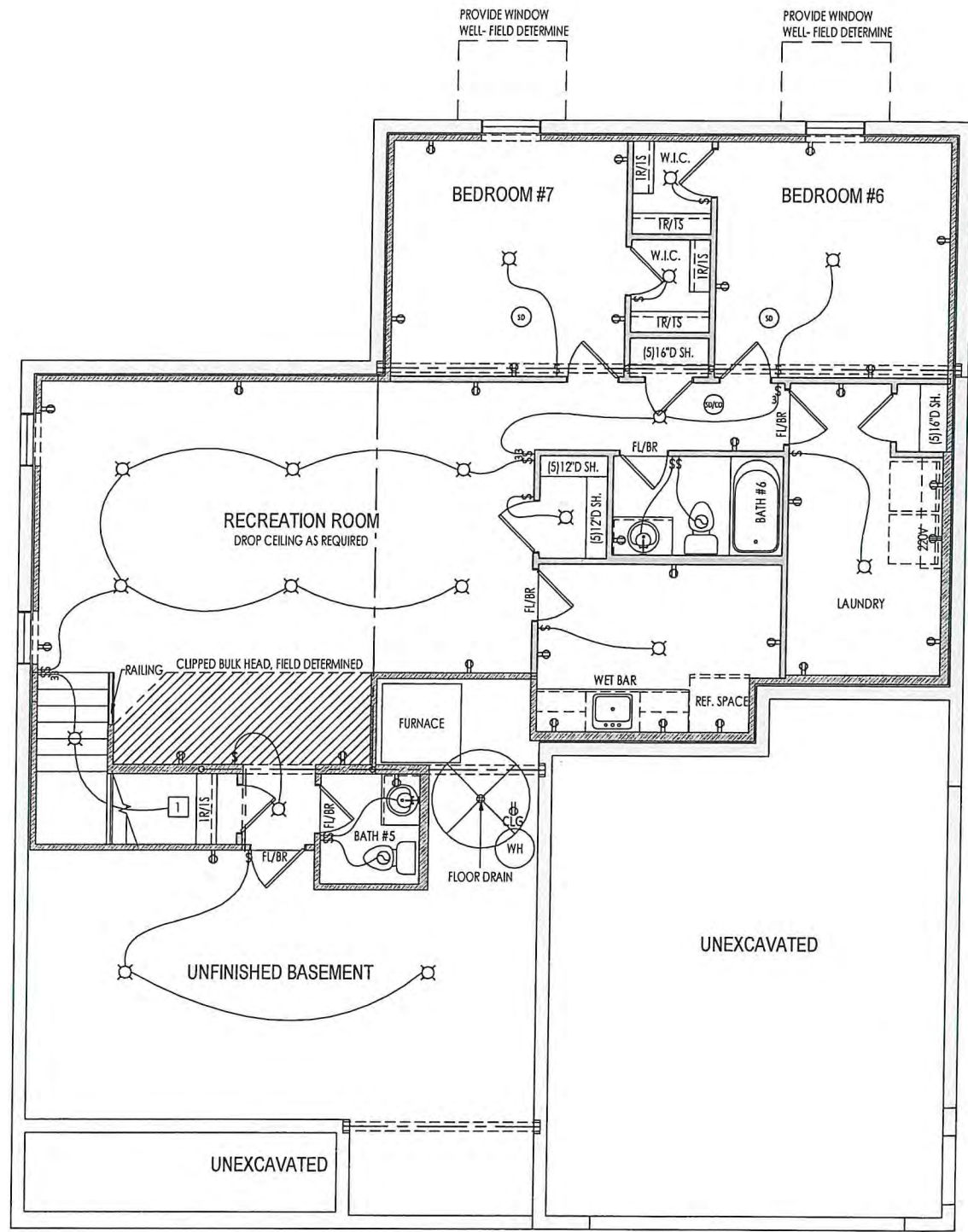
RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
Born on Date: 08/27/2010		CDs Drawn By: SSP	Series: SERIES_NM
			Plan No.: PLAN_NM

REISSUED: 08/15/2022

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Sheet Information
1.03
 Lower Level Mechanical Plan
 Elevation "N"



General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.

Key Notes:

- 1 TO SWITCH ABOVE
- 2
- 3
- 4
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

MECHANICAL LEGEND

◀ PHONE JACK	⊙ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊙ WALL OUTLET	⊙ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊙ WEATHERPROOF OUTLET	⊙ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊙ 220 VOLT OUTLET	⊙ DOUBLE SPOTLIGHT FIXT.	⊙ GAS HOOK UP
⊙ GROUND FAULT OUTLET	⊙ DIRECTIONAL CAN LIGHT	⊙ FLOOR DRAIN
⊙ FLOOR OUTLET	⊙ PIN LIGHT	⊙ SMOKE DETECTOR
⊙ CABLE TELEVISION JACK	⊙ WALL SCONCE @ 5'-6" A.F.F.	⊙ CO DETECTOR
⊙ SINGLE POLE SWITCH	⊙ FLUORESCENT LIGHT	⊙ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊙ 3-WAY SWITCH	⊙ UNDER CABINET LIGHTING	⊙ EXHAUST FAN AND LIGHT COMBINATION
⊙ 4-WAY SWITCH	⊙ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊙ CLG. MTD. EXHAUST FAN

Space for Architect Seal

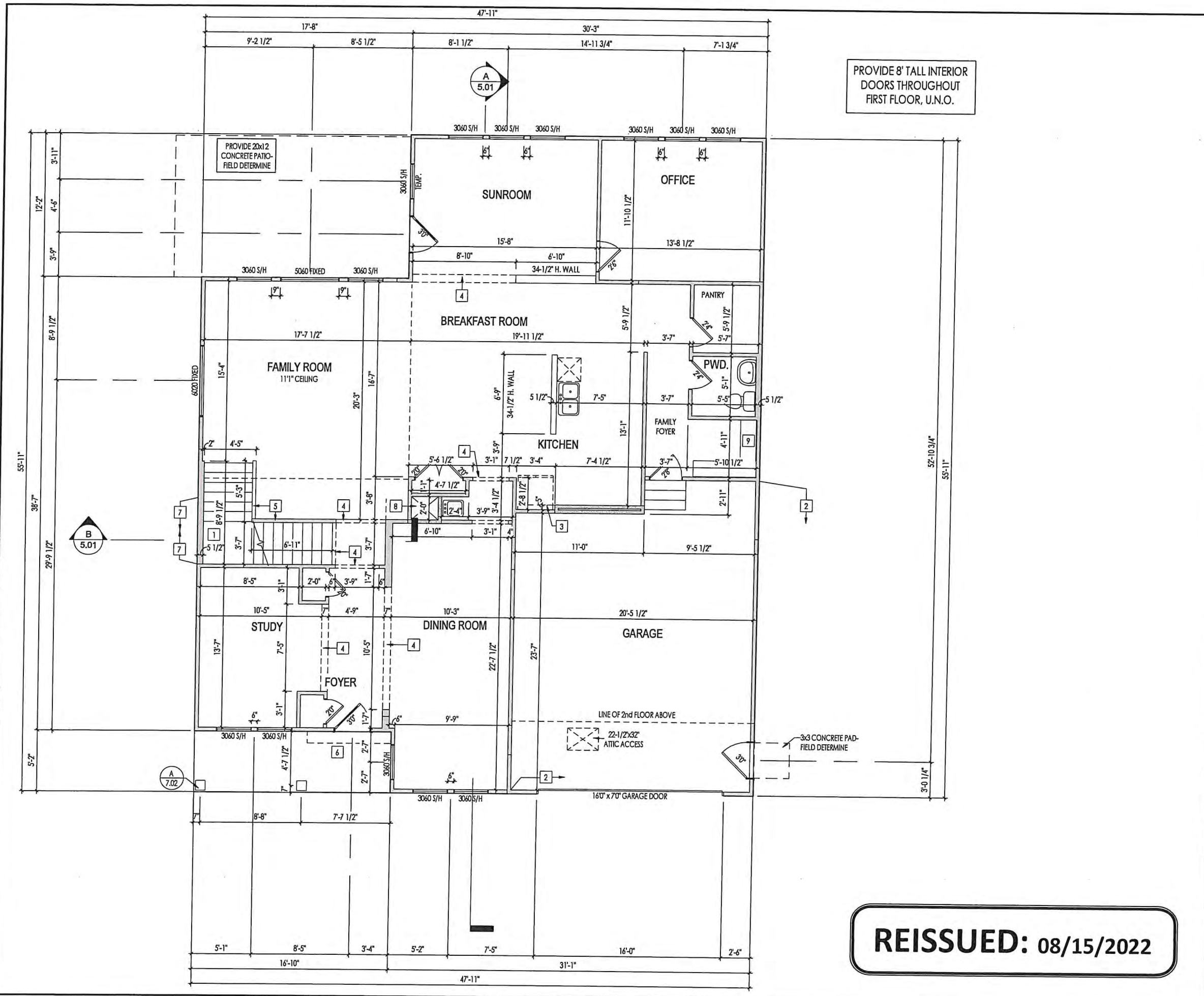
RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DRES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN			Contract Drawn By: LJR
Born on Date: 08/27/2010			CDs Drawn By: SSP
Series: SERIES_NM			Plan No.: PLAN_NM

REISSUED: 08/15/2022

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Sheet Information
1.03
 Lower Level Mechanical Plan
 Elevation "N"



PROVIDE 8' TALL INTERIOR DOORS THROUGHOUT FIRST FLOOR, U.N.O.

- General Notes:**
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
 2. ALL FIRST FLOOR CEILINGS TO BE 10'-1\"/>

- Key Notes:**
- 1 RE-DETAIL B/7.01 FOR STAIR FRAMING DETAILS
 - 2 FRAME GARAGE WALLS AT 11'-5 1/4\"/>

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

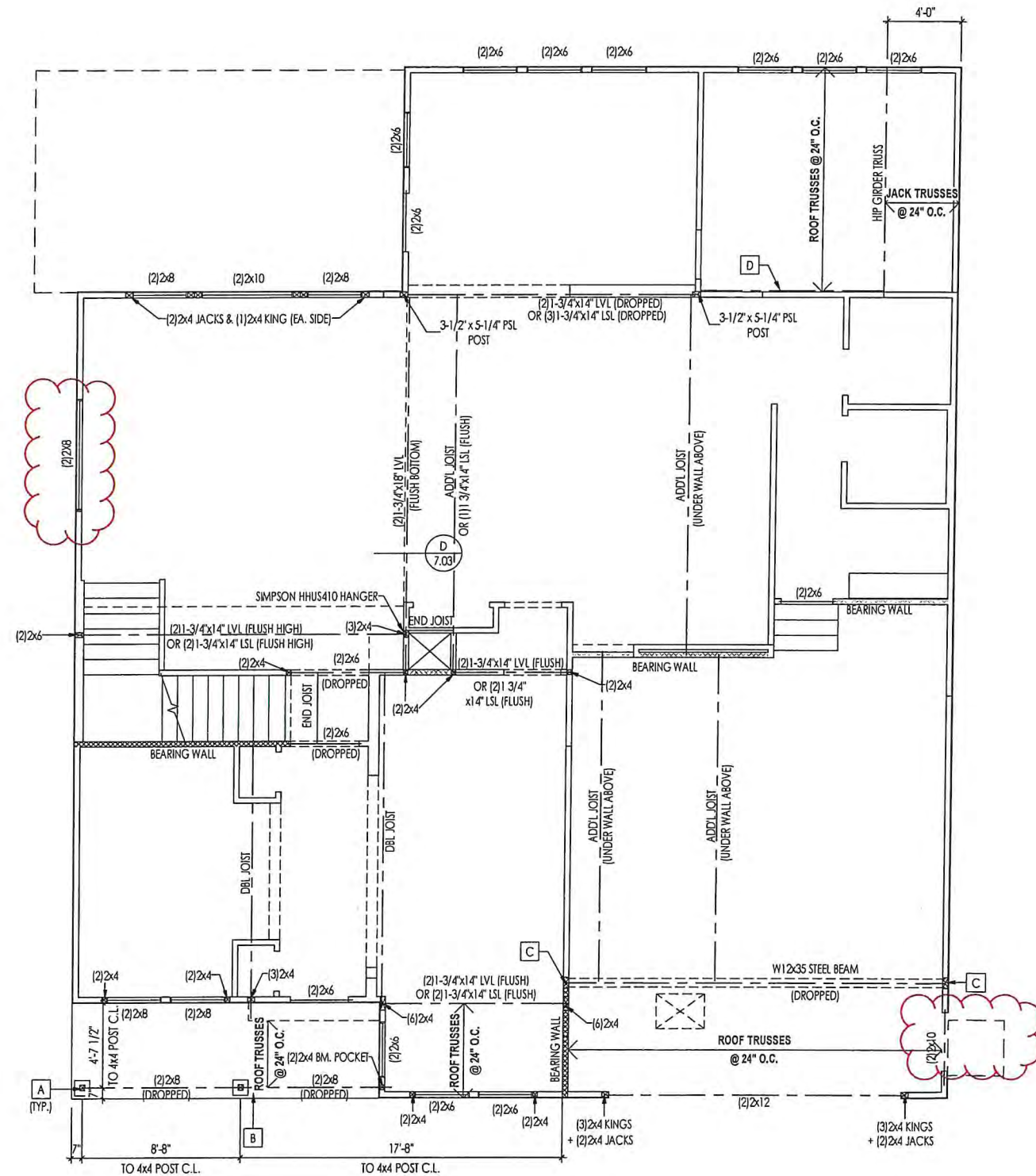
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN	Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: LJR	Series: SERIES_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP	Plan No.: PLAN_NM	

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Sheet Information

2.01F
 First Floor Framing Plan
 Elevation "N"



THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
115 MPH WIND IN 2019 RCO MAP
 (115 MPH WIND SPEED IN ASCE 7 WIND MAP)
 EXP. B & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2017 OBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2019 RCO. ACCORDINGLY, THIS MODEL AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF SECTION R602.10 WITHIN THE 2019 RCO.

EXTERIOR WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2-3/8"x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1-3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x 0.113 NAILS @ 3" O.C. AND 12" IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING.
 ► INDICATES HOLDDOWN

General Notes:

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- A 4x4 P.T. POST W/ SIMPSON BCS2-2/4 CAP AND CBSQ44-SDS2 BASE
- B TOP OF BEAM AT 10" ABOVE FIRST FLOOR SUBFLOOR
- C 3-1/2" x 7" PSL POST
- D (2)2x8 LEDGER FASTENED TO FRAMING W/ (4)0.131"x 3-1/2" NAILS @ 16" O.C.
- E -

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architectural Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

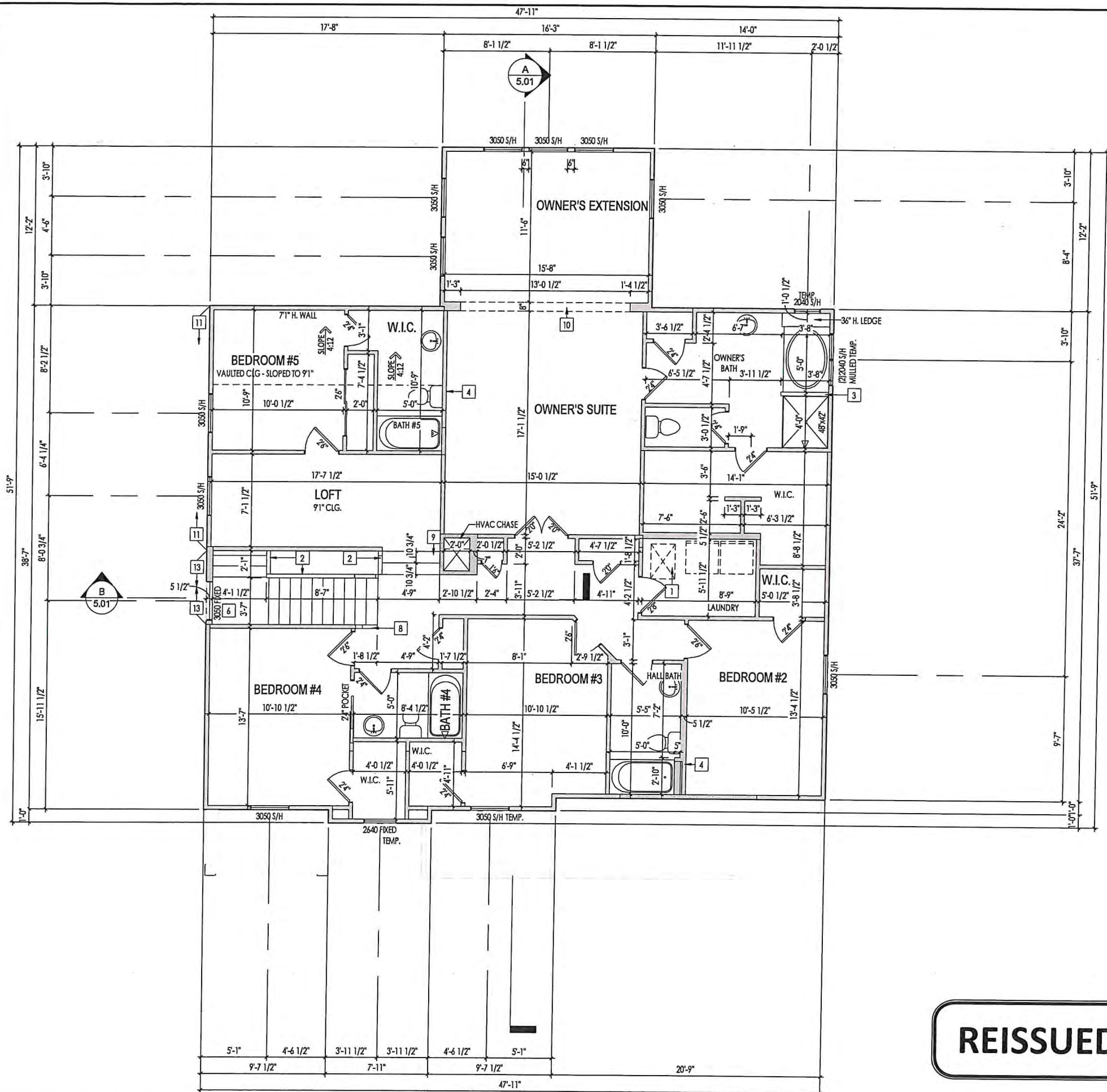
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR	
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010			CDs Drawn By: SSP
PLAN_NO.			PLAN_NM

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Sheet Information

2.01S
 First Floor Structural Plan
 Elevation "N"

REISSUED: 08/15/2022



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ALL SECOND FLOOR CEILINGS TO BE 8'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED
3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
6. REFER TO SHEET 2.02S FOR STRUCTURAL INFORMATION.

- Key Notes:**
- 1 22-1/2" x 32" ATTIC ACCESS
 - 2 RAIL, HOLD TOP OF WALL EVEN WITH STAIR STRINGER
 - 3 36" HIGH WALL
 - 4 DO NOT LOCATE TRUSS ABOVE PLUMBING WALL
 - 5
 - 6 TOP OF WINDOW @ 30-1/4" BELOW TOP PLATE
 - 7
 - 8 42" HIGH WALL
 - 9 (2) RISERS @ 6" HIGH
 - 10
 - 11 BALLOON FRAME WALL TO UNDERSIDE OF TRUSS W/ 2x4's @ 12" O.C.
 - 12
 - 13 BALLOON FRAME WALL W/ 2x6's @ 12" O.C.
 - 14
 - 15
 - 16

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

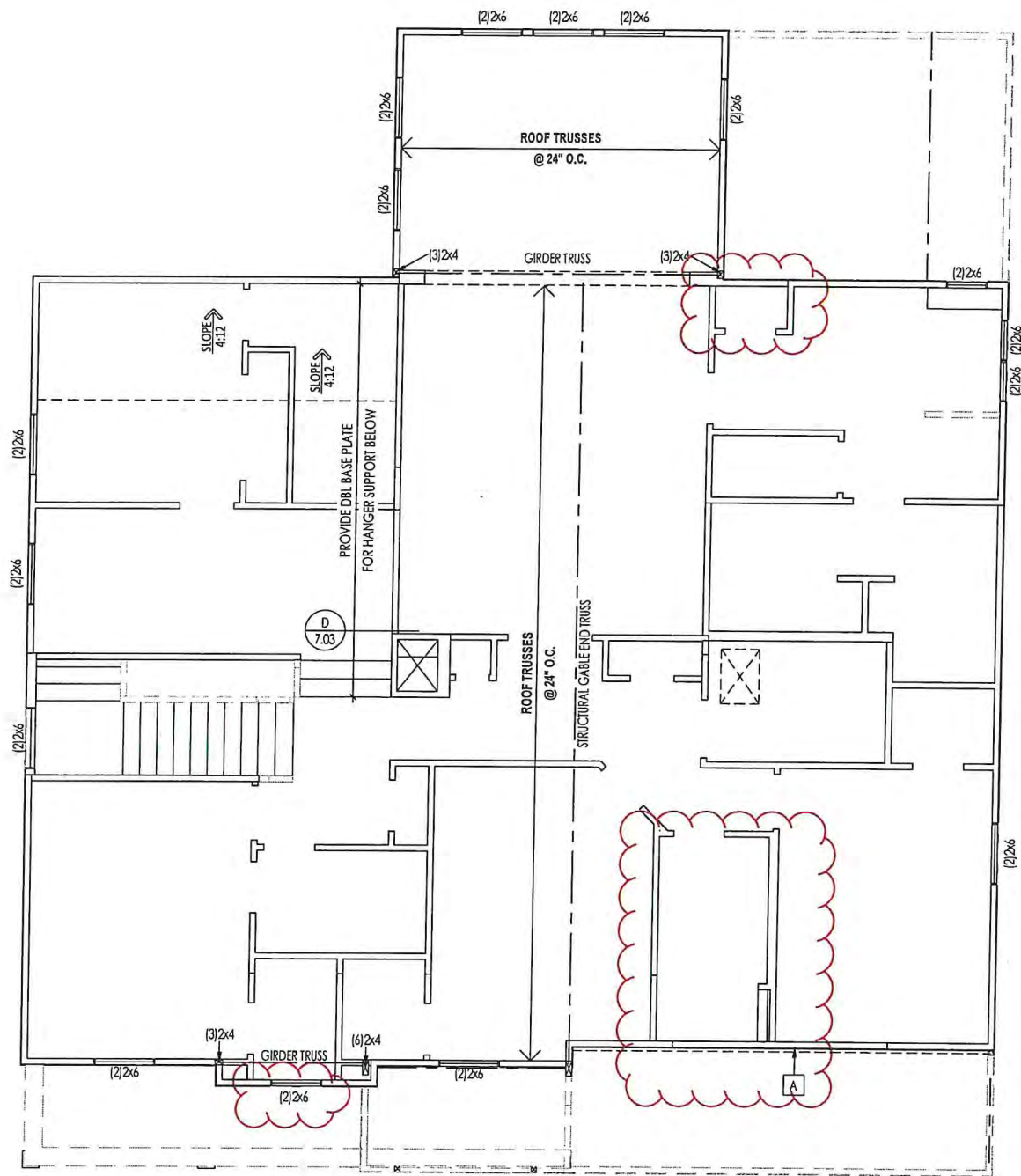
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:	Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: LJR	
Series: SERIES_NM		Plan No.: PLAN_NM	
Born on Date: 08/27/2010	CDs Drawn By: SSP		

the BUCHANAN

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2.02F
 Second Floor Framing Plan
 Elevation "N"

REISSUED: 08/15/2022



THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
115 MPH WIND IN 2019 RCO MAP
 (115 MPH WIND SPEED IN ASCE 7 WIND MAP)
 EXP. B & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2017 OBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2019 RCO. ACCORDINGLY, THIS MODEL AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF SECTION R602.10 WITHIN THE 2019 RCO.

EXTERIOR WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD; FASTEN SHEATHING w/ 2-3/8" x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1-3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8" x 0.113 NAILS @ 3" O.C. AND 12" IN THE PANEL FIELD. **NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.**
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

1. SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING, IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
2. DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
3. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
4. **PRE-MANUFACTURED PANELIZED WALLS:** FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING.
- ▶ INDICATES HOLDDOWN

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- [A] EXTEND EXT. WALL SHTG. DOWN TO BOTTOM PLATE
- [B] -
- [C] -
- [D] -
- [E] -

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

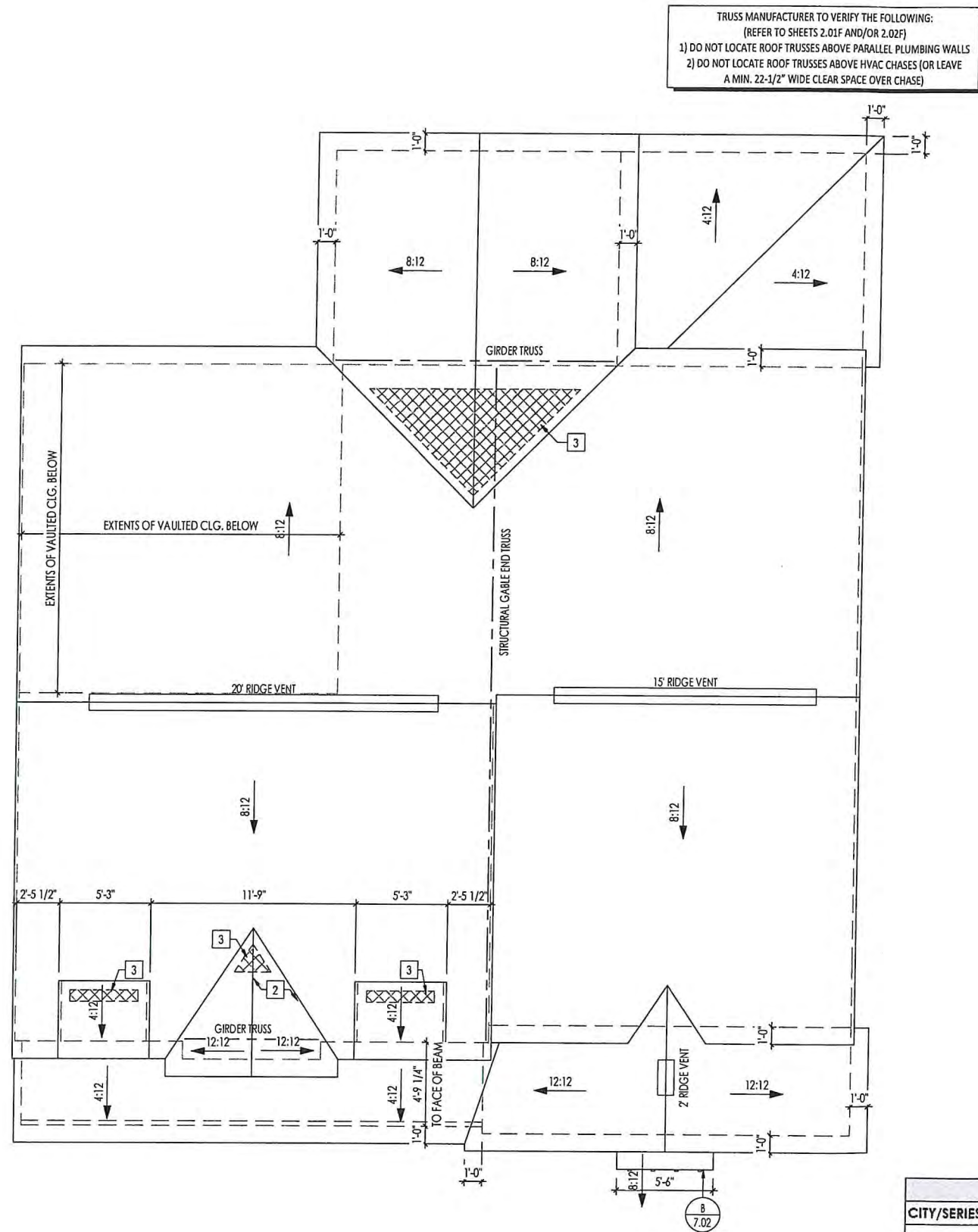
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR	Series: SERIES_NM
Born on Date: 06/27/2010	CDs Drawn By: SSP	Plan No.: PLAN_NM	

the BUCHANAN

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2.02S
 Second Floor Structural Plan
 Elevation "N"

REISSUED: 08/15/2022



HEEL CUT STANDARDS		
	OVERHANG	
	1'-0"	2'-0"
4:12	3-3/4"	7-3/4"
5:12	4-3/4"	9-3/4"
6:12	5-3/4"	11-3/4"
7:12	6-3/4"	13-3/4"
8:12	7-3/4"	N/A
9:12	8-3/4"	N/A
10:12	9-3/4"	N/A
12:12	11-3/4"	N/A
14:12	13-3/4"	N/A

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

1 -
 2 VALLEY TRUSS OVERFRAMING
 3 NO ROOF DECKING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION
 4 -
 5 -

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL

JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

ROOF VENTILATION			
CITY/SERIES:	CLEVELAND		
	MAIN HOUSE	GARAGE	OFFICE
TOTAL ATTIC AREA:	2.169	141	171
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	7.23	0.47	0.57
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	7.79	0.53	2.10

DOWNSPOUT CALCULATION			
	MAIN HOUSE	GARAGE	OFFICE
TOTAL DRAINABLE ROOF AREA:	2819.7	183.3	222.3
MINIMUM # OF DOWNSPOUTS:	5	1	1

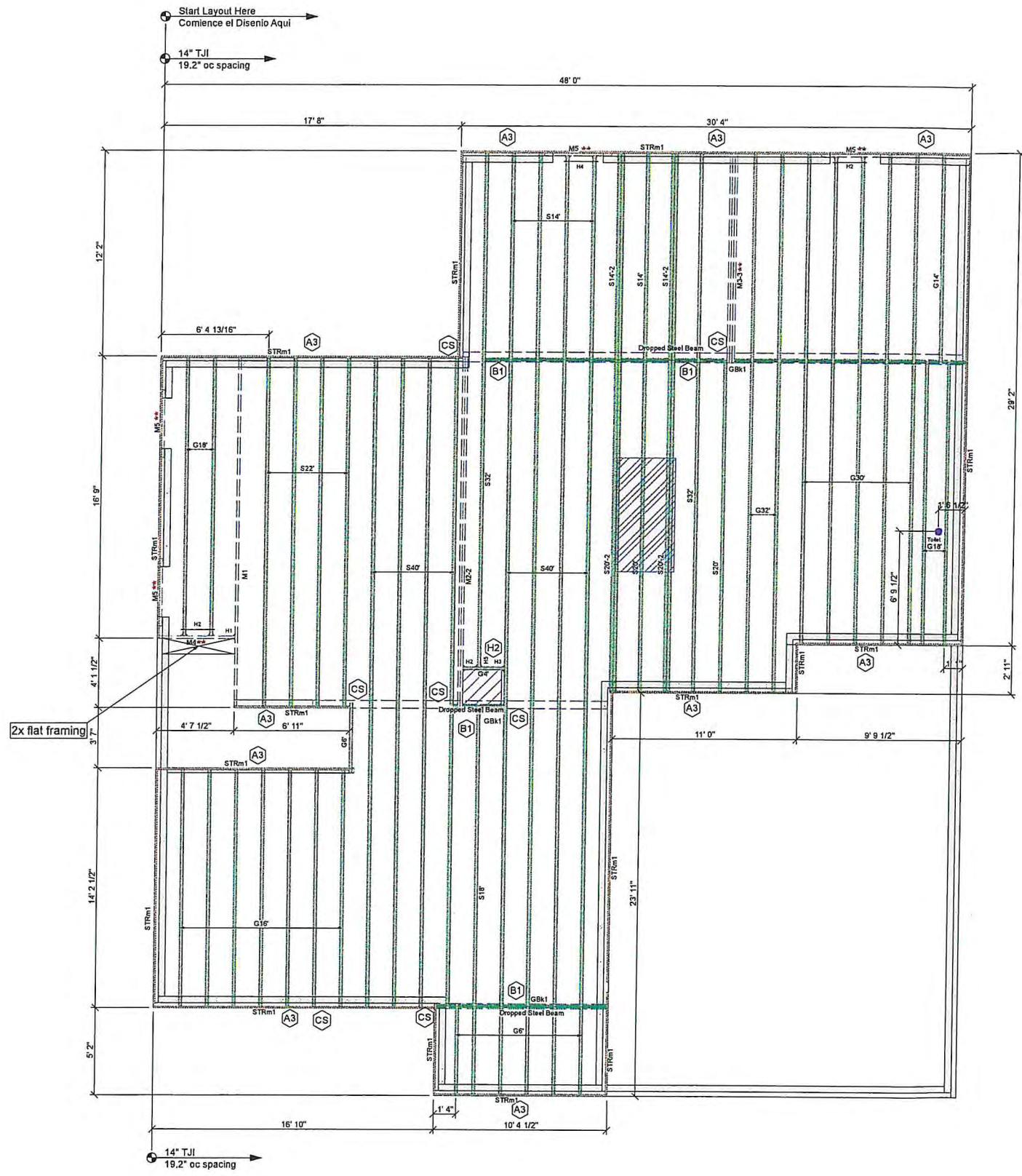
RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP		

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2.04

Roof Plan
Elevation "N"



** - Noted members can be installed as either Microllam LVL or Timberstrand LSL depending on product availability.

Framing Connector Summary								
PlotID	Qty	Manuf	Product	Design Method	Skew	Backer Blks	Filler	Web Stuff
H1	1	Simpson	HUS1.61/10	Designed	-	No	No	No
H2	5	Simpson	IUS2.06/14	Designed	-	No	No	No
H3	1	Simpson	IUS2.06/14	Designed	-	2	No	No
H4	2	Simpson	IUS2.37/14	Designed	-	No	No	No
H5	1	Simpson	IUS2.37/14	Designed	-	2	No	No

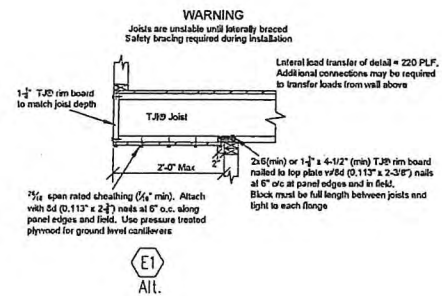
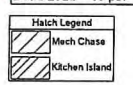
Products				
PlotID	Length	Product	Plies	Net Qty
G32'	32' 0"	14" TJI 210 Joist	1	2
G30'	30' 0"	14" TJI 210 Joist	1	5
G18'	18' 0"	14" TJI 210 Joist	1	4
G16'	16' 0"	14" TJI 210 Joist	1	7
G14'	14' 0"	14" TJI 210 Joist	1	1
G6'	6' 0"	14" TJI 210 Joist	1	7
G4'	4' 0"	14" TJI 210 Joist	1	1
S40'	40' 0"	14" TJI 360 Joist	1	8
S32'	32' 0"	14" TJI 360 Joist	1	2
S22'	22' 0"	14" TJI 360 Joist	1	4
S20'-2	20' 0"	14" TJI 360 Joist	2	4
S20'	20' 0"	14" TJI 360 Joist	1	2
S18'	18' 0"	14" TJI 360 Joist	1	1
S14'-2	14' 0"	14" TJI 360 Joist	2	4
S14'	14' 0"	14" TJI 360 Joist	1	5
M2-2	22' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	2
M1	22' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	1
M3-3	14' 0"	1 3/4" x 14" 2.0E Microllam LVL	3	3
M4	6' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	1
M5	4' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	4
STRm1	16' 0"	1 1/8" x 14" TJ Rim Board	1	14

Accessories				
PlotID	Length	Product	Plies	Net Qty
1' 0"	3/4" or 7/8"	Backer Blocks	1	2
1' 0"	7/8" or 1"	net Backer Blocks	1	2
23/32"x4"x8'		OSB Sheathing (48/24)	1	57

Total Lengths	
Length	Product
498' 0"	14" TJI 210 Joist
736' 0"	14" TJI 360 Joist
130' 0"	1 3/4" x 14" 2.0E Microllam LVL
224' 0"	1 1/8" x 14" TJ Rim Board
2' 0"	3/4" or 7/8" Backer Blocks
2' 0"	7/8" or 1" net Backer Blocks

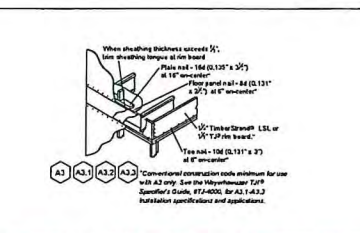
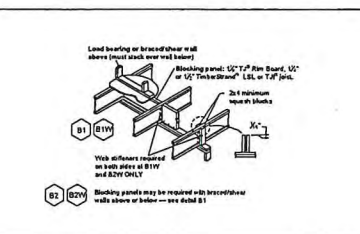
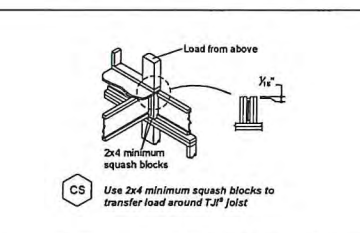
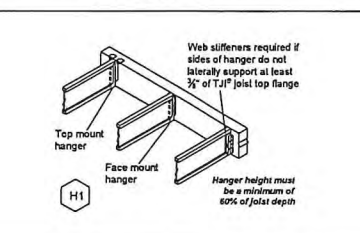
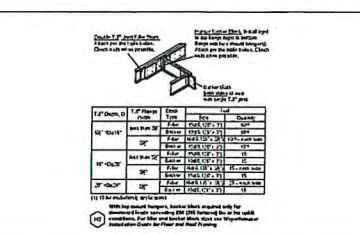
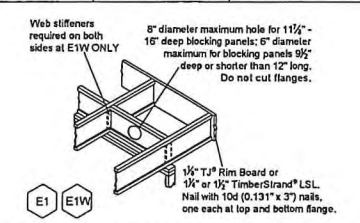
LEVEL NOTES	
Current Date:	8/10/2022
File Name:	2022-1191dlh drees elev doyl-109.vxl
Level Name:	First Floor System
Building Code - Design Methodology:	IBC 2018
Members with Design Overridden:	
TJ-Pro Rating (Weighted Average):	45
Minimum Level TJ - Pro Rating & Joist:	TJ-Pro rating = 37, joist = G32'(134038)
Maximum Level TJ - Pro Rating & Joist:	TJ-Pro rating = 64, joist = S14'-2'(134067)
FLOOR	
Floor Container:	FC17
Use/Occupancy:	Residential Living Areas
Floor Area Loading Is:	40.0 lb/ft² Live Load & 10.0 lb/ft² Dead Load
Operator Added Additional Loads:	
Maximum Allowed Deflection:	L/480 Live Load & L/240 Total Load
TJ-Pro Rating Information:	
Weighted Average:	45
Directly Applied Ceiling:	None
Decking Attachment:	Glue and Nail
Decking Material:	23/32"x4"x8' OSB Sheathing (48/24)
Perpendicular Partition:	No
Strapping at max 8' o.c.:	None
Blocking at max 8' o.c.:	No
Poured Flooring:	No

Design Loads
Floor Loads
 Live Load = 40 psf
 Dead Load = 10 psf

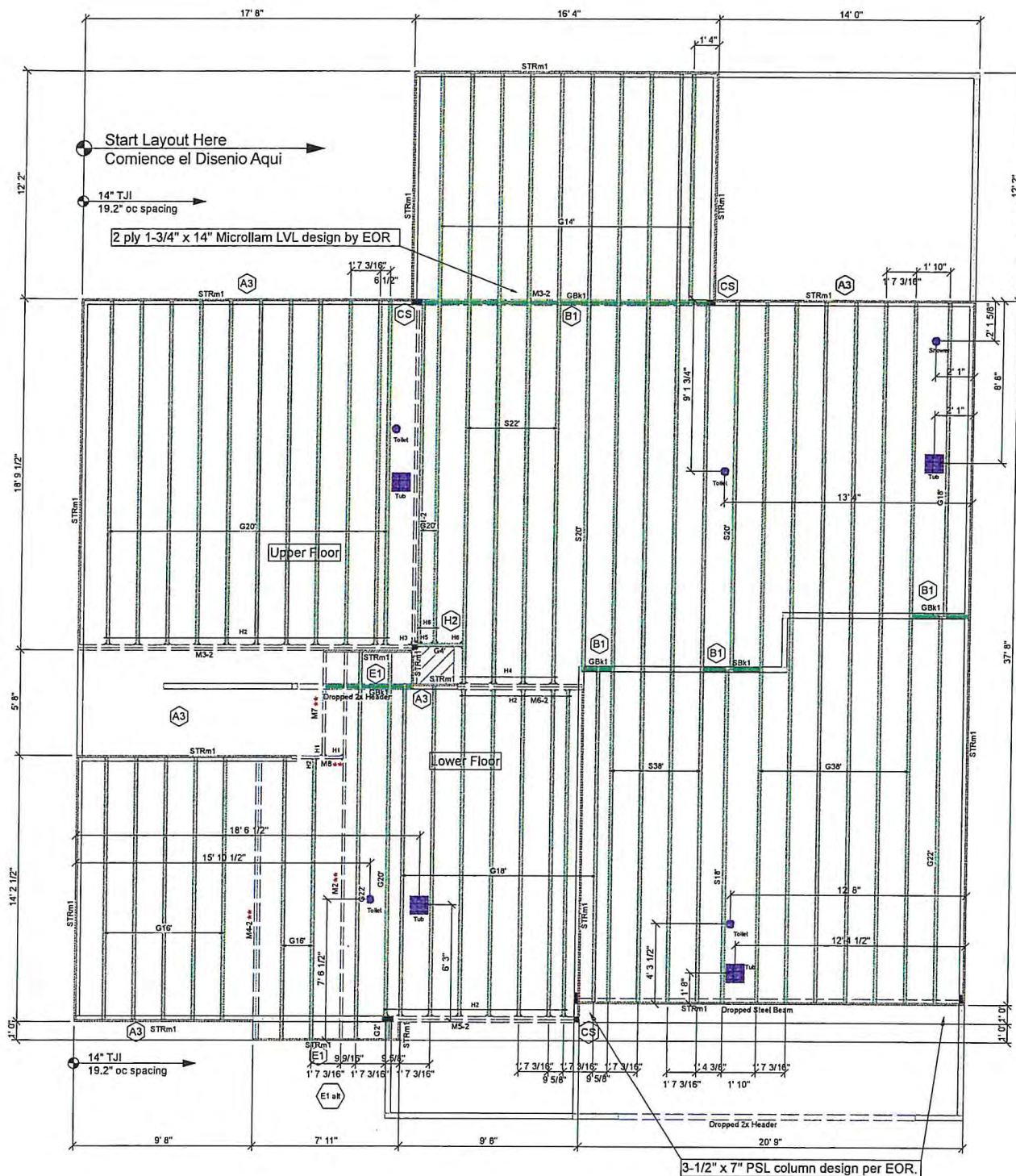


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DRAWN BY: DLH
ORIGINAL RELEASE DATE: 8/10/2022



8/10/2022 2022-1191DLH
 Doyl-109 : Buchanan Elev N
 First Floor Subfloor
 Sheet Information 3.01



Framing Connector Summary								
PlotID	Qty	Manuf	Product	Design Method	Skew	Backer Blks	Filler	Web Stuff
H1	2	Simpson	HUS1.81/10	Designed	-	No	No	No
H2	25	Simpson	IUS2.06/14	Designed	-	No	No	No
H3	1	Simpson	HHUS410	Designed	-	No	No	No
H4	4	Simpson	IUS2.37/14	Designed	-	No	No	No
H5	1	User	IUS2.06/14	User Defined	-	Not Required	No	Not Required
H6	3	Simpson	IUS2.06/14	Designed	-	2	No	No

Products				
PlotID	Length	Product	Plies	Net Qty
G38	38' 0"	14" TJI 210 joist	1	6
G22	22' 0"	14" TJI 210 joist	1	2
G20	20' 0"	14" TJI 210 joist	1	14
G18	18' 0"	14" TJI 210 joist	1	9
G16	16' 0"	14" TJI 210 joist	1	7
G14	14' 0"	14" TJI 210 joist	1	10
G4	4' 0"	14" TJI 210 joist	1	1
G2	2' 0"	14" TJI 210 joist	1	1
S38	38' 0"	14" TJI 360 joist	1	4
S22	22' 0"	14" TJI 360 joist	1	4
S20	20' 0"	14" TJI 360 joist	1	2
S18	18' 0"	14" TJI 360 joist	1	1
M1-2	20' 0"	1 3/4" x 18" 2.0E Microllam LVL	2	2
M2	22' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	1
M3-2	18' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	4
M4-2	16' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	2
M5-2	12' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	2
M6-2	8' 0"	1 3/4" x 14" 2.0E Microllam LVL	2	2
M7	6' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	1
M8	4' 0"	1 3/4" x 14" 2.0E Microllam LVL	1	1
PPT1	10' 0"	3 1/2" x 7" 1.8E Parallam PSL	1	2
PPT2	8' 0"	3 1/2" x 5 1/4" 1.8E Parallam PSL	1	2
STRm1	16' 0"	1 1/8" x 14" TJ Rim Board	1	14

Accessories				
PlotID	Length	Product	Plies	Net Qty
	1' 5 5/16"	3/4" or 7/8" Backer Blocks	1	2
	1' 0"	7/8" or 1" net Backer Blocks	1	2
		23/32"x4"x8' OSB Sheathing (48/24)	1	62

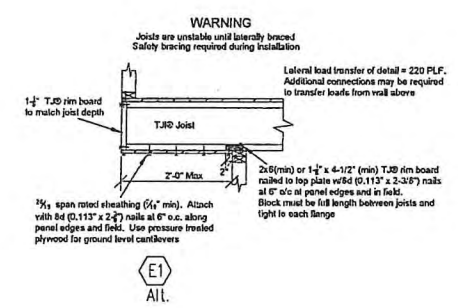
Blocking				
PlotID	Length	Product	Plies	Net Qty
GBk1	1' 6"	14" TJI 210 joist	1	11
GBk1	1' 0"	14" TJI 210 joist	1	7
GBk1	6"	14" TJI 210 joist	1	2
SBk1	1' 6"	14" TJI 360 joist	1	2

Total Lengths	
Length	Product
996' 6"	14" TJI 210 joist
301' 0"	14" TJI 360 joist
40' 0"	1 3/4" x 18" 2.0E Microllam LVL
176' 0"	1 3/4" x 14" 2.0E Microllam LVL
20' 0"	3 1/2" x 7" 1.8E Parallam PSL
16' 0"	3 1/2" x 5 1/4" 1.8E Parallam PSL
224' 0"	1 1/8" x 14" TJ Rim Board
2' 10 9/16"	3/4" or 7/8" Backer Blocks
2' 0"	7/8" or 1" net Backer Blocks

LEVEL NOTES	
Current Date:	8/10/2022
File Name:	2022-1191dlh drees clew doyl-109.jvl
Level Name:	Second Floor System
Building Code - Design Methodology:	IBC 2018
Members with Design Overridden:	
TJ-Pro Rating (Weighted Average):	46
Minimum Level TJ - Pro Rating & Joist:	TJ-Pro rating = 37, joist = G22'(134298)
Maximum Level TJ - Pro Rating & Joist:	TJ-Pro rating = 60, joist = G14'(134312)
FLOOR	
Floor Container:	FC19, FC18
Use/Occupancy:	Residential/LivingAreas
Floor Area Loading Is:	40.0 lb/ft ² Live Load & 10.0 lb/ft ² Dead Load
Maximum Allowed Deflection:	L/480 Live Load & L/240 Total Load
TJ-Pro Rating Information:	
Weighted Average:	FC19: 46; FC18: 44
Directly Applied Ceiling:	FC19: Varies; FC18: Gypsum 1/2"
Decking Attachment:	Glue and Nail
Decking Material:	23/32"x4"x8' OSB Sheathing (48/24)
Perpendicular Partition:	No
Strapping at max 8' o.c.:	None
Blocking at max 8' o.c.:	No
Poured Flooring:	No

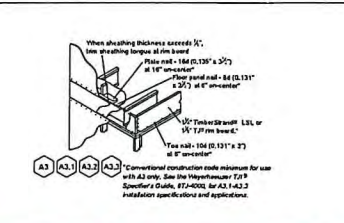
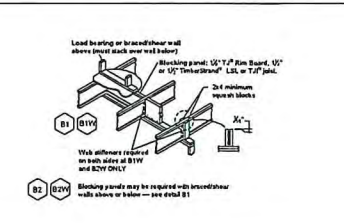
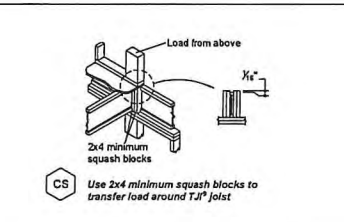
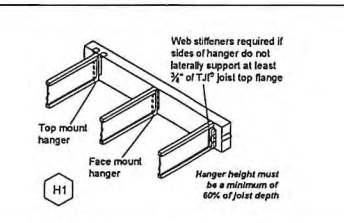
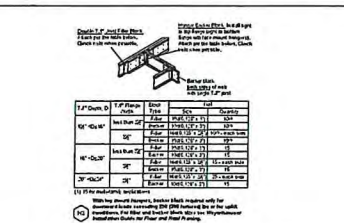
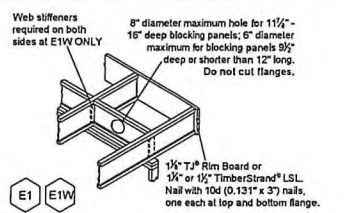
Design Loads	
Floor Loads	
Live Load = 40 psf	
Dead Load = 10 psf	

Hatch Legend	
	Mech Chase
	Kitchen Island



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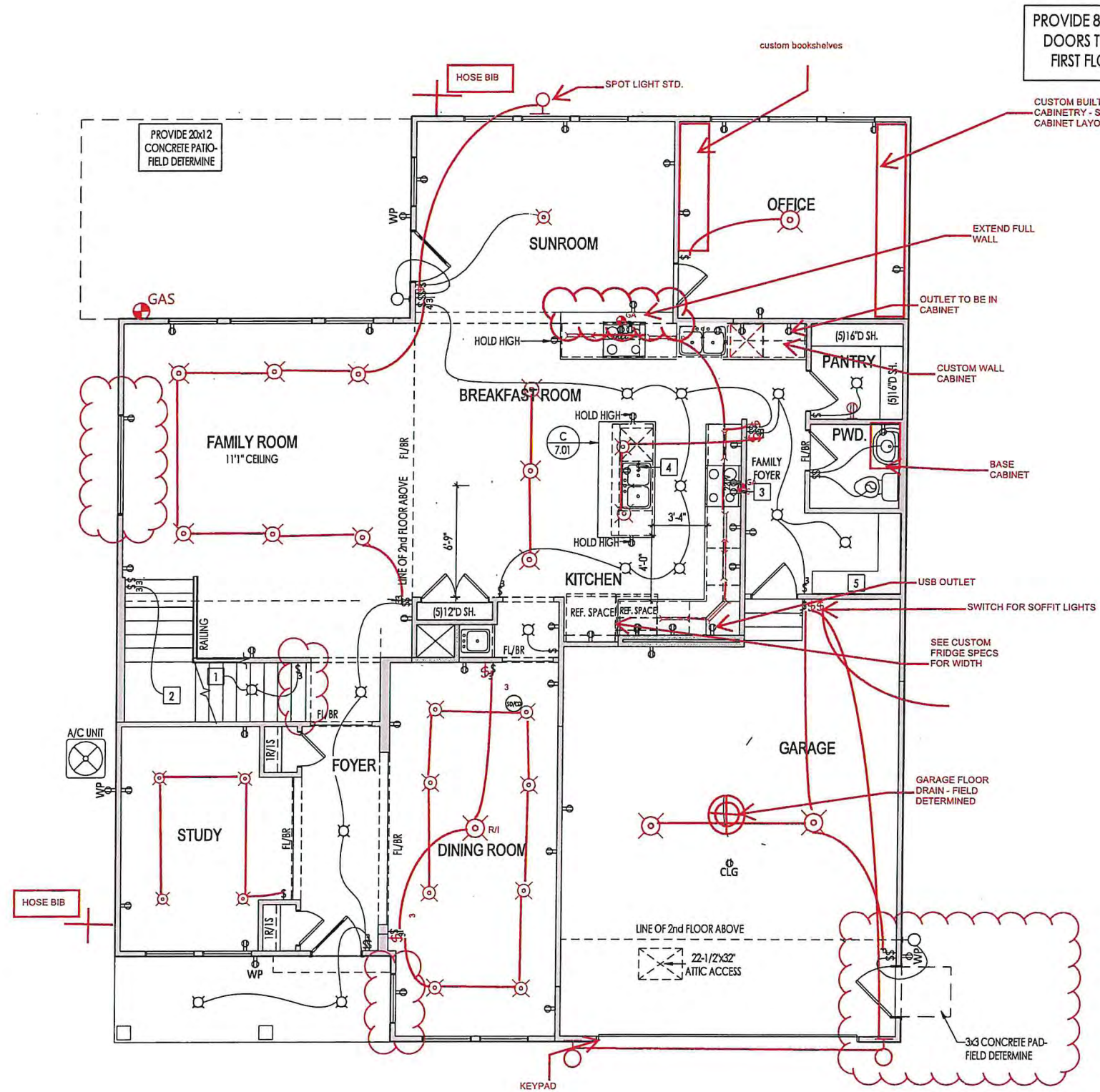


8/10/2022 2022-1191DLH

Doyle-109 : Buchanan Elev N

Second Floor Subfloor

Sheet Information 3.02



PROVIDE 8" TALL INTERIOR DOORS THROUGHOUT FIRST FLOOR, U.N.O.

General Notes:

1. REFER TO SHEET DN.1 FOR GENERAL NOTES.

Key Notes:

- 1 TO SWITCH OR LIGHT BELOW
- 2 TO SWITCH OR LIGHT ABOVE
- 3 OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENT TO EXTERIOR
- 4 OUTLET FOR DISHWASHER & SWITCH FOR DISPOSAL LOCATED IN SINK CABINET
- 5 BENCH SEAT W/ COAT HOOKS
- 6
- 7
- 8
- 9
- 10

MECHANICAL LEGEND

◀ PHONE JACK	⊙ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊖ WALL OUTLET	⊙ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊖ WEATHERPROOF OUTLET	⊙ WALL MOUNTED LIGHT FIXT.	⊖ SHOWER HEAD
⊖ 220 VOLT OUTLET	⊙ DOUBLE SPOTLIGHT FIXT.	⊖ GAS HOOK UP
⊖ GROUND FAULT OUTLET	⊙ DIRECTIONAL CAN LIGHT	⊖ FLOOR DRAIN
⊖ FLOOR OUTLET	⊙ PIN LIGHT	⊖ SMOKE DETECTOR
⊖ CABLE TELEVISION JACK	⊖ WALL SCONCE @ 5'-6" A.F.F.	⊖ CO DETECTOR
⊖ SINGLE POLE SWITCH	⊖ FLUORESCENT LIGHT	⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊖ 3-WAY SWITCH	⊖ UNDER CABINET LIGHTING	⊖ EXHAUST FAN AND LIGHT COMBINATION
⊖ 4-WAY SWITCH		⊖ CLG. MTD. EXHAUST FAN
⊖ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

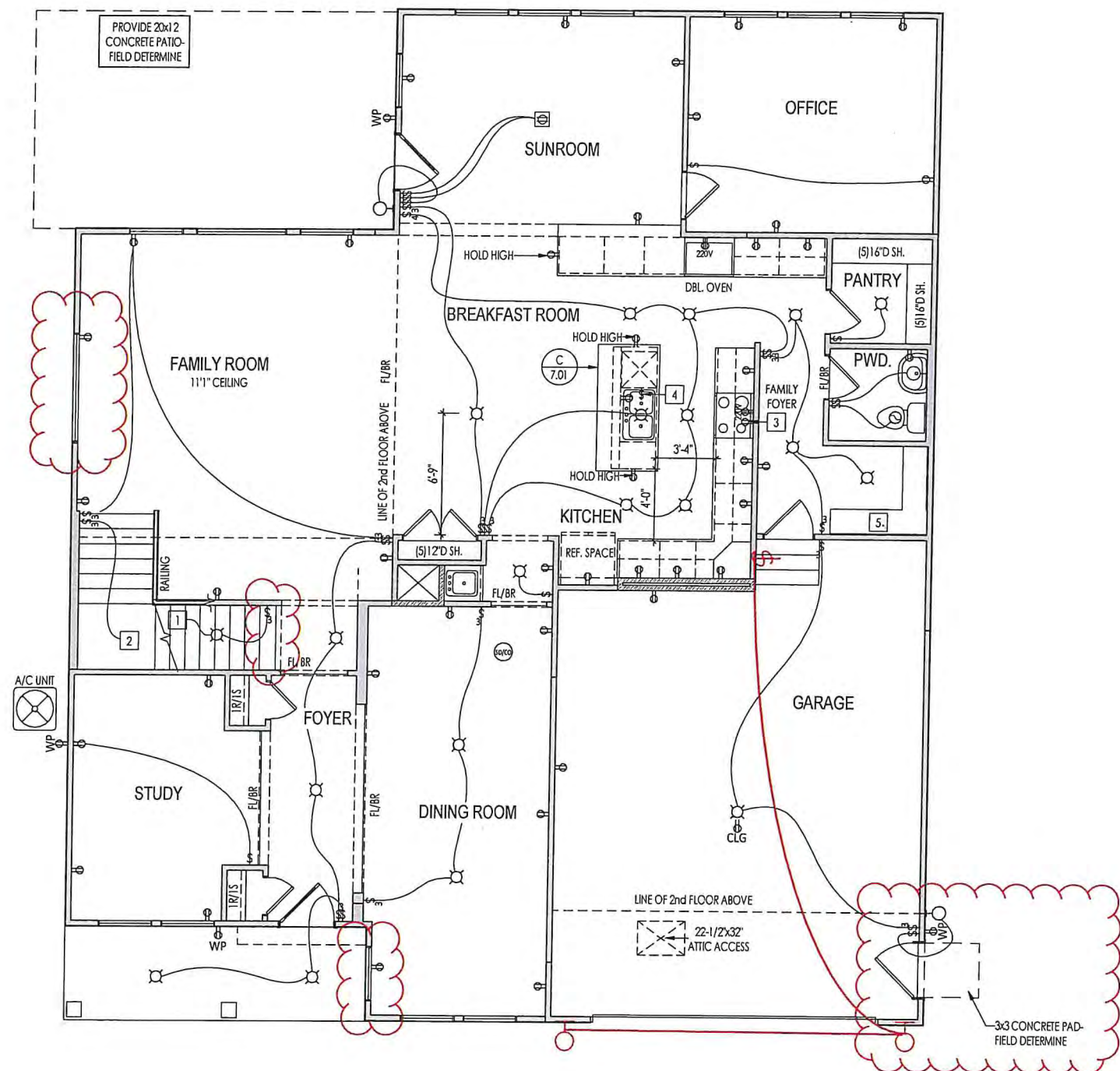
Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
Born on Date: 08/27/2010		CDs Drawn By: SSP	Series: SERIES_NM
			Plan No.: PLAN_NM

REISSUED: 08/15/2022

Drees HOMES
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Sheet Information
4.01
First Floor Mechanical Plan
Elevation "N"

PROVIDE 8' TALL INTERIOR DOORS THROUGHOUT FIRST FLOOR, U.N.O.



General Notes:
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

- Key Notes:
- 1 TO SWITCH OR LIGHT BELOW
 - 2 TO SWITCH OR LIGHT ABOVE
 - 3 OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENT TO EXTERIOR
 - 4 OUTLET FOR DISHWASHER & SWITCH FOR DISPOSAL LOCATED IN SINK CABINET
 - 5 BENCH SEAT W/ COAT HOOKS
 - 6
 - 7
 - 8
 - 9
 - 10

MECHANICAL LEGEND

◀ PHONE JACK	⊗ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊕ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊕ WEATHERPROOF OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊕ 220 VOLT OUTLET	⊕ DOUBLE SPOTLIGHT FIXT.	⊕ GAS HOOK UP
⊕ GROUND FAULT OUTLET	⊕ DIRECTIONAL CAN LIGHT	⊕ FLOOR DRAIN
⊕ FLOOR OUTLET	⊕ PIN LIGHT	⊕ SMOKE DETECTOR
⊕ CABLE TELEVISION JACK	⊕ WALL SCONCE @ 5'-6" A.F.F.	⊕ CO DETECTOR
⊕ SINGLE POLE SWITCH	⊕ FLUORESCENT LIGHT	⊕ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊕ 3-WAY SWITCH	⊕ UNDER CABINET LIGHTING	⊕ EXHAUST FAN AND LIGHT COMBINATION
⊕ 4-WAY SWITCH		⊕ CLG. MTD. EXHAUST FAN
⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: LJR		Series: SERIES_NM	
Born on Date: 08/27/2010		CDs Drawn By: SSP	
Plan No.: PLAN_NM			

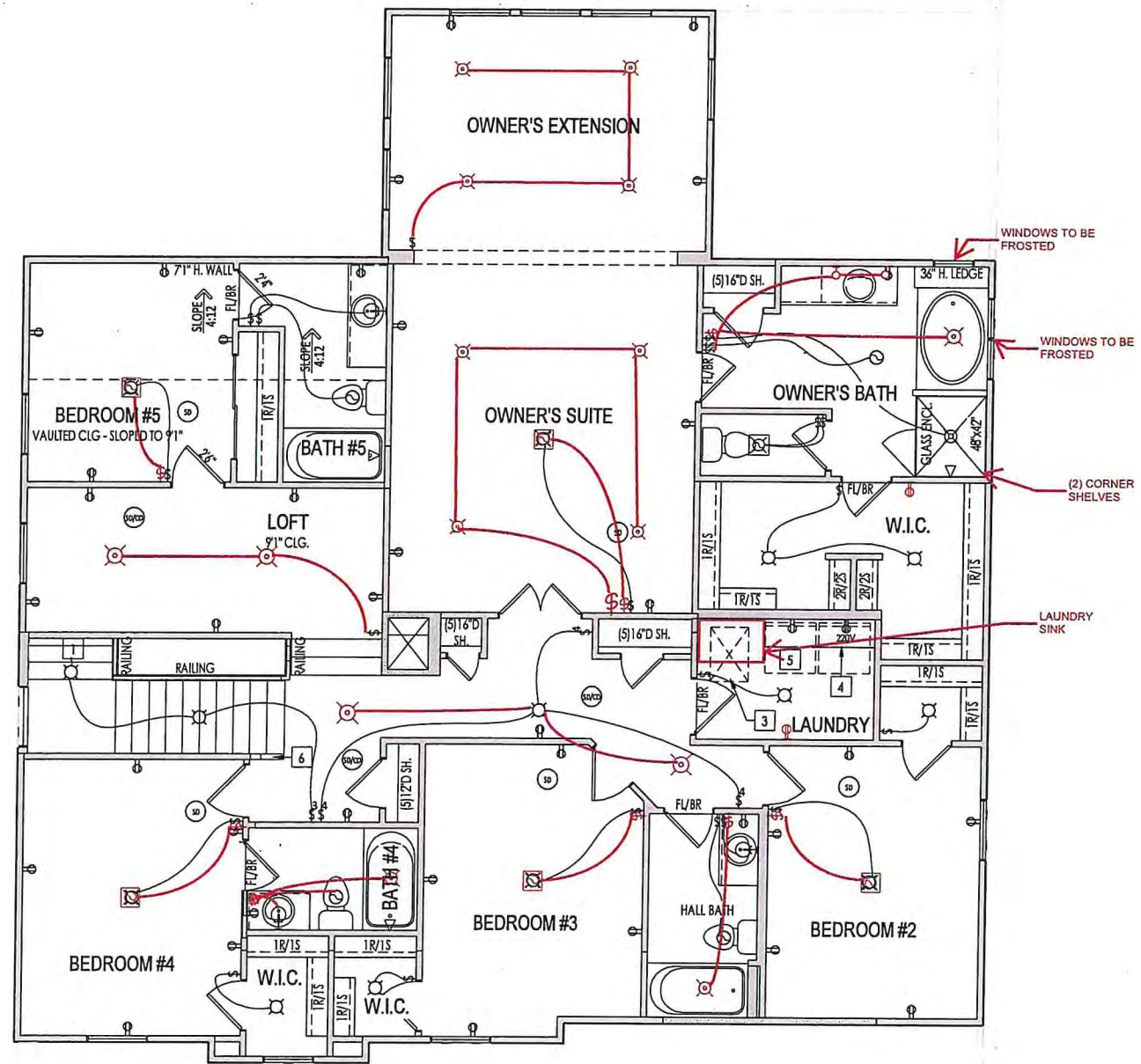
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Sheet Information

4.01
First Floor Mechanical Plan
Elevation "N"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- 1 TO LIGHT OR SWITCH BELOW
- 2
- 3 22-1/2"x32" ATTIC ACCESS
- 4 5/6" SHELF @ 57" A.F.F.
- 5 WASHER TO LEFT OF DRYER
- 6 42" HIGH WALL WITH WOOD CAP
- 7
- 8
- 9 -
- 10 -

MECHANICAL LEGEND

◀ PHONE JACK	○ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊕ WALL OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊕ WEATHERPROOF OUTLET	○ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊕ 220 VOLT OUTLET	○ DOUBLE SPOTLIGHT FIXT.	⊕ GAS HOOK UP
⊕ GROUND FAULT OUTLET	○ DIRECTIONAL CAN LIGHT	⊕ FLOOR DRAIN
⊕ FLOOR OUTLET	○ PIN LIGHT	⊕ SMOKE DETECTOR
⊕ CABLE TELEVISION JACK	○ WALL SCONCE @ 5'-6" A.F.F.	⊕ CO DETECTOR
⊕ SINGLE POLE SWITCH	○ FLUORESCENT LIGHT	⊕ SMOKE DETECTOR/CO DETECTOR COMBINATION
⊕ 3-WAY SWITCH	○ UNDER CABINET LIGHTING	⊕ EXHAUST FAN AND LIGHT COMBINATION
⊕ 4-WAY SWITCH	○ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊕ CLG. MTD. EXHAUST FAN

Space for Architect Seal

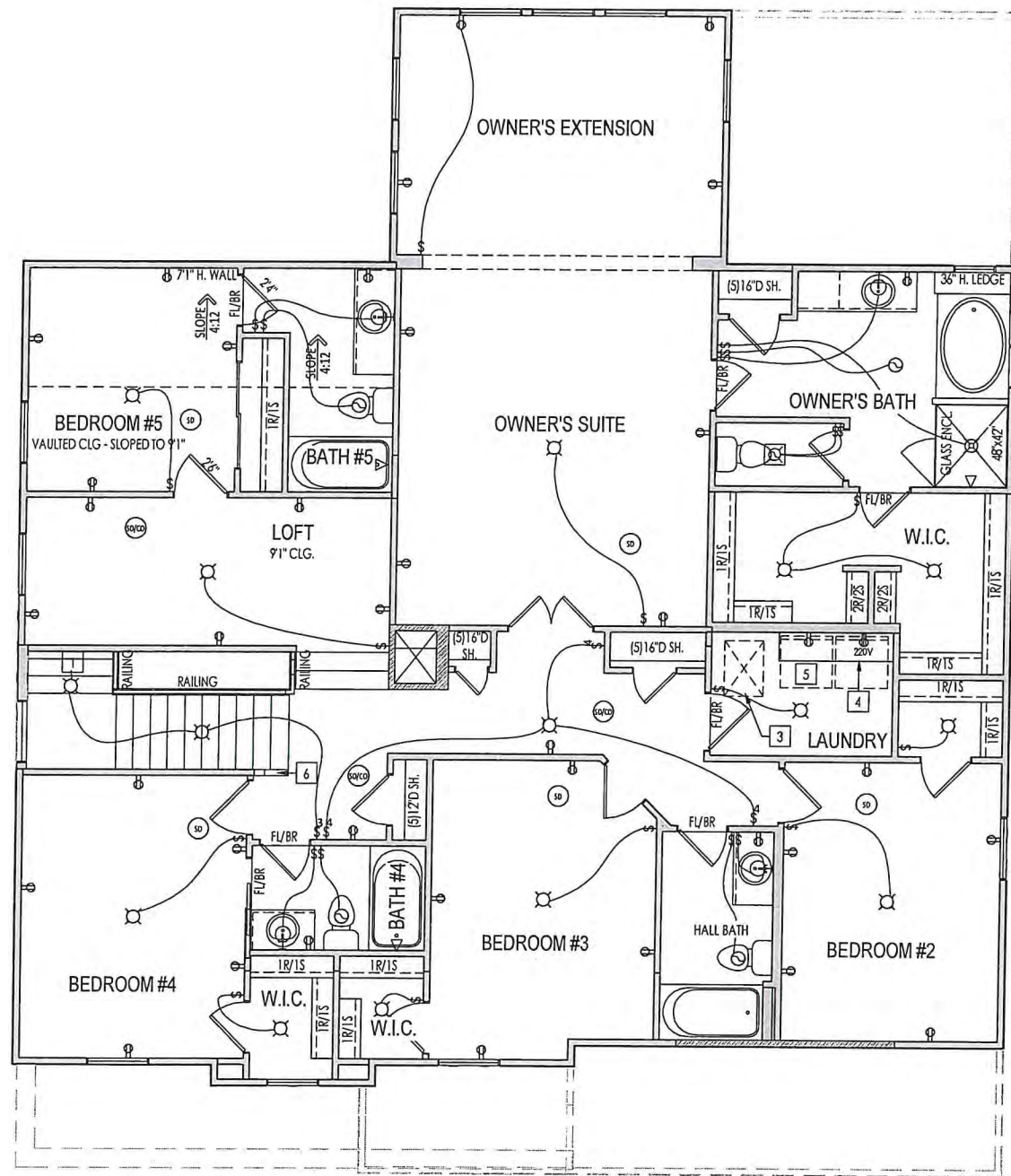
RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
the BUCHANAN			Series: SERIES_NM.
Born on Date: 06/27/2010 CDs Drawn By: SSP			Plan No.: PLAN_NM

REISSUED: 08/15/2022

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Phone: (614) 717-9470

Sheet Information
4.02
Second Floor Mechanical Plan
Elevation "N"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- 1 TO LIGHT OR SWITCH BELOW
- 2
- 3 22-1/2"x32" ATTIC ACCESS
- 4 5'6" SHELF @ 57" A.F.F.
- 5 WASHER TO LEFT OF DRYER
- 6 42" HIGH WALL WITH WOOD CAP
- 7
- 8
- 9 -
- 10 -

MECHANICAL LEGEND

◀ PHONE JACK	⊙ CLG. MOUNTED LIGHT FIXT.	■ STAIR LIGHT
⊙ WALL OUTLET	⊙ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	+ HOSE BIB
⊙ WEATHERPROOF OUTLET	⊙ WALL MOUNTED LIGHT FIXT.	△ SHOWER HEAD
⊙ 220 VOLT OUTLET	⊙ DOUBLE SPOTLIGHT FIXT.	⊙ GAS HOOK UP
⊙ GROUND FAULT OUTLET	⊙ DIRECTIONAL CAN LIGHT	⊙ FLOOR DRAIN
⊙ FLOOR OUTLET	⊙ PIN LIGHT	⊙ SMOKE DETECTOR
⊙ CABLE TELEVISION JACK	⊙ WALL SCONCE @ 5'-6" A.F.F.	⊙ CO DETECTOR
↔ SINGLE POLE SWITCH	⊙ FLUORESCENT LIGHT	⊙ SMOKE DETECTOR/CO DETECTOR COMBINATION
↔ 3-WAY SWITCH	⊙ UNDER CABINET LIGHTING	⊙ EXHAUST FAN AND LIGHT COMBINATION
↔ 4-WAY SWITCH	⊙ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊙ CLG. MTD. EXHAUST FAN

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00 Drawing Date: 7/21/22 Coord Name: M. HYATT Coord Phone: 859.578.4290

House Name: Drawing Scale: 1/8" = 1'-0" Contract Drawn By: LJR

the BUCHANAN Series: SERIES_NM

Born on Date: 08/27/2010 CDs Drawn By: SSP Plan No.: PLAN_NM

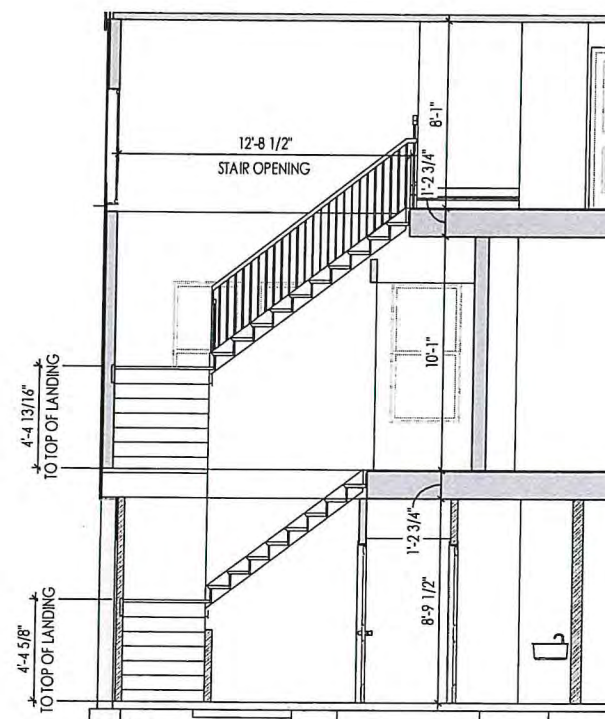
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Sheet Information
4.02
 Second Floor Mechanical Plan
 Elevation "N"

REISSUED: 08/15/2022



A BUILDING SECTION THRU FOYER
5.01 1/8" = 1'-0"



B STAIR SECTION
5.01 1/8" = 1'-0"

General Notes:

1. REFER TO SHEET 00.1 FOR GENERAL NOTES.

Key Notes:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	
Born on Date: 08/27/2010		CDs Drawn By: SSP	Contract Drawn By: LJR
Series: SERIES_NM		Plan No.: PLAN_NM	

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Phone: [440] 717-9670

Sheet Information

5.01
Building Section
Elevation "N"

TYPICAL TRIM:
6" FASCIA
 (ALL SIDES)
8" FRIEZE
 (FRONT ONLY, UNLESS OTHERWISE NOTED)

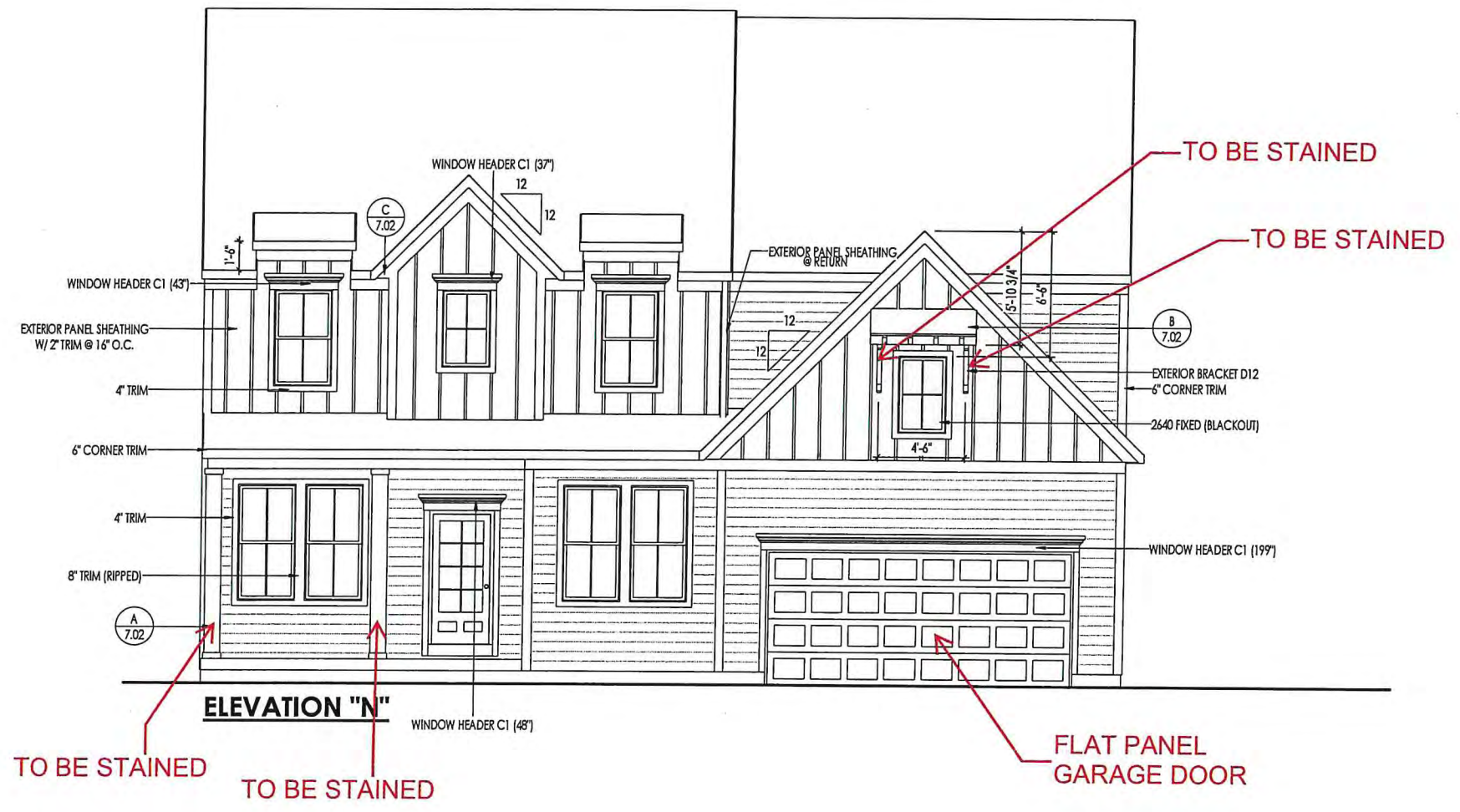
General Notes:
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.

Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	—	—	L3 1/2 x 3 1/2 x 1/4	—
	Up to 8'-3"	—	—	L5 x 3 1/2 x 5/16	—
	Up to 9'-3"	—	—	L6 x 4 x 5/16	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	—	—	L4 x 3 1/2 x 1/4	—
	Up to 8'-3"	—	—	L5 x 3 1/2 x 5/16	—
	Up to 9'-3"	—	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	—	L8 x 4 x 1/2	**per Design	**per Design

All lintels: 4" Minimum bearing required each end
 * Brick is based on 40psf and Stone is based on 60psf
 ** Any lintels not described by the above parameters shall be specifically designed.



Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 10"	Contract Drawn By: LJR
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP	Plan No.: PLAN_NM	

REISSUED: 08/15/2022

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Sheet Information
6.01
 Front Elevation
 Elevation "N"

TYPICAL TRIM:
6" FASCIA
 (ALL SIDES)
8" FRIEZE
 (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:
 1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.

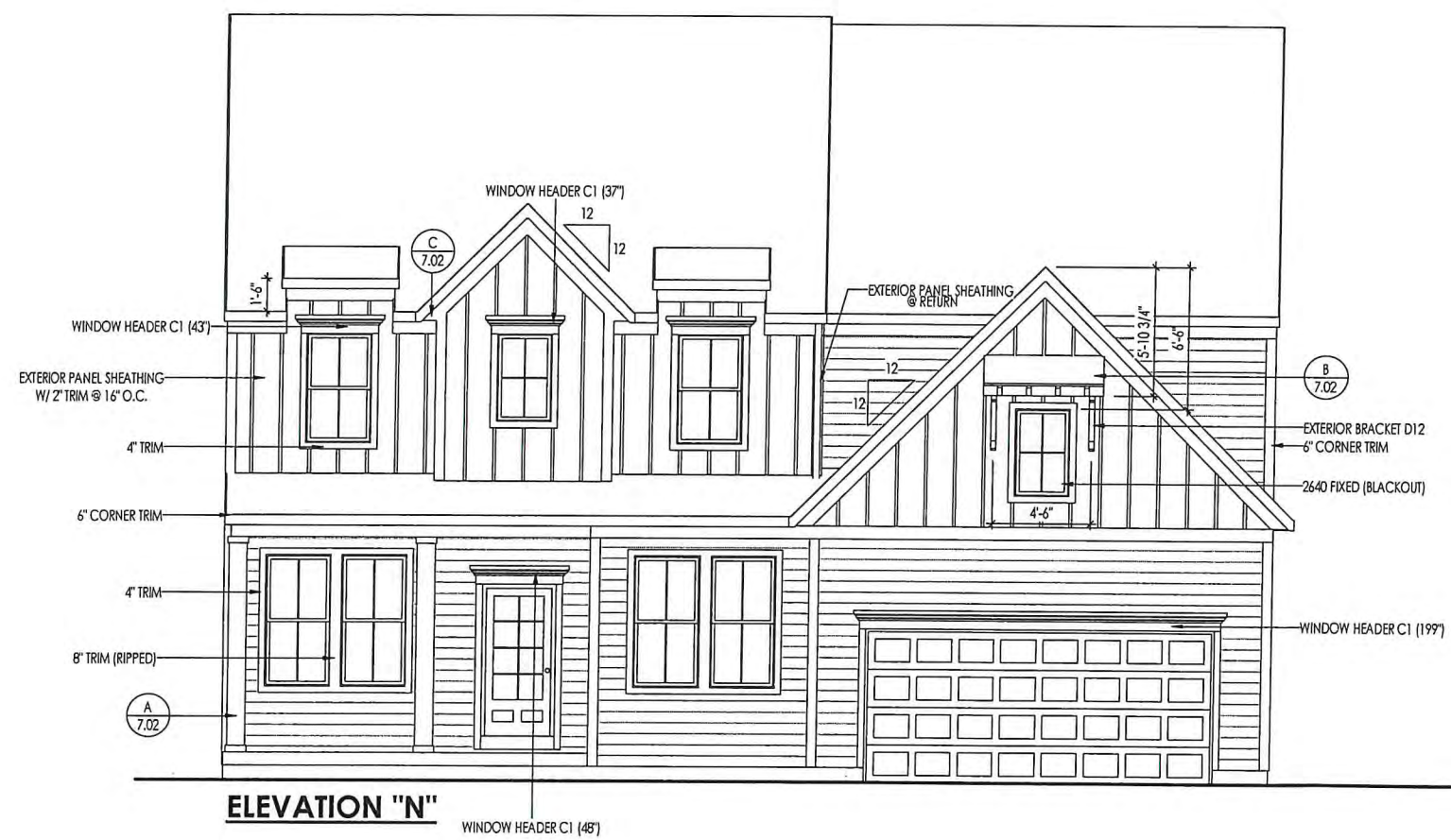
Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	—	—	L3 1/2 x 3 1/2 x 1/4	—
	Up to 8'-3"	—	—	L5 x 3 1/2 x 5/16	—
	Up to 9'-3"	—	—	L6 x 4 x 5/16	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	—	—	L4 x 3 1/2 x 1/4	—
	Up to 8'-3"	—	—	L5 x 3 1/2 x 5/16	—
	Up to 9'-3"	—	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	—	L8 x 4 x 1/2	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end
 * Brick is based on 40psf and Stone is based on 60psf
 ** Any lintels not described by the above parameters shall be specifically designed.

Space for Architect Seal



ELEVATION "N"
 WINDOW HEADER C1 (48)

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
Born on Date: 08/27/2010		CDs Drawn By: SSP	Series: SERIES_NM
			Plan No.: PLAN_NM

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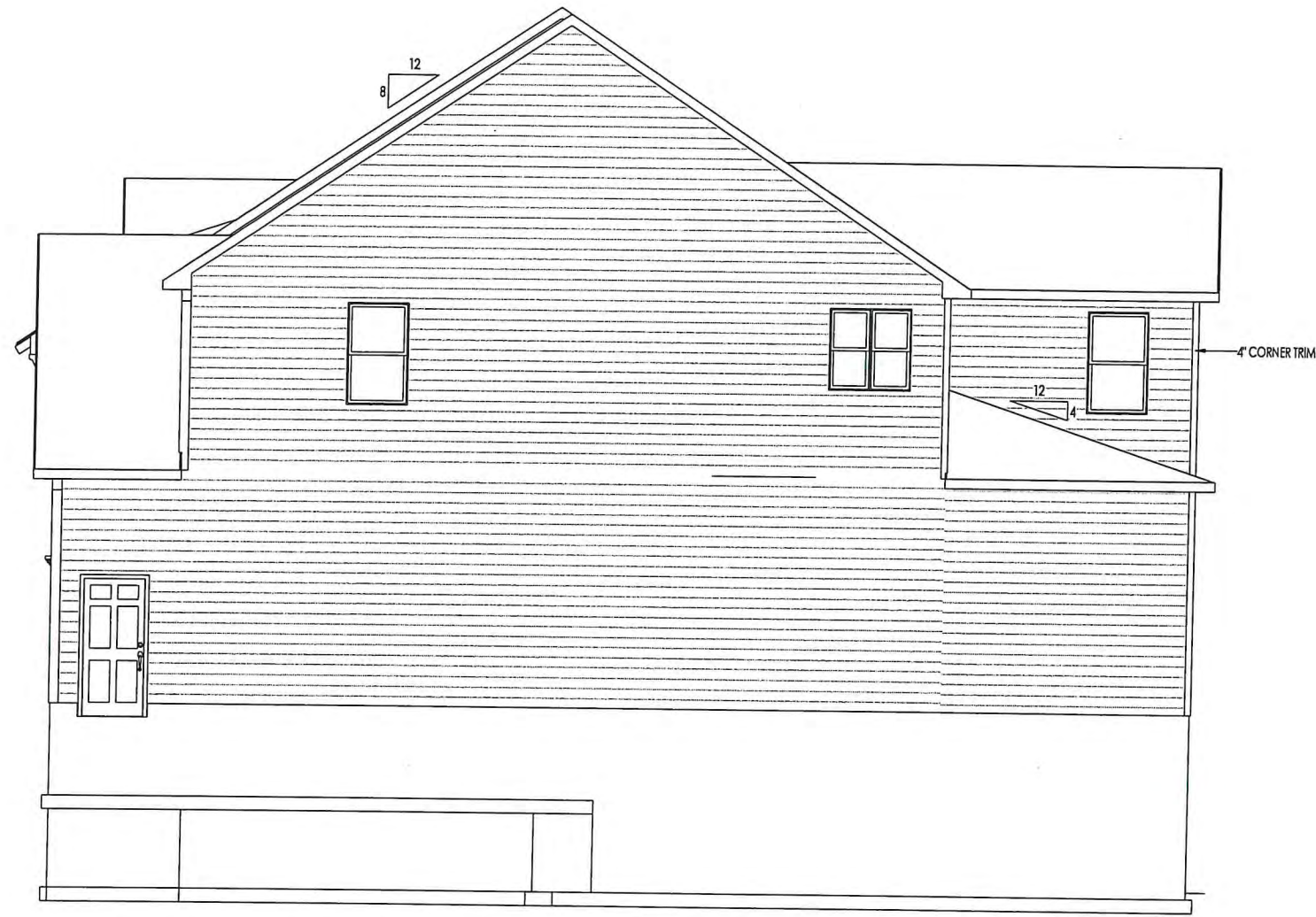
Sheet Information

6.01
 Front Elevation
 Elevation "N"

TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:
 1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.
 3. REFER TO UNTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -



Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
Born on Date: 08/27/2010			CDs Drawn By: SSF
Series: SERIES_NM			Plan No.: PLAN_NM

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TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.
 3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -



Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010 CDs Drawn By: SSP			Plan No.: PLAN_NM



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Sheet Information

6.03

Rear Elevation
Elevation "N"

TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:
 1. REFER TO SHEET 00.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.
 3. REFER TO UNTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -



Space for Architect Seal

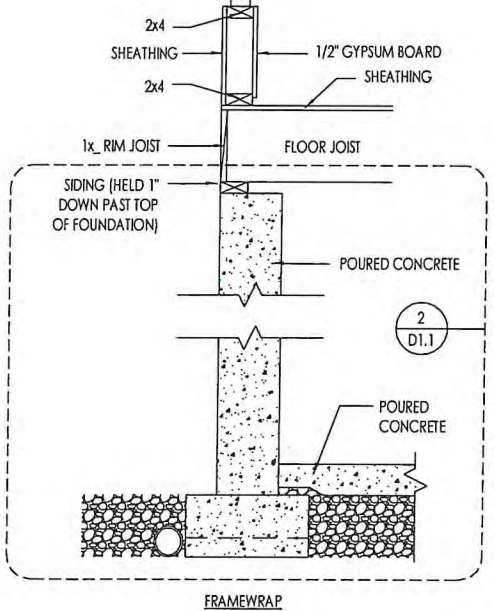
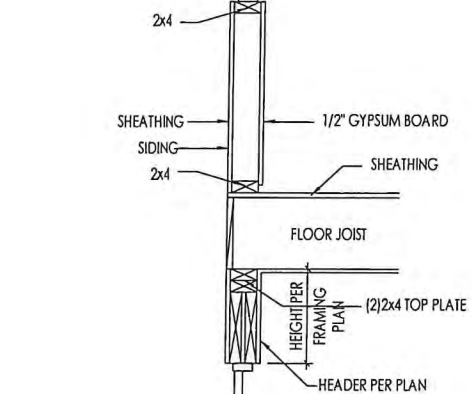
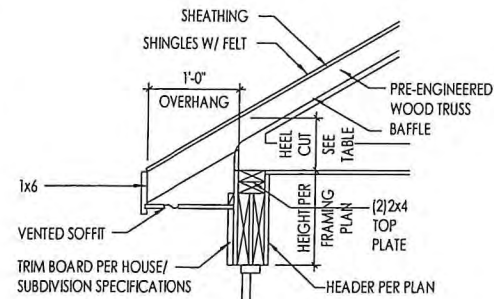
RESIDENCE FOR:
SCHWARTZ
 2531 LAFAYETTE DRIVE
 DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the BUCHANAN		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
Born on Date: 08/27/2010		CDs Drawn By: SSP	Series: SERIES_NM
			Plan No.: PLAN_NM

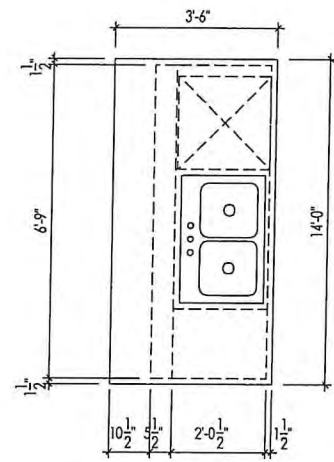
REISSUED: 08/15/2022

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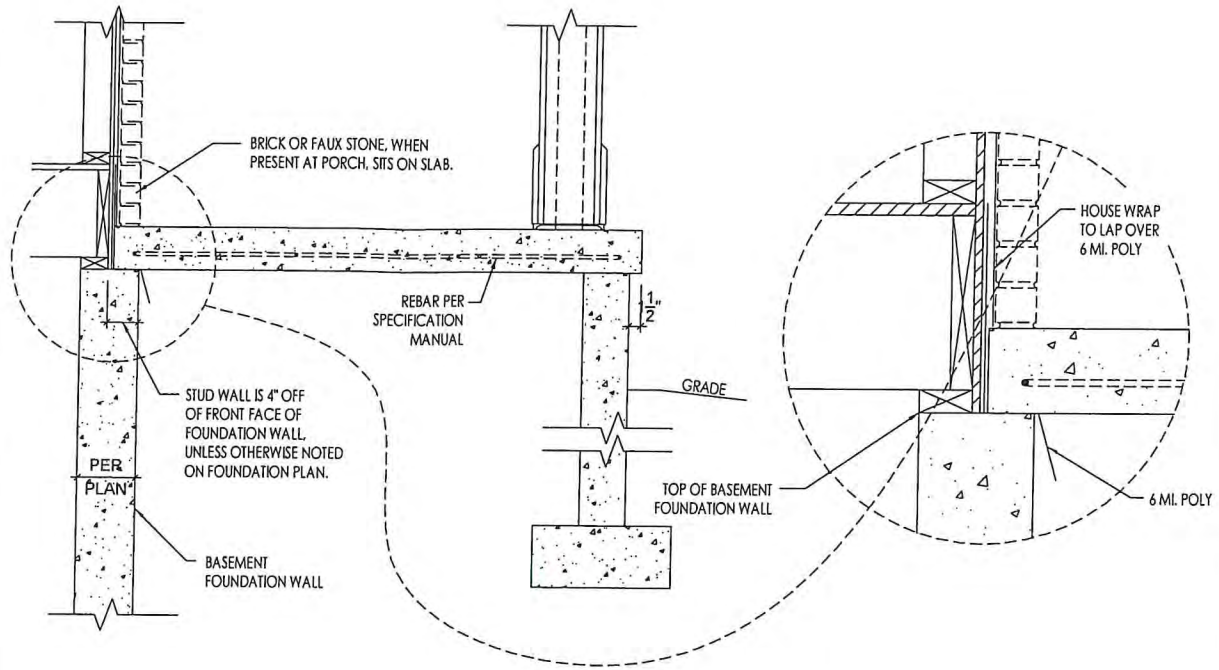
Sheet Information
6.04
 Side Elevation
 Elevation "N"



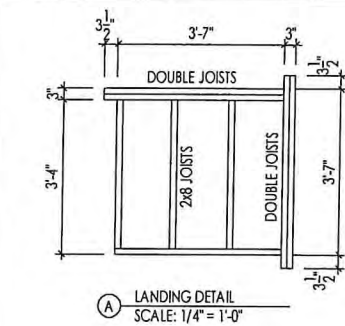
A WALL SECTION
SCALE: 1/2" = 1'-0"



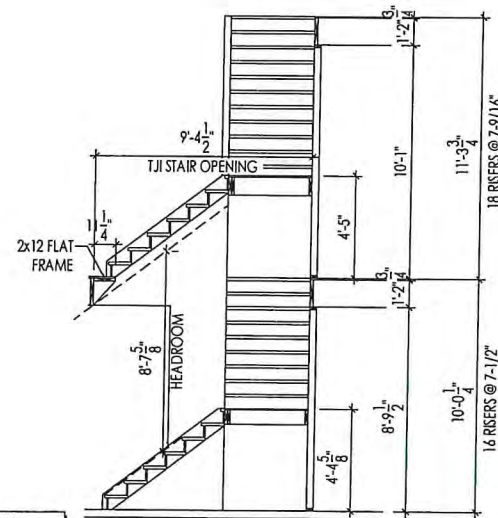
C KITCHEN ISLAND
SCALE: 1/4" = 1'-0"



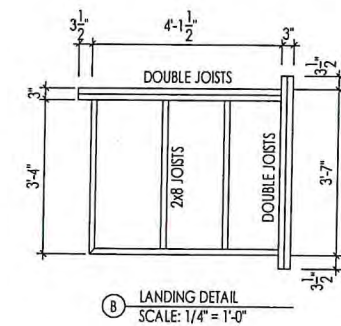
D TYPICAL SECTION THROUGH PORCH SLAB
SCALE: 1/2" = 1'-0"



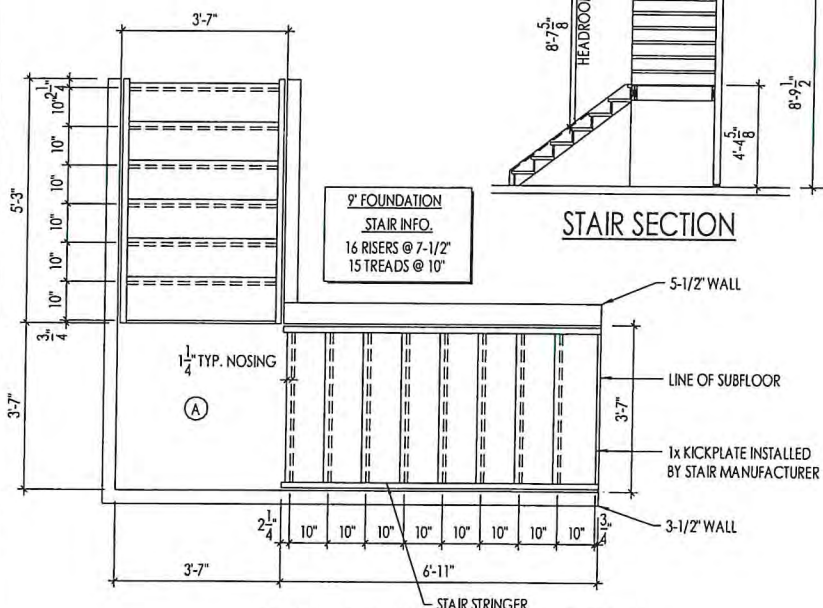
A LANDING DETAIL
SCALE: 1/4" = 1'-0"



STAIR SECTION

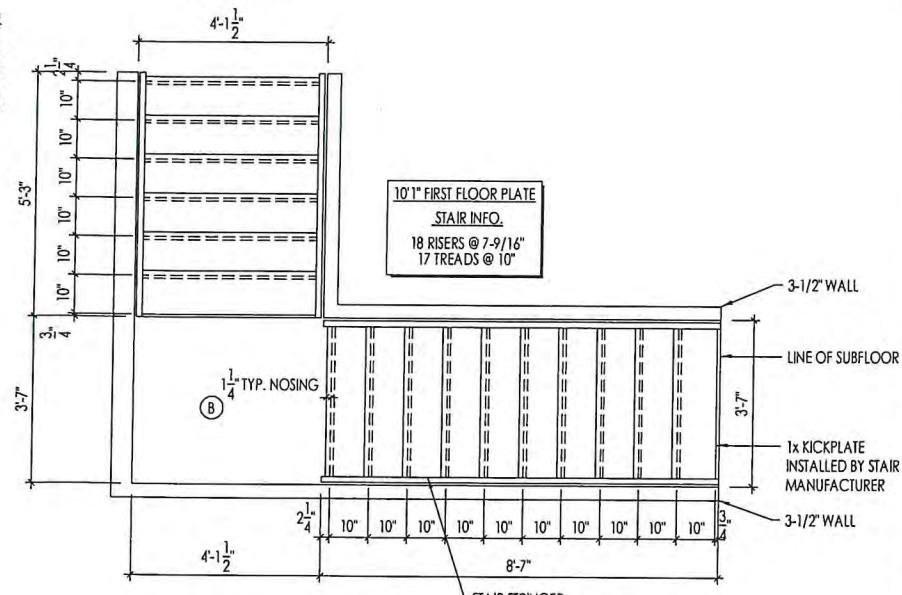


B LANDING DETAIL
SCALE: 1/4" = 1'-0"



BASEMENT STAIR FRAMING DETAILS

B STAIR FRAMING DETAILS
SCALE: 1/4" = 1'-0"



SECOND FLOOR STAIR FRAMING DETAILS

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00
Drawing Date: 7/21/22
Coord Name: M. HYATT
Coord Phone: 859.578.4290

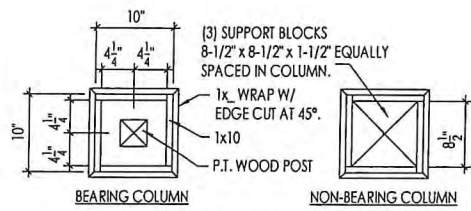
House Name: the BUCHANAN
Drawing Scale: 1/8" = 1'-0"
Contract Drawn By: LJR

Series: SERIES_NM

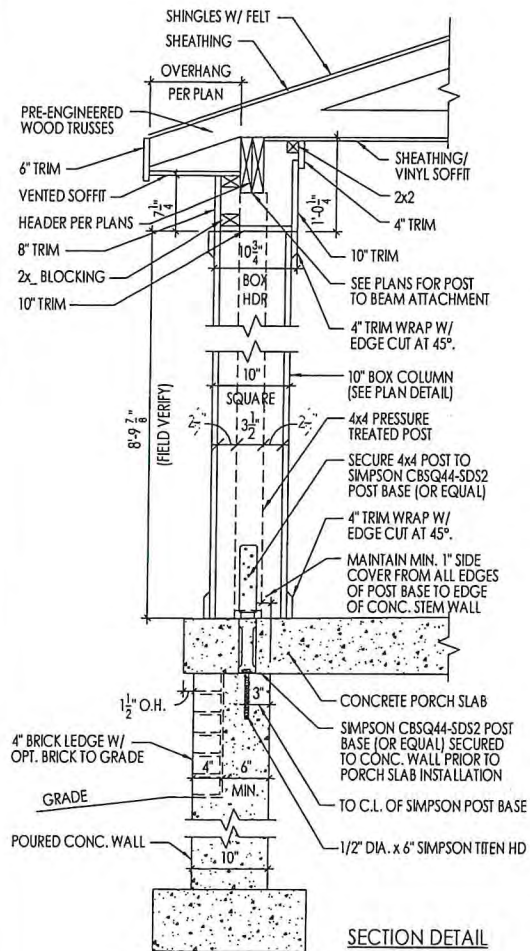
Born on Date: 08/27/2010
CDs Drawn By: SSP
Plan No.: PLAN_NM

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7.01
House Specific Details
Elevation "N"

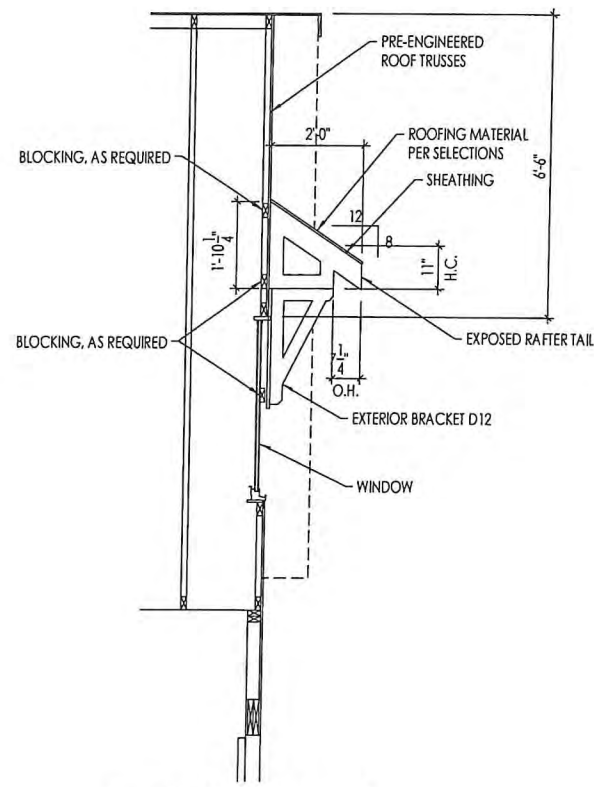


10" BOX COLUMN - PLAN DETAIL



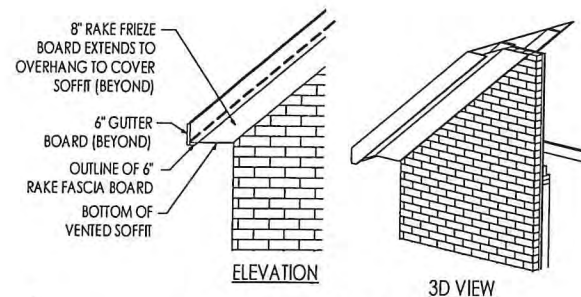
10" BOX COLUMN DETAILS

A
7.02
SCALE: 1/2" = 1'-0"



B
7.02
SHED ROOF DETAIL

SCALE: 1/4" = 1'-0"



C
7.02
RAFTER TAIL DETAIL

SCALE: 1/4" = 1'-0"

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DRES ON YOUR LOT

Job Number: DOYL-0109-00
Drawing Date: 7/21/22
Coord Name: M. HYATT
Coord Phone: 859.578.4290

House Name: the BUCHANAN
Drawing Scale: 1/8" = 1'-0"
Contract Drawn By: LJR

Series: SERIES_NM

Plan No.: PLAN_NM

Born on Date: 08/27/2010
CDs Drawn By: SSP

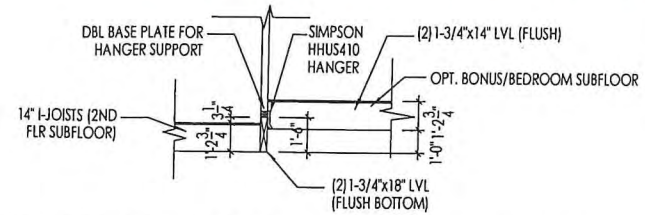
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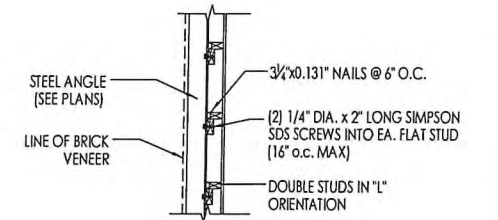
Sheet Information

7.02

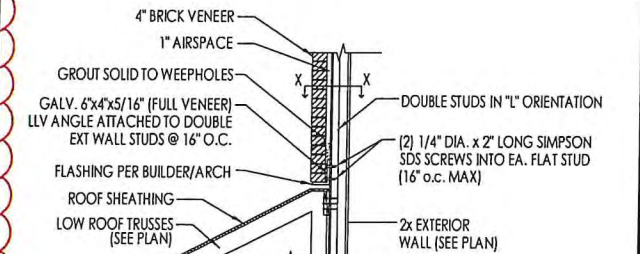
House Specific Details
Elevation "N"



D
7.03
FLUSH BOTTOM AT ROOM ABOVE FAMILY ROOM
SCALE: 1/8" = 1'0"



PLAN VIEW X-X



SECTION VIEW

C
7.03
BRICK DOUBLE STUD DETAIL
NOT TO SCALE

Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	
Contract Drawn By: LJR			Series: SERIES_NM
Plan No.:			PLAN_NM

the BUCHANAN

Born on Date: 08/27/2010 CDs Drawn By: SSP

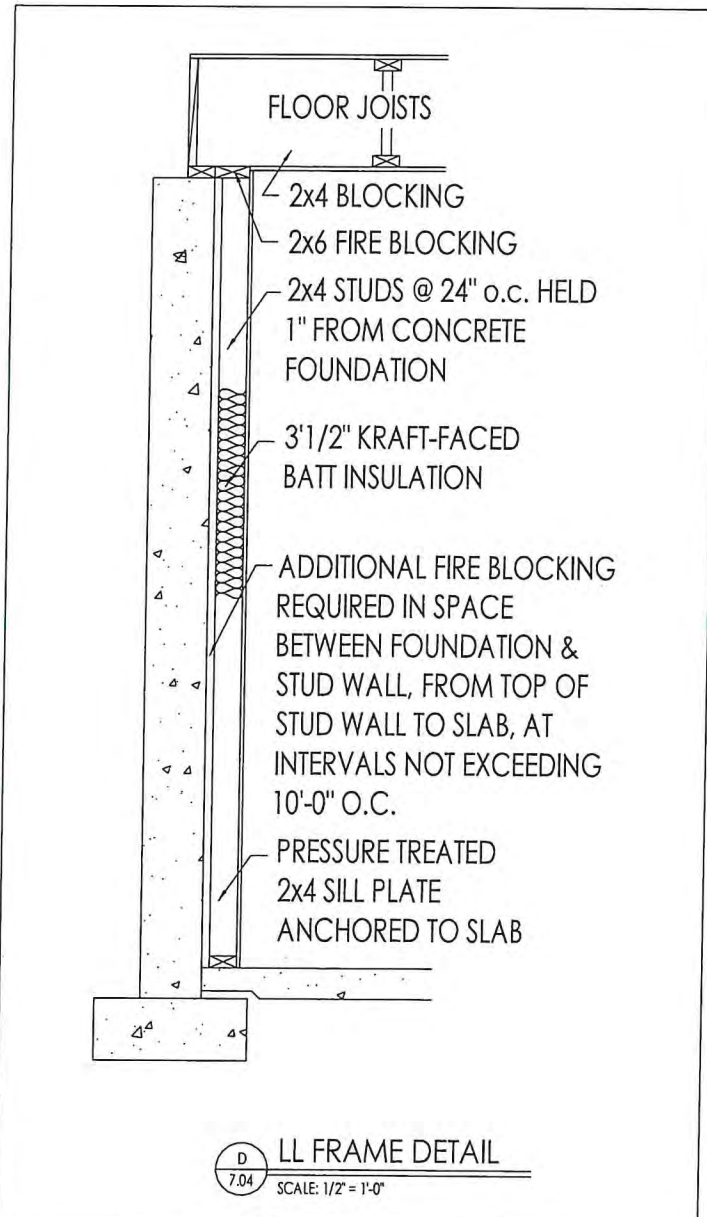
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Sheet Information

7.03
House Specific Details
Elevation "N"



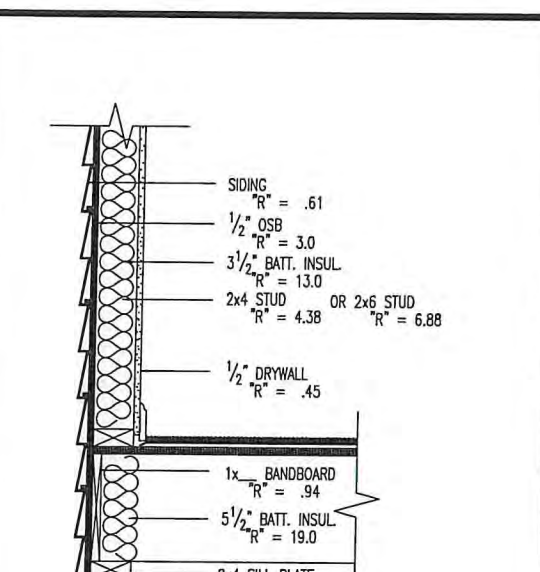
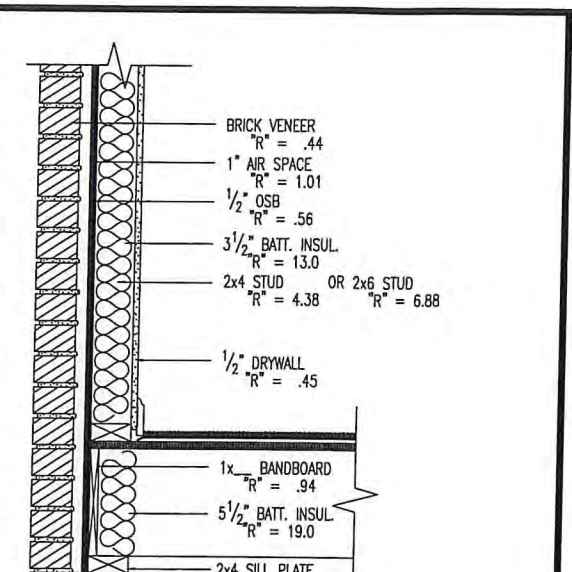
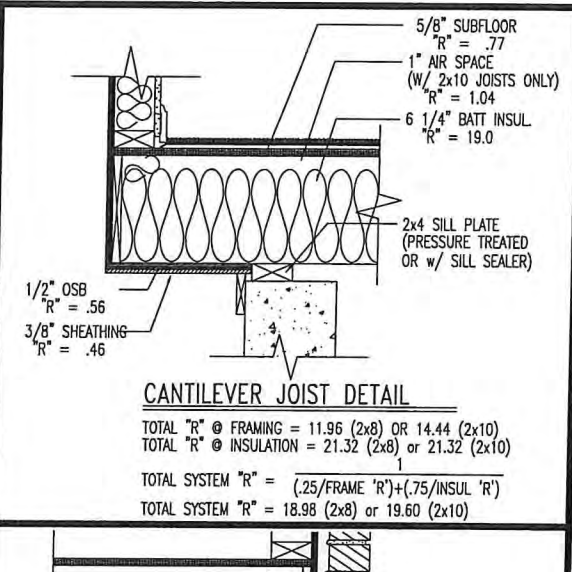
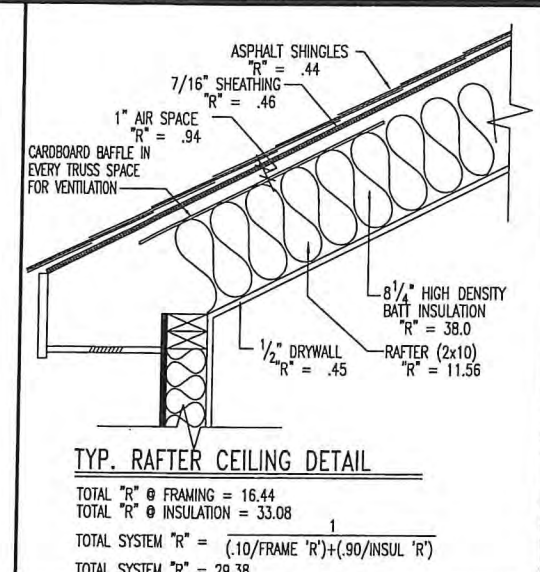
Space for Architect Seal

RESIDENCE FOR:
SCHWARTZ
2531 LAFAYETTE DRIVE
DREES ON YOUR LOT

Job Number: DOYL-0109-00	Drawing Date: 7/21/22	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010			CDs Drawn By: SSP PLAN_NM

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Phone: (440) 717-9670

Sheet Information
7.04
House Specific Details
Elevation "N"



ENERGY REQUIREMENTS

AIR LEAKAGE
JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED. THE MAXIMUM LEAKAGE RATE FOR MANUFACTURED WINDOWS IS 0.34 CFM/FT OF OPERABLE SLASH CRACK. THE MAXIMUM LEAKAGE RATE FOR MANUFACTURED DOORS IS 0.5 CFM/SQ.FT. OF DOOR AREA.

VAPOR RETARDER
VAPOR RETARDERS MUST BE INSTALLED ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS. THIS REQUIREMENT DOES NOT APPLY TO THE FOLLOWING LOCATIONS NOR WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS.

TEXAS	ZONES 2-5
ALABAMA, GEORGIA, N.CAROLINA, OKLAHOMA, S.CAROLINA	ZONES 4-6
ARKANSAS, TENNESSEE	ZONES 6-7
FLORIDA, HAWAII, LOUISIANA, MISSISSIPPI	ALL ZONES

MATERIALS AND INSULATION INFORMATION
MATERIALS AND EQUIPMENT MUST BE IDENTIFIED SO THAT COMPLIANCE CAN BE DETERMINED. MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED. INSULATION R-VALUES, GLAZING AND DOOR U-VALUES, AND HEATING AND COOLING EQUIPMENT EFFICIENCY (IF HIGH-EFFICIENCY CREDIT IS TAKEN) MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

DUCT INSULATION
SUPPLY AND RETURN DUCTS FOR HEATING AND COOLING SYSTEMS LOCATED IN UNCONDITIONED SPACES MUST BE INSULATED TO THE LEVELS SHOWN BELOW.

EXCEPTIONS: INSULATION IS NOT REQUIRED FOR EXHAUST AIR DUCTS, DUCTS WITHIN HVAC EQUIPMENT, AND WHEN THE DESIGN TEMPERATURE DIFFERENCE BETWEEN THE AIR IN THE DUCT AND THE SURROUNDING AIR IS 25° OR LESS.

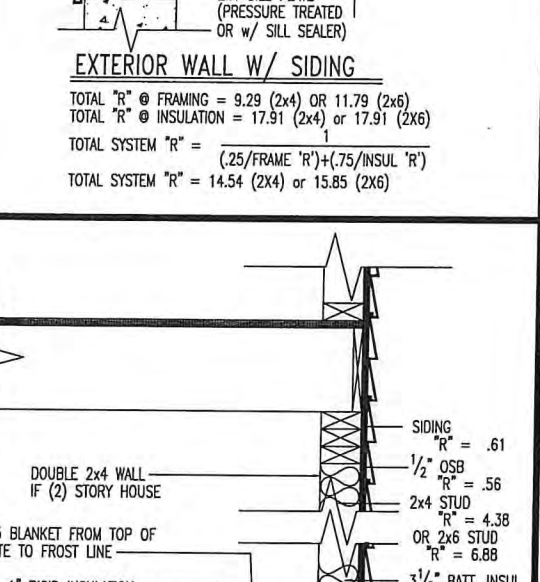
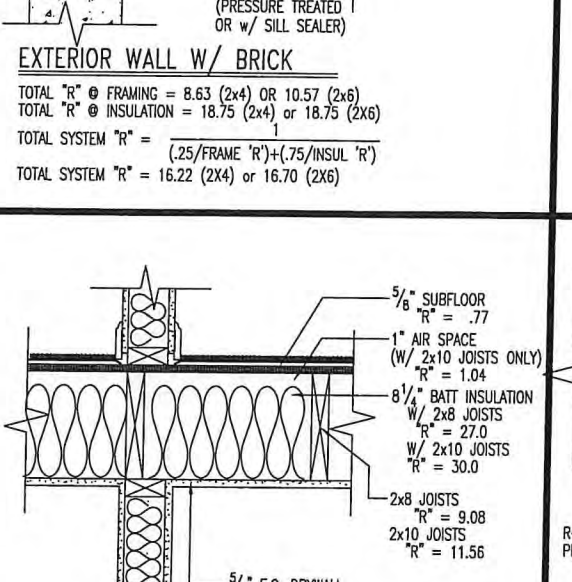
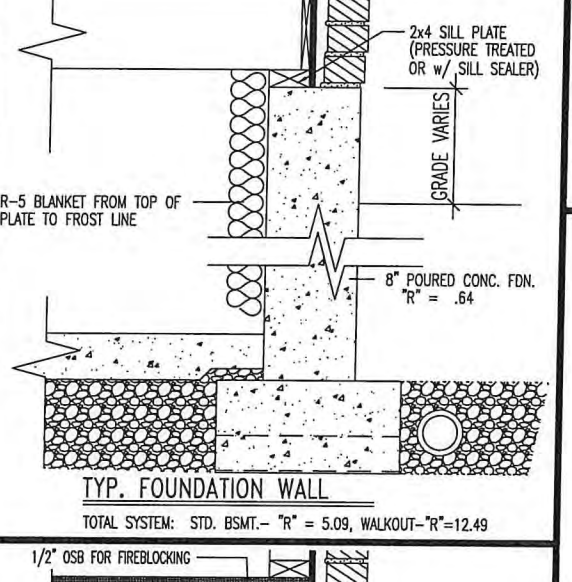
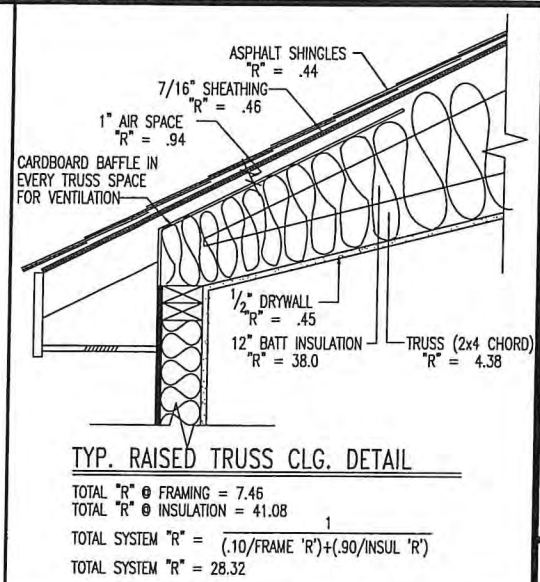
DUCT CONSTRUCTION
ALL TRANSVERSE JOINTS MUST BE SEALED WITH MASTIC, TAPE, OR MASTIC PLUS TAPE. THE HVAC SYSTEM MUST PROVIDE A MEANS FOR BALANCING AIR AND WATER SYSTEMS.

TEMPERATURE CONTROLS
THERMOSTATS ARE REQUIRED FOR EACH SEPARATE HVAC SYSTEMS IN SINGLE-FAMILY BUILDINGS AND EACH DWELLING UNIT IN MULTIFAMILY BUILDINGS (NON-DWELLING PORTIONS OF MULTIFAMILY BUILDINGS MUST HAVE ONE THERMOSTAT FOR EACH SYSTEM OF ZONE). THERMOSTATS MUST HAVE THE FOLLOWING RANGES:
HEATING ONLY: 55°F - 75°F
COOLING ONLY: 70°F - 85°F
HEATING AND COOLING: 55°F - 85°F

A MANUAL OR AUTOMATIC MEANS TO PARTIALLY RESTRICT OR SHUT OFF THE HEATING AND/OR COOLING INPUT TO EACH ZONE OR FLOOR SHALL BE PROVIDED FOR SINGLE-FAMILY HOMES AND TO EACH ROOM FOR MULTIFAMILY BUILDINGS.

HVAC PIPING INSULATION
HVAC PIPING IN UNCONDITIONED SPACES CONVEYING FLUIDS AT TEMPERATURES ABOVE 120°F OR CHILLED FLUIDS AT LESS THAN 55°F MUST BE INSULATED TO THE LEVELS SHOWN BELOW.

ELECTRIC SYSTEMS
EACH MULTIFAMILY DWELLING UNIT MUST BE EQUIPPED WITH SEPARATE ELECTRIC MEANS.

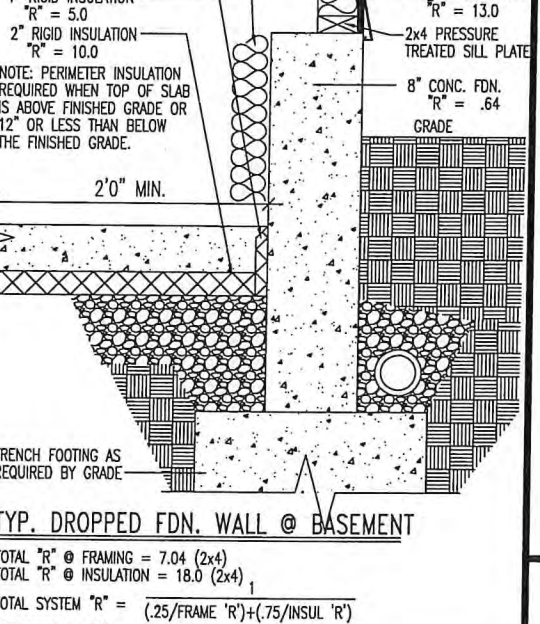
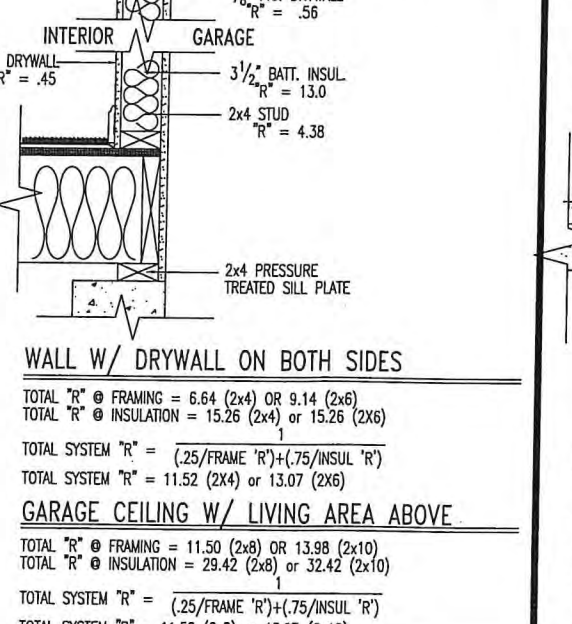
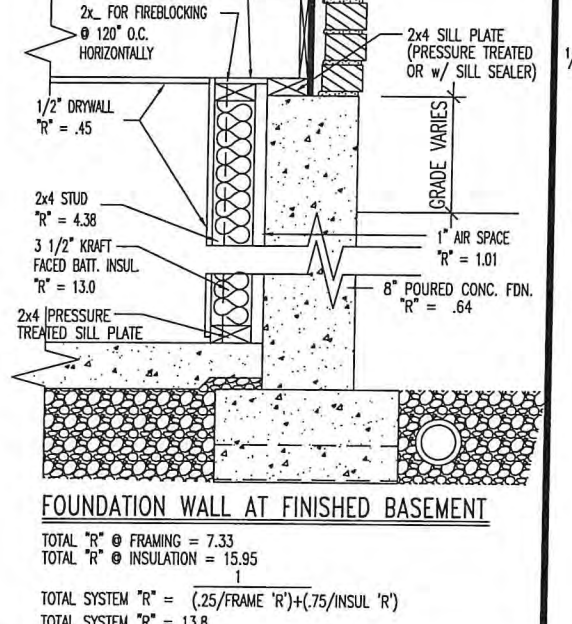
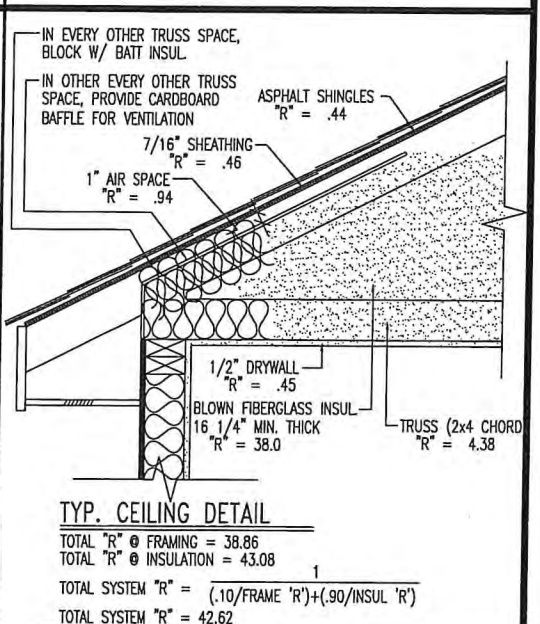


DUCT INSULATION R-VALUE REQUIREMENTS

DUCT INSULATION R-VALUE REQUIREMENTS	
DUCTS LOCATED IN: ATTICS, CRAWL SPACES, EXTERIOR CAVITIES, OUTSIDE	DUCTS LOCATED IN: UNHEATED BASEMENTS
R-6	R-6

MINIMUM INSULATION R-VALUE FOR CIRCULATING HOT WATER PIPES

INSULATION R-VALUE
R-2



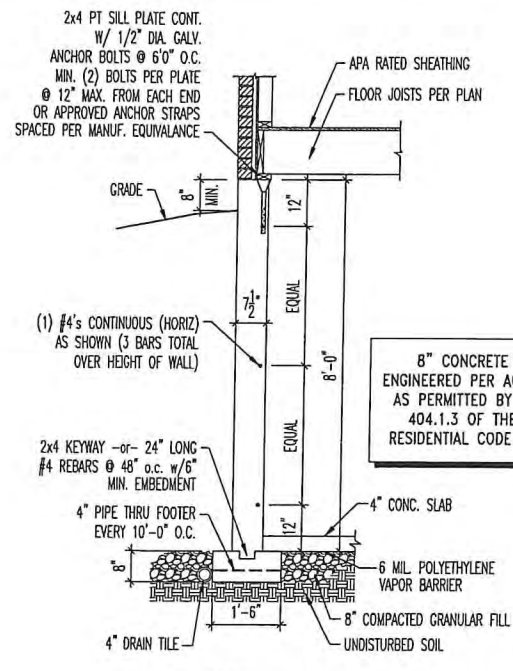
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REVISIONS / ISSUANCES:	BAC / JDK	Std. Drawn By: BAC/JDK	Sheet Description: DREES INSULATION DETAILS
REVISE FOR CLEVELAND PRESCRIPTIVE SPECS	4/9/09 / GJP	Std. Chk. By: JAT	SCALE: 3/4" = 1'-0"
		Std. Date: 10/02/96	Contract Drawn By: CONTRACT DRAWN BY
		Date of Last Rev: 11/14/08 BLC	Phone #: DRAWN BY PHONE
			Coordinator's Name: COORDINATOR NAME
			Coordinator's Phone #: COORDINATOR PHONE
			Original Site Specific Dwg. & Effective Change Order Date:

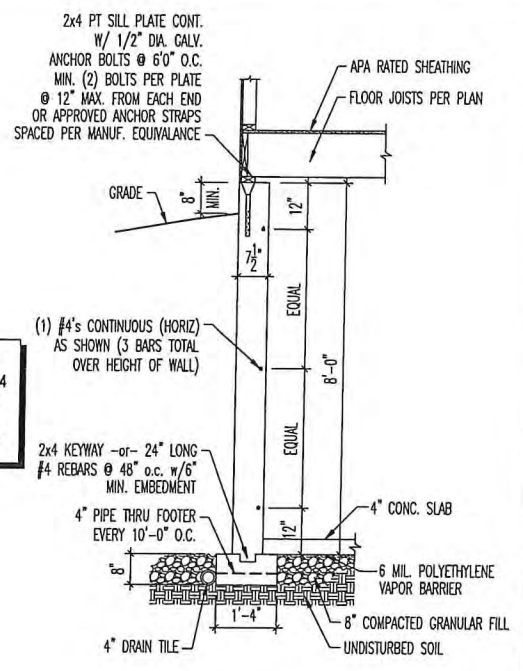
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Customer Name:	CUS_NM		DO
Job Address:	JOB_AD		

CONTRACT DATE	
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OHIO



BRICK WRAP

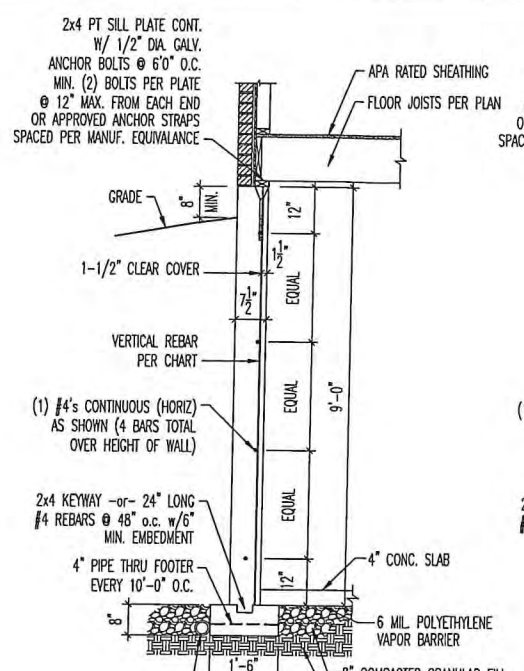


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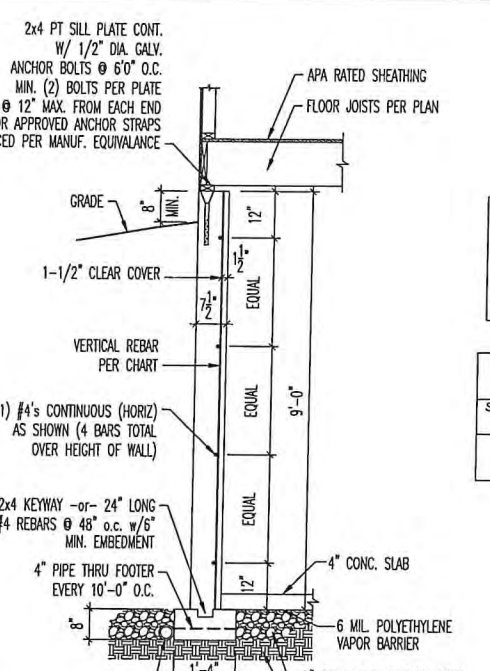
CONCRETE SPECIFICATION CHART

SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
60	*3000*	2500

1 8' FOUNDATION WALL DETAIL
D1.1 SCALE: 1/4" = 1'-0"



BRICK WRAP



FRAME WRAP

CONCRETE SPECIFICATION CHART

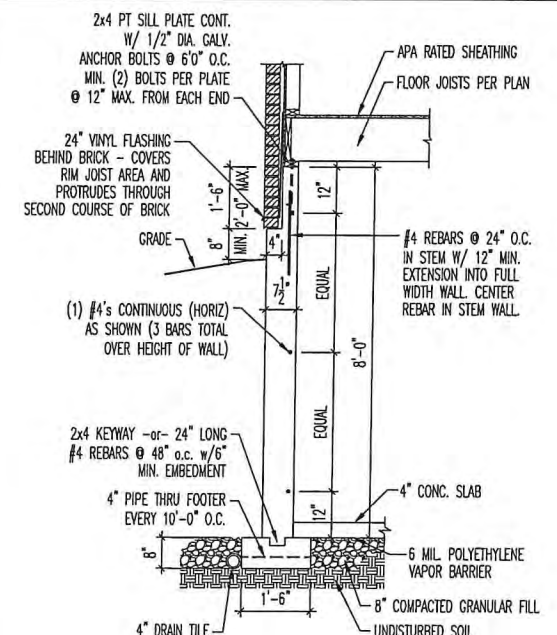
SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
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2 9' FOUNDATION WALL DETAIL
D1.1 SCALE: 1/4" = 1'-0"

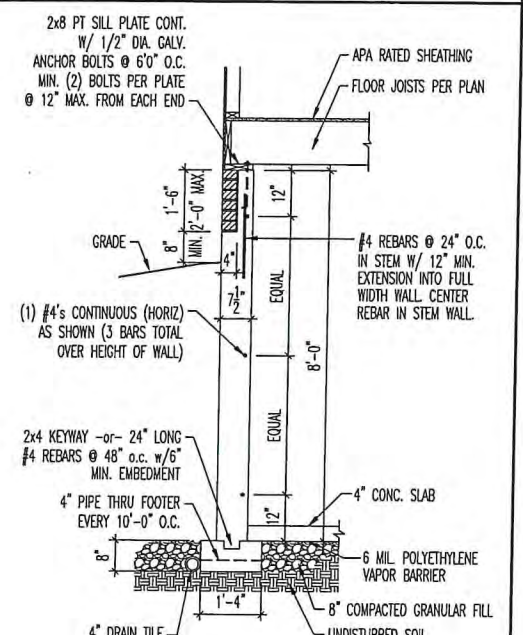
8" CONCRETE WALL ENGINEERED PER ACI 332-14 AS PERMITTED BY SECTION 404.1.3 OF THE 2019 RESIDENTIAL CODE OF OHIO

VERTICAL REBAR CHART

SOIL TYPE (PCF)	REBAR	SPACING
60	#4 VERT.	@ 15" o.c.
	#5 VERT.	@ 22" o.c.
	#6 VERT.**	@ 31" o.c.



BRICK WRAP

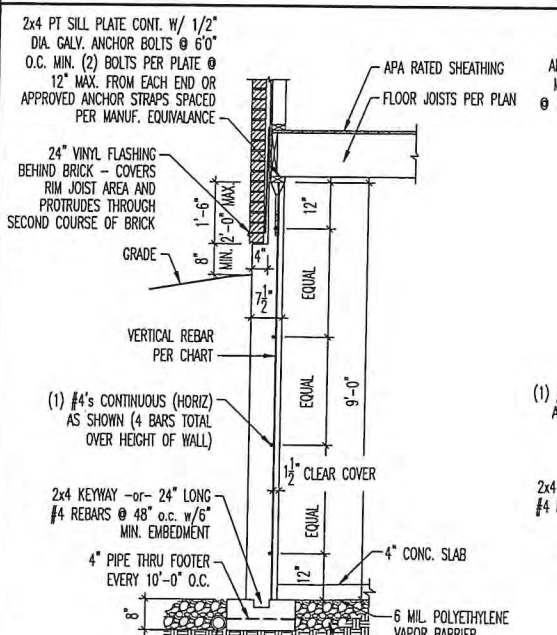


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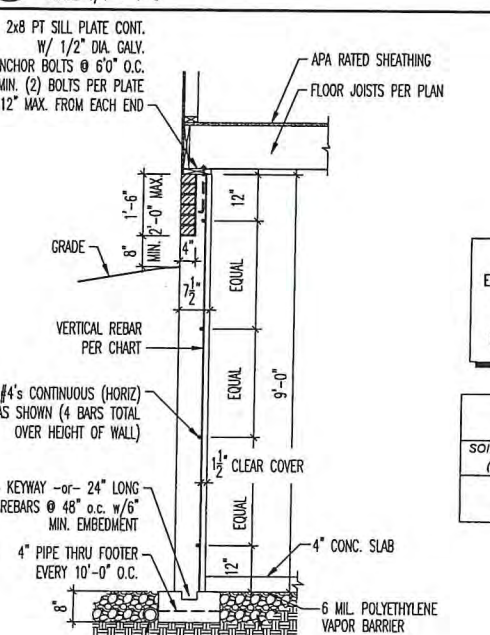
CONCRETE SPECIFICATION CHART

SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
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3 8' FOUNDATION WALL DETAIL WITH DROPPED BRICK LEDGE
D1.1 SCALE: 1/4" = 1'-0"



BRICK WRAP



FRAME WRAP

CONCRETE SPECIFICATION CHART

SOIL TYPE (PCF)	WALL (PSI)	FOOTING (PSI)
60	*3000*	2500

4 9' FOUNDATION WALL DETAIL WITH DROPPED BRICK LEDGE
D1.1 SCALE: 1/4" = 1'-0"

8" CONCRETE WALL ENGINEERED PER ACI 332-14 AS PERMITTED BY SECTION 404.1.3 OF THE 2019 RESIDENTIAL CODE OF OHIO

VERTICAL REBAR CHART

SOIL TYPE (PCF)	REBAR	SPACING
60	#4 VERT.	@ 15" o.c.
	#5 VERT.	@ 22" o.c.
	#6 VERT.**	@ 31" o.c.



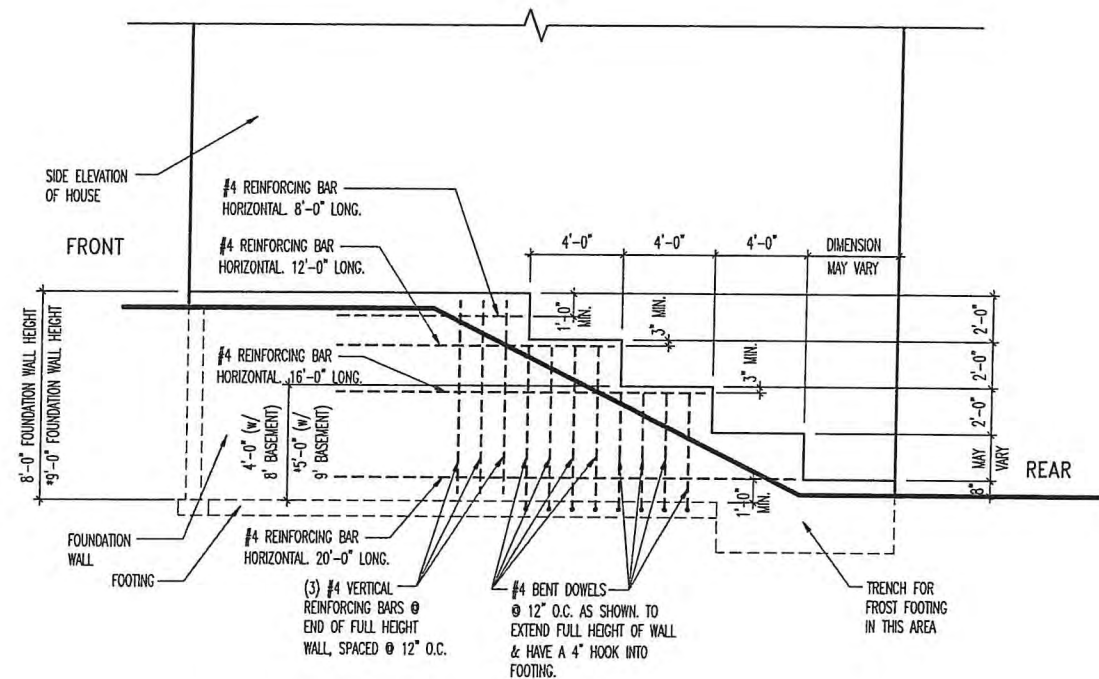
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Std. By:	ALL	Sheet Description:	MIDWEST REGION
Chk. By:	ARC		OHIO FOUNDATION DETAILS - 2000 PSF (MIN.) SOIL BEARING
Std. Date:	5/22/09		
Date of Last Rev.	01/03/19 AKS		g:\architecture\outlook 2004\symbols\details\general\mulhern and kulp engineering\basement foundation details.dwg 9.23.2019

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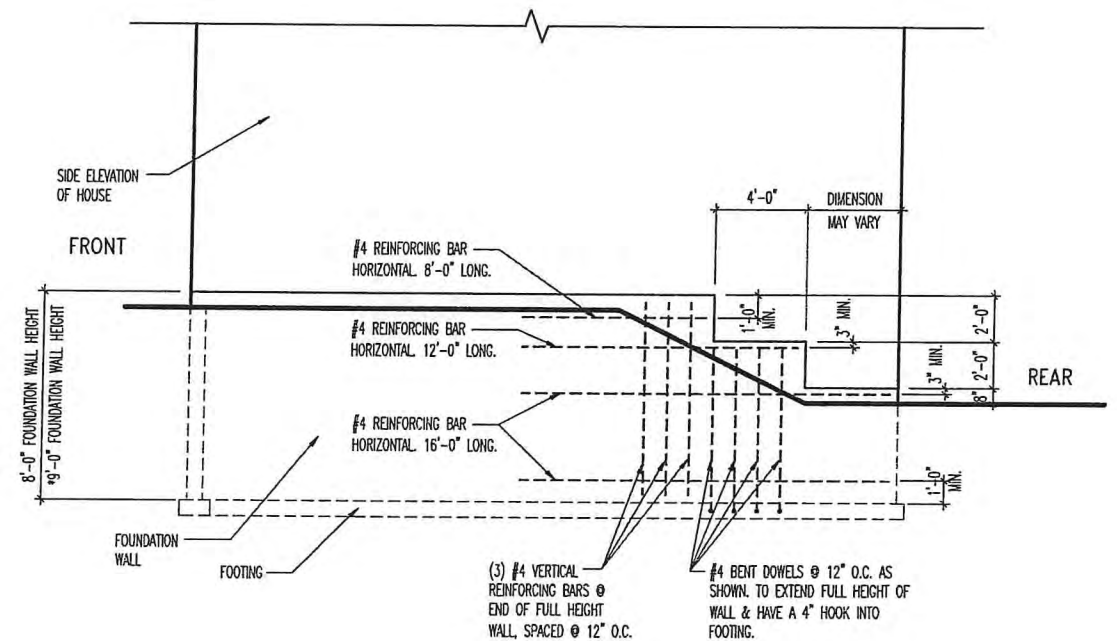


Sheet No.
D1.1



STEPPED FOUNDATION WALL DETAIL
WITH WALKOUT BASEMENT

1
D1.2
SCALE: 1/8" = 1'-0"



STEPPED FOUNDATION WALL DETAIL
WITH DAYLIGHT BASEMENT

2
D1.2
SCALE: 1/8" = 1'-0"



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Chk. By: ARC
Std. Date: 5/22/09
Date of 01/03/19 AKS
Last Rev.

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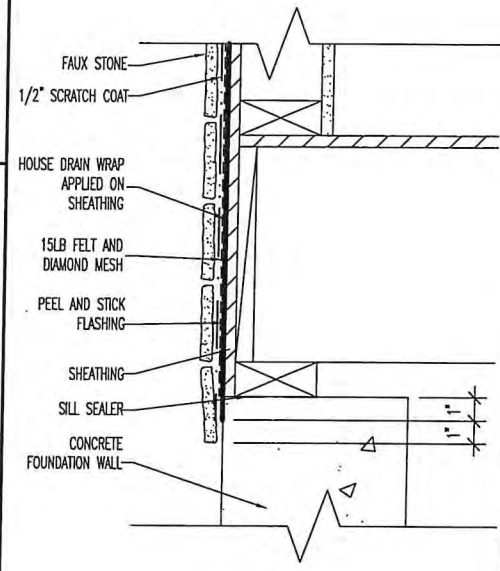
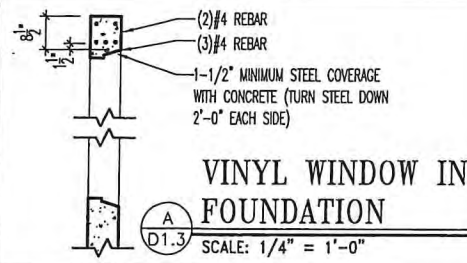
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STEPPED FOUNDATION DETAILS

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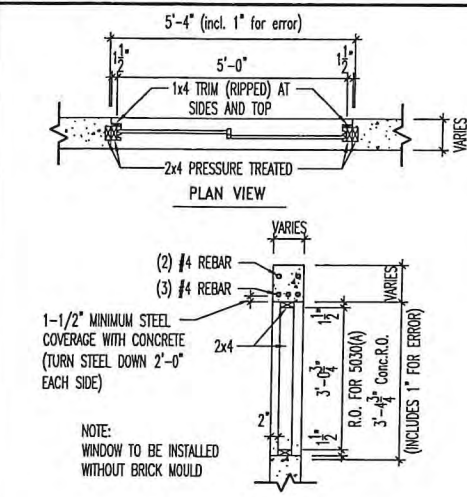
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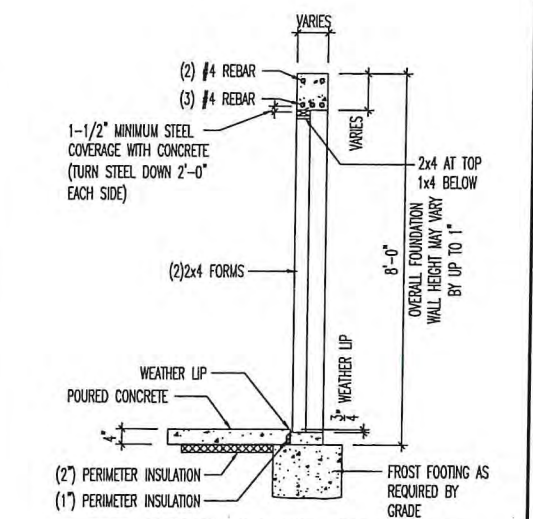
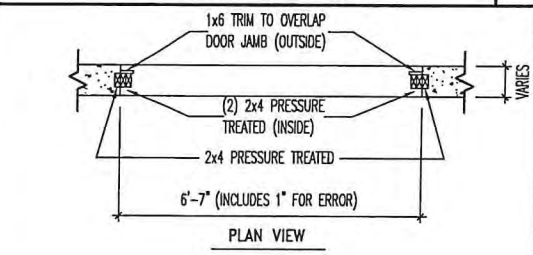
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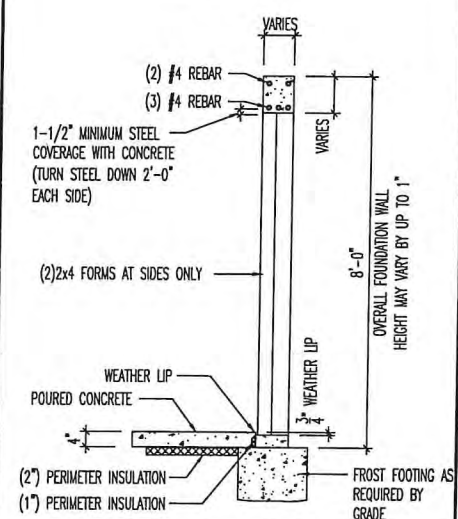
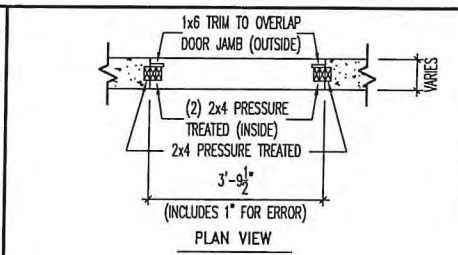
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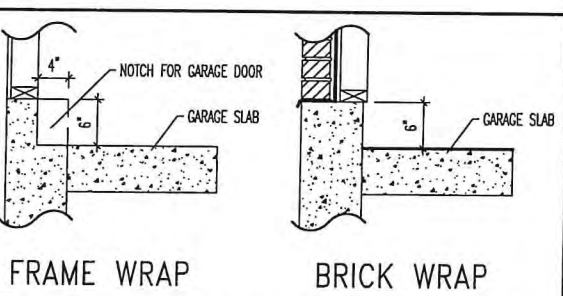
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C
D1.3 SCALE: 1/4" = 1'-0"



E
D1.3 SCALE: 1/4" = 1'-0"



F
D1.3 FOUNDATION DROP @ GARAGE DOOR DETAIL
SCALE: 1/2" = 1'-0"



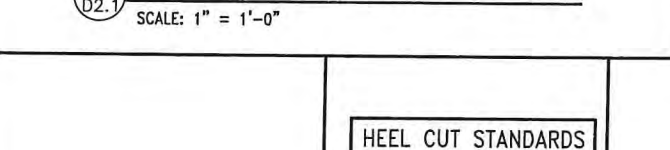
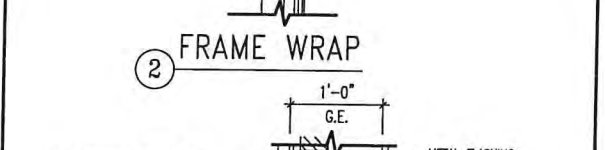
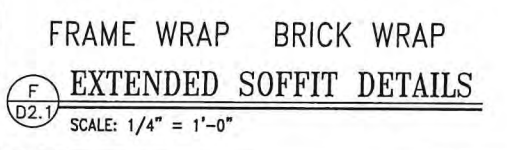
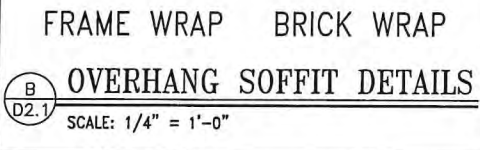
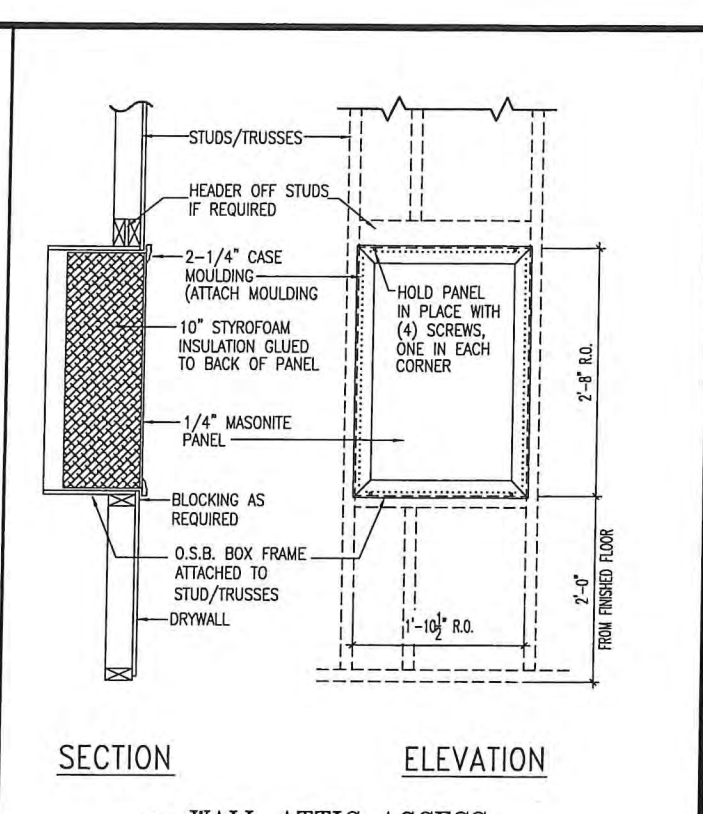
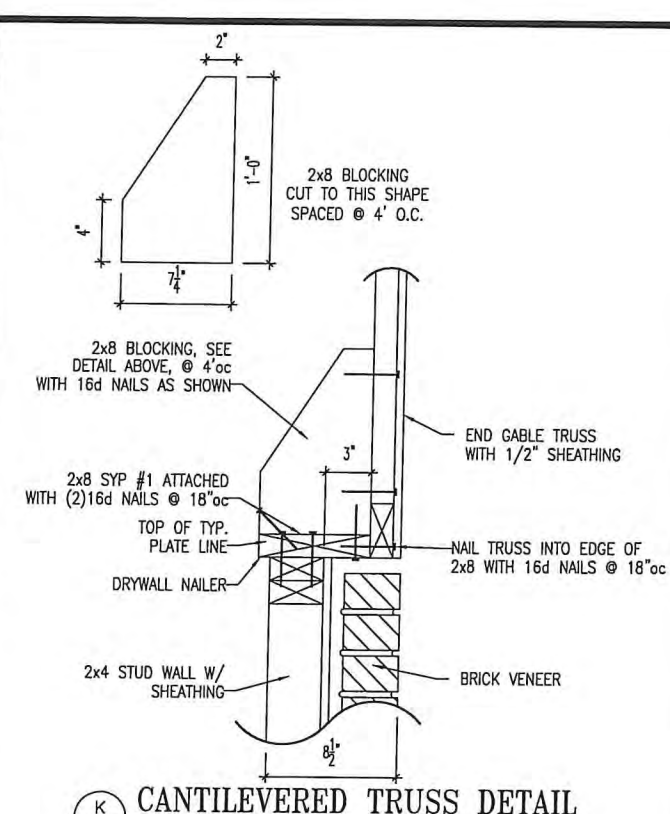
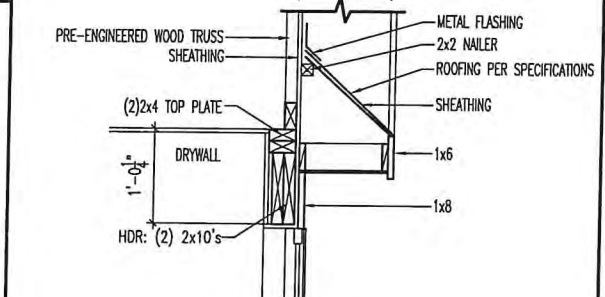
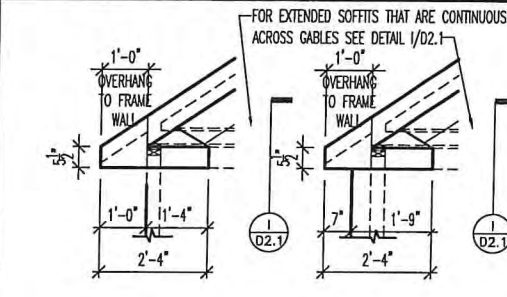
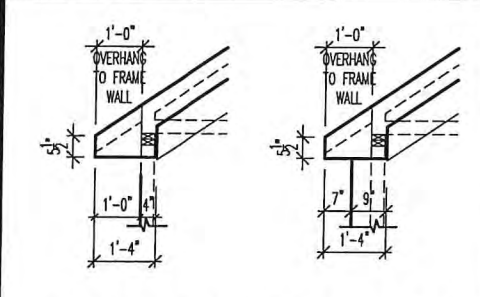
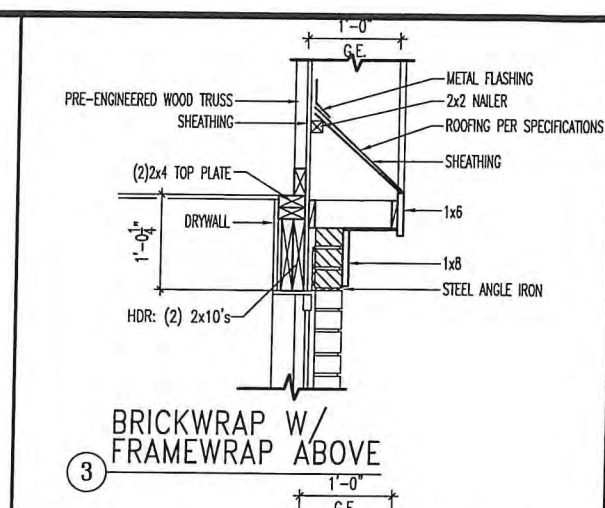
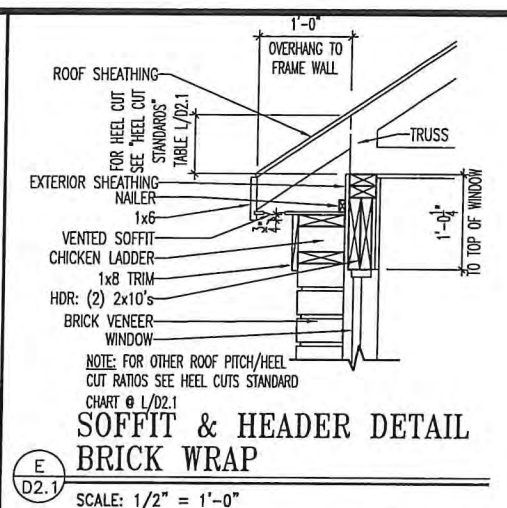
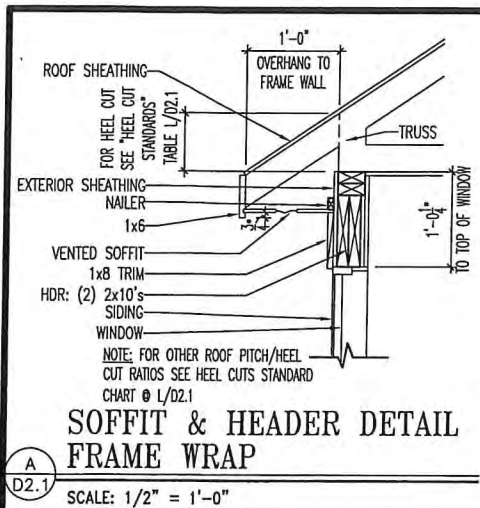
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STD. DETAIL SHEET
REGION:
CLEVELAND

Std. By:	ALL	Sheet Description:	FOUNDATION DETAILS
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Std. Date:	10.11.06		
Date of Last Rev:	12/19/07 BRG		

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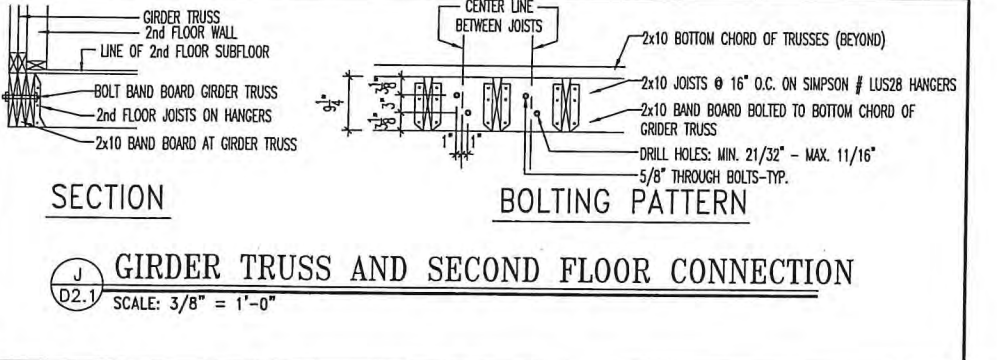
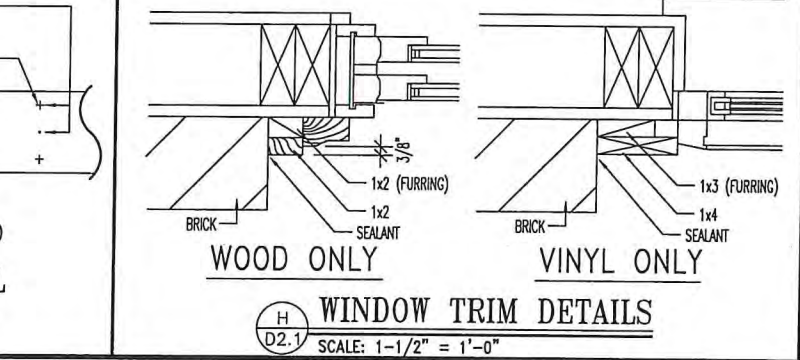
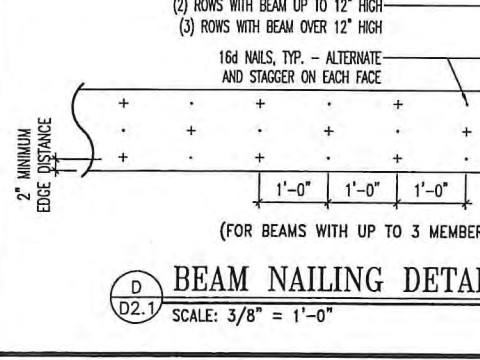
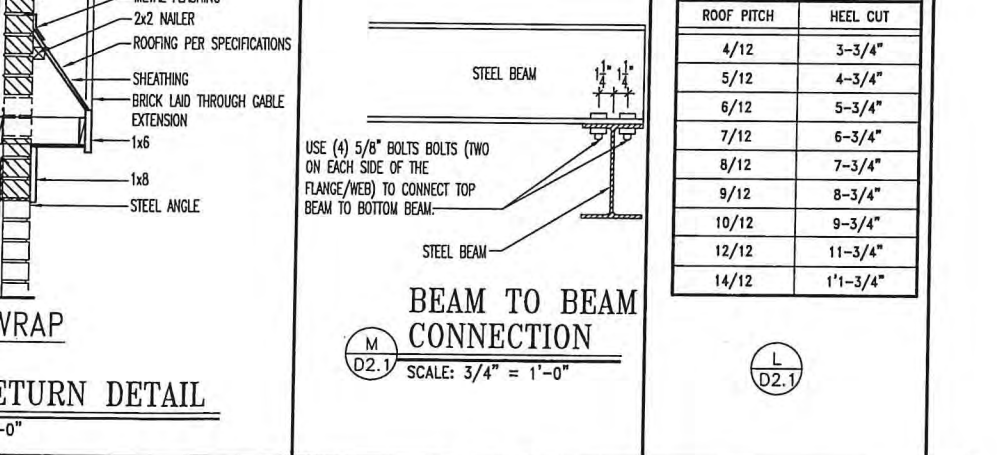
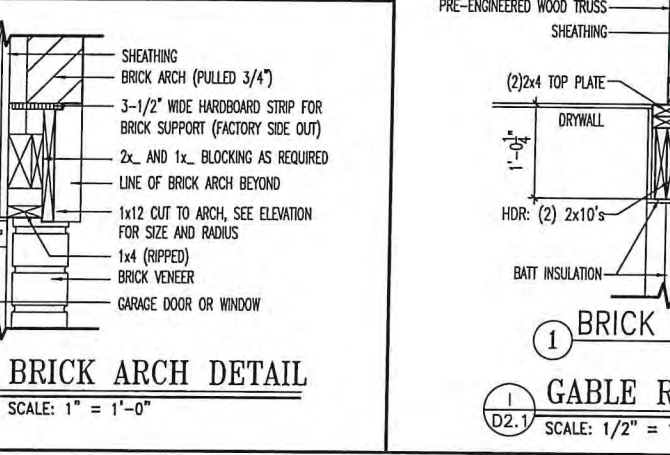
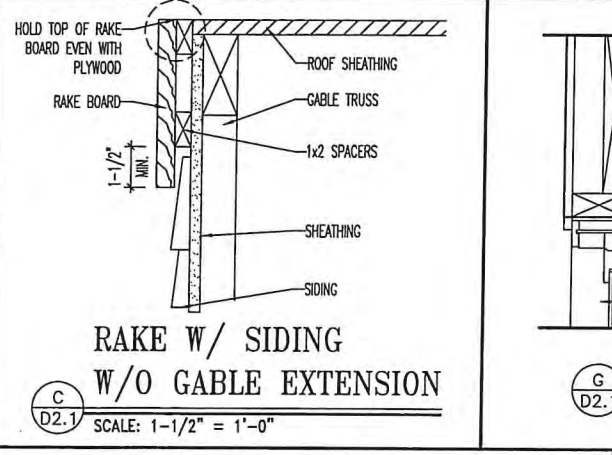
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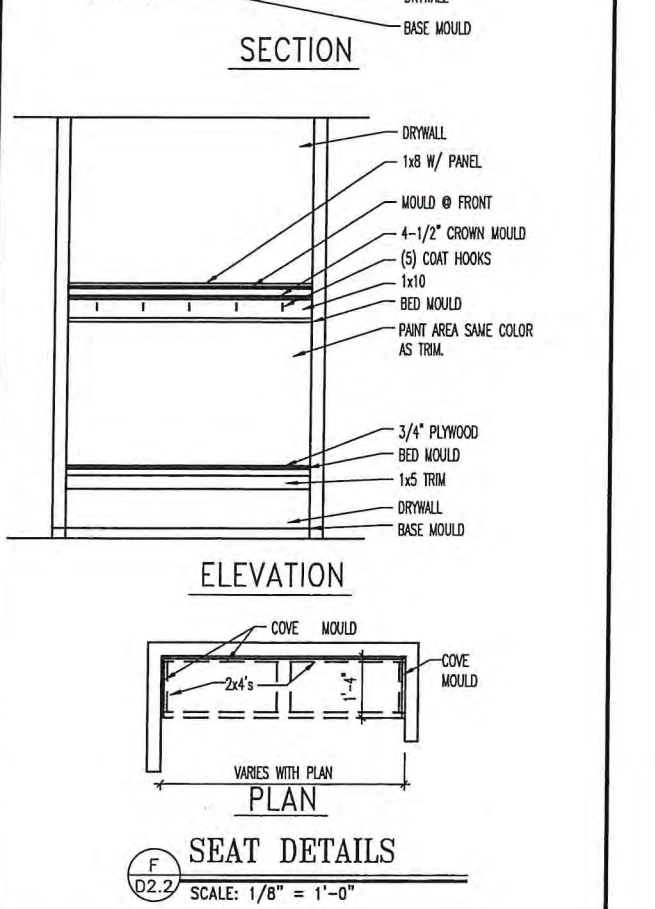
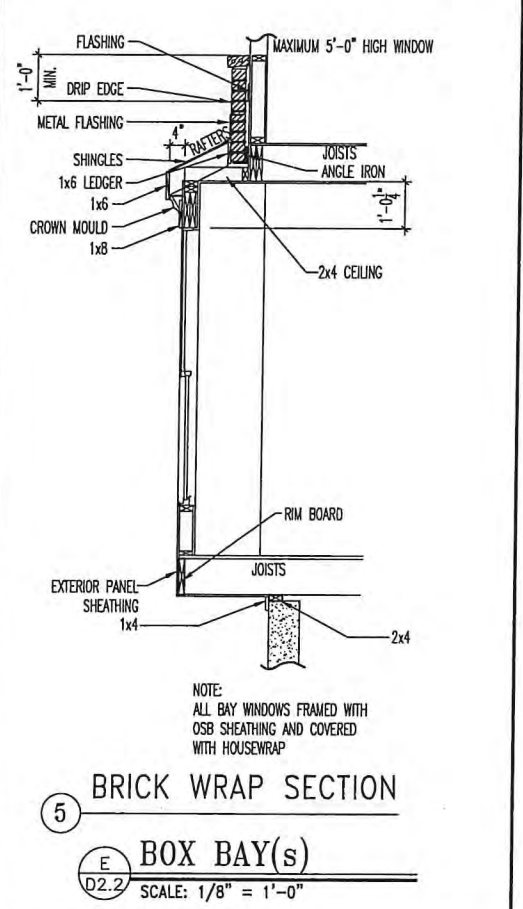
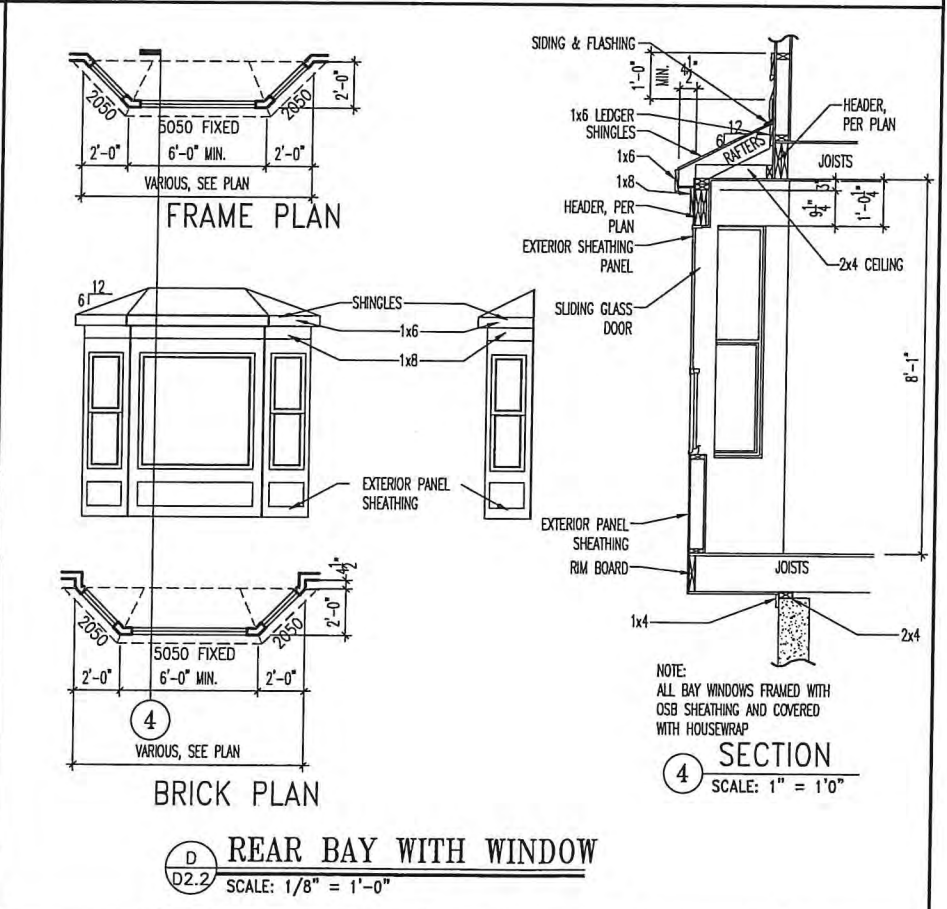
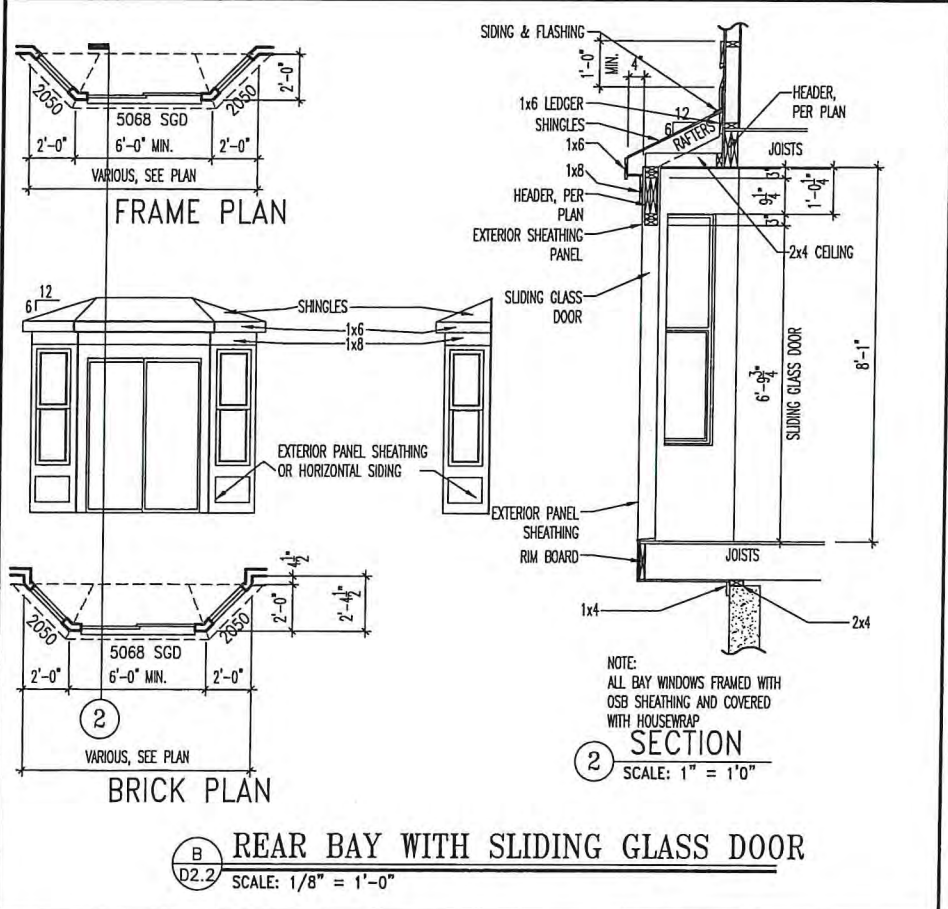
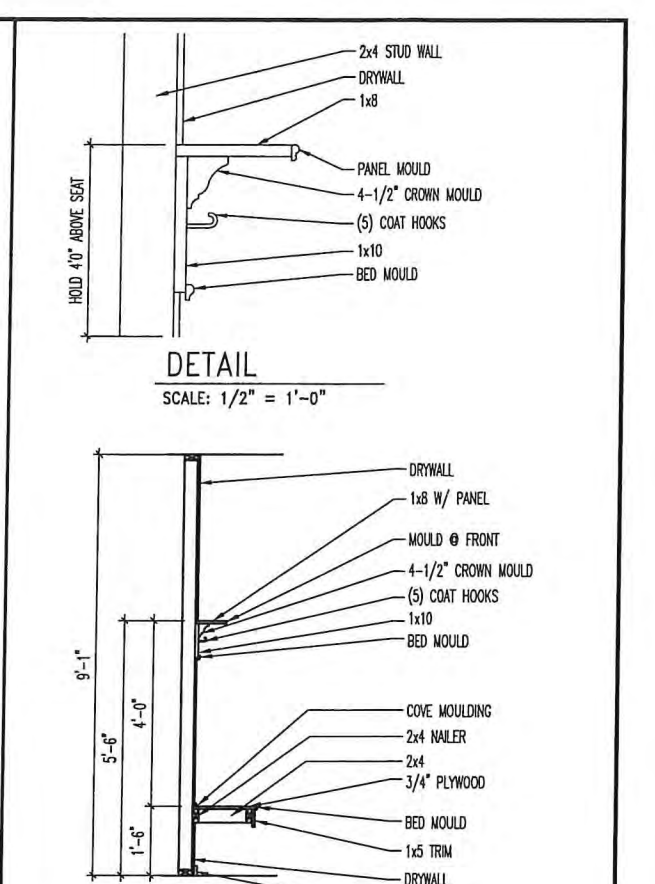
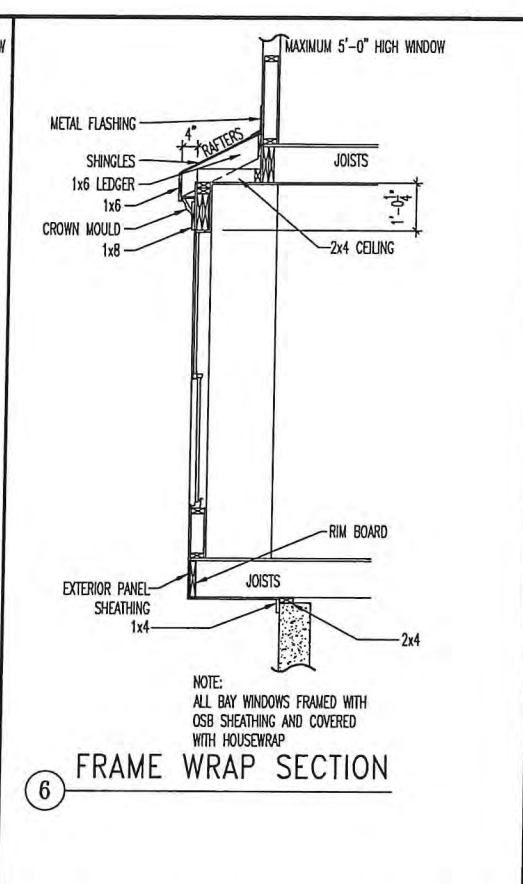
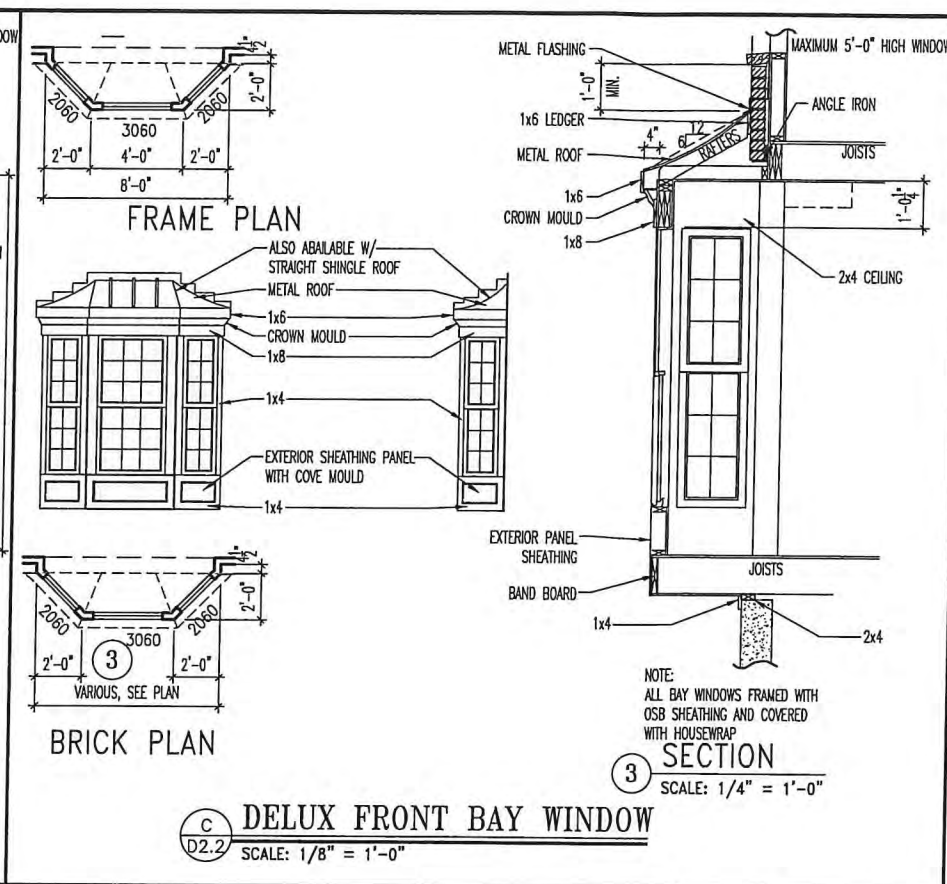
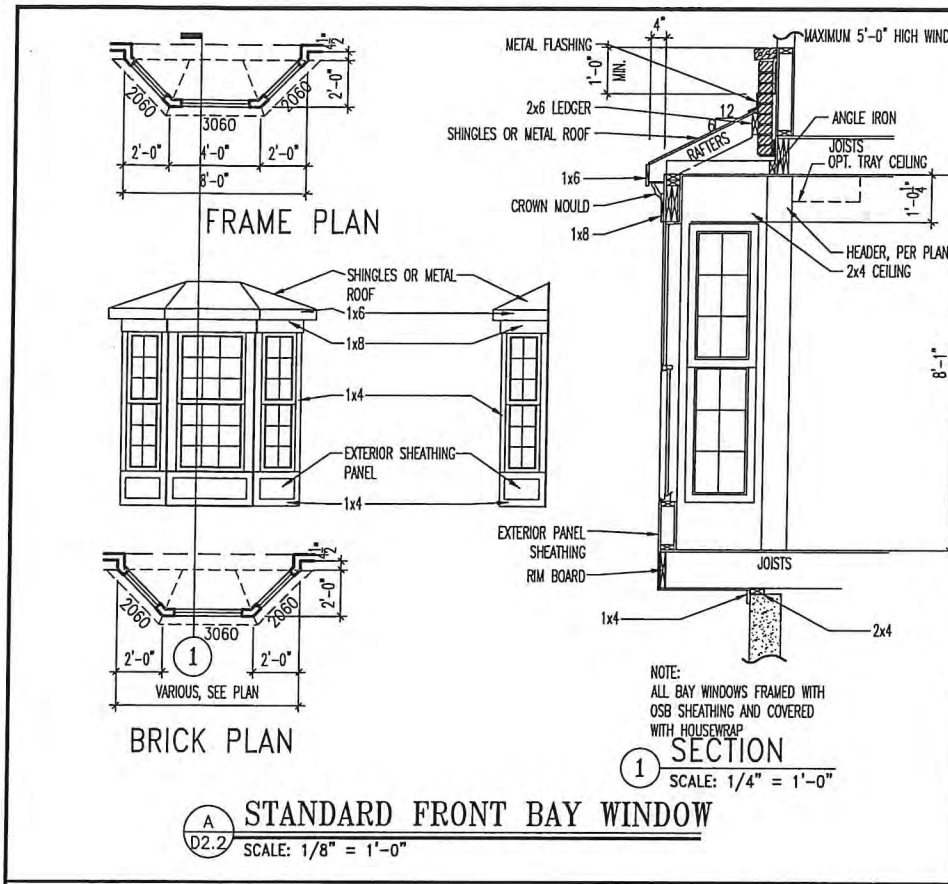


HEEL CUT STANDARDS

ROOF PITCH	HEEL CUT
4/12	3-3/4"
5/12	4-3/4"
6/12	5-3/4"
7/12	6-3/4"
8/12	7-3/4"
9/12	8-3/4"
10/12	9-3/4"
12/12	11-3/4"
14/12	1'-1-3/4"

L
D2.1





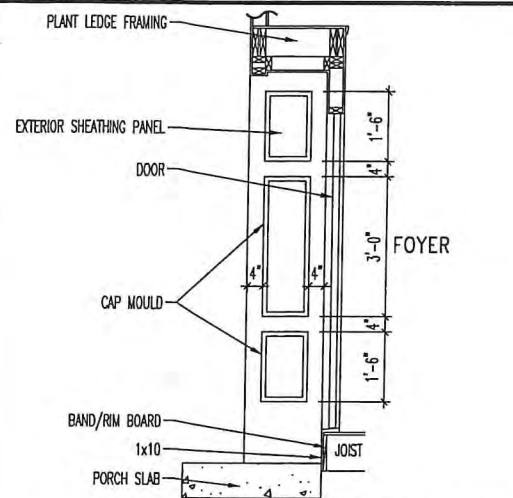
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STD. DETAIL SHEET
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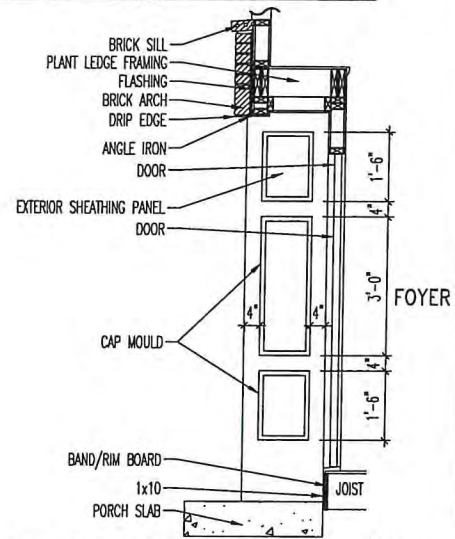
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Chk. By:	ARC		
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Date of Last Rev:	02/25/09 DAB		

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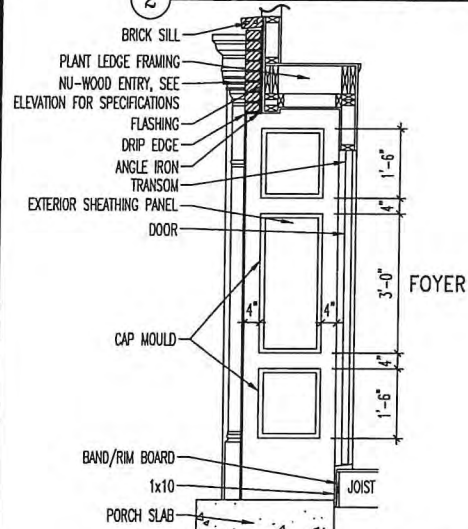
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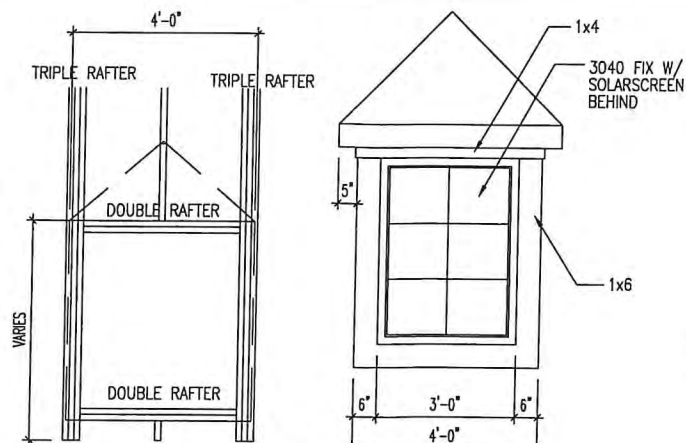
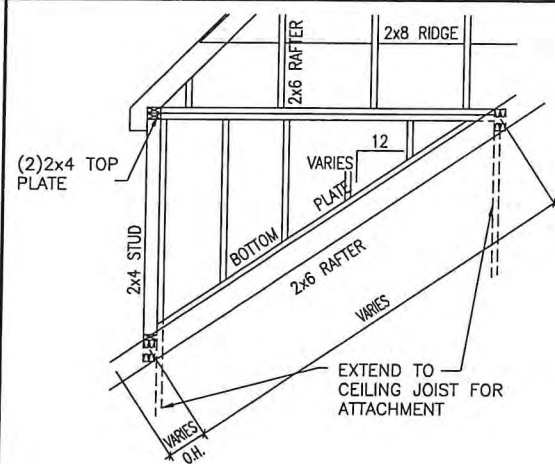


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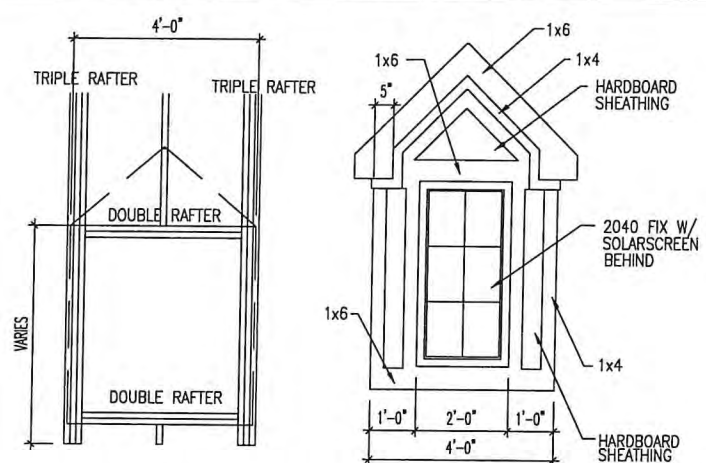
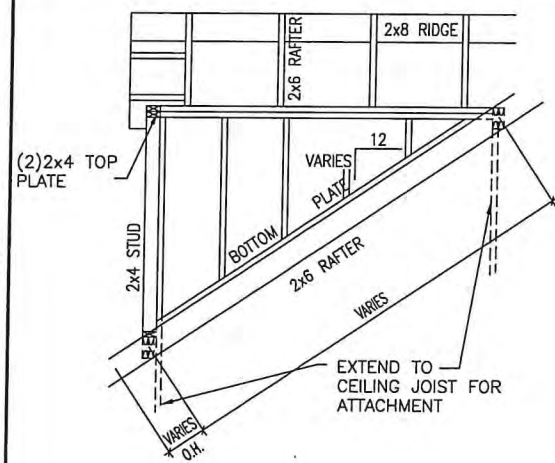
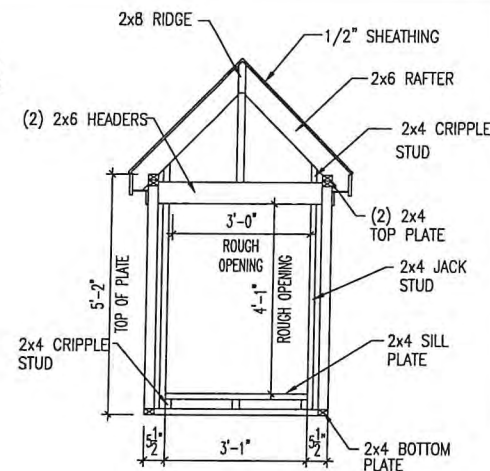


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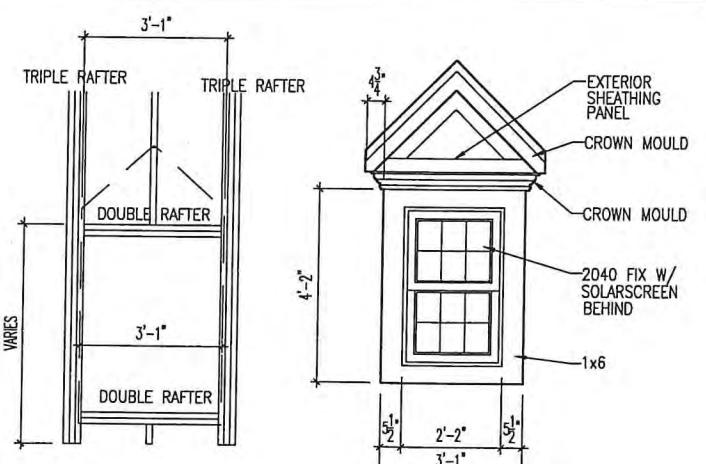
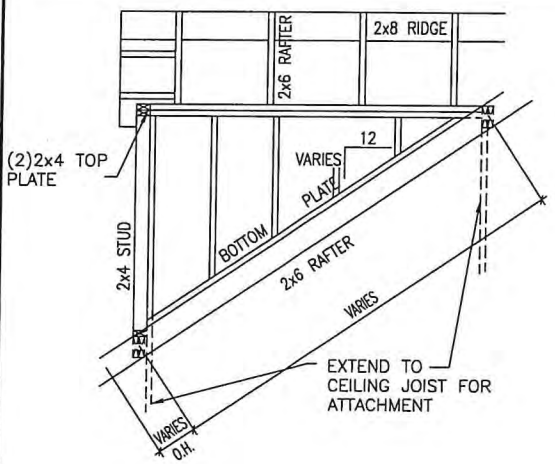
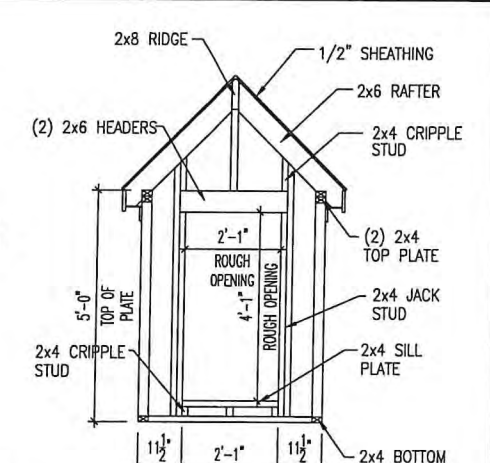
A RECESSED ENTRY DETAILS
D2.3 SCALE: 1/4" = 1'-0"



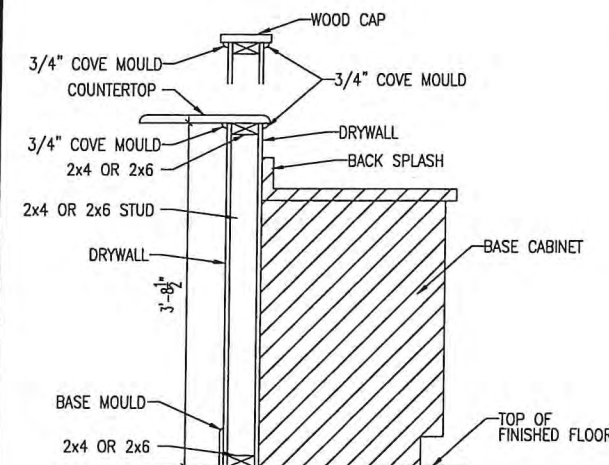
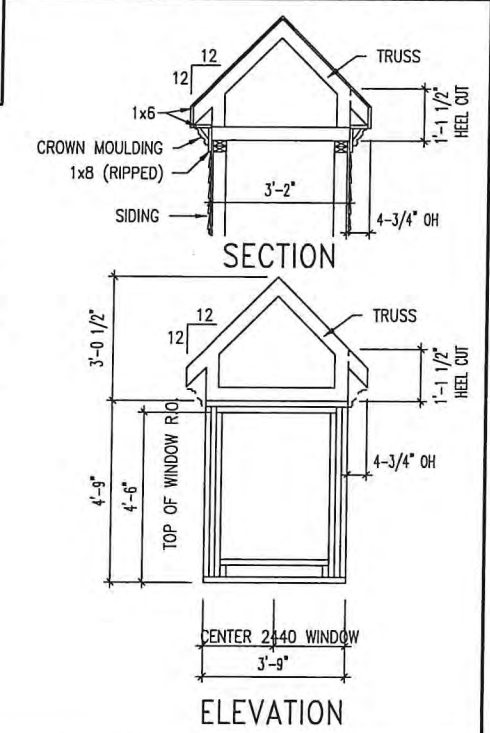
B HIP DORMER DETAILS
D2.3 SCALE: 1/2" = 1'-0"



C GABLE DORMER DETAILS
D2.3 SCALE: 1/2" = 1'-0"



D DELUX GABLE DORMER DETAILS
D2.3 SCALE: 1/2" = 1'-0"



E KITCHEN HALF WALL DETAIL
D2.3 SCALE: 1/2" = 1'-0"



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STD. DETAIL SHEET
REGION:
CLEVELAND

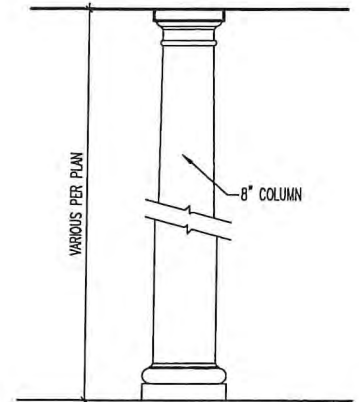
Std. By: ALL
Chk. By: ARC
Std. Date: 10.11.06
Date of Last Rev: 12/19/07 BRG

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RECESSED ENTRY DETAILS
DORMER DETAILS

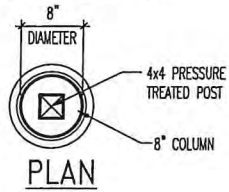
DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Jun 10, 2015 - 10:15am

Sheet No.
D2.3



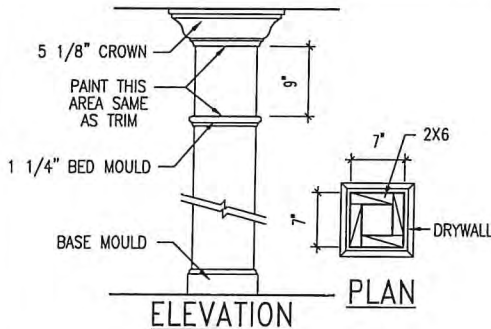
ELEVATION



PLAN

**ROUND COLUMN
DETAIL (INTERIOR/
EXTERIOR)**

A
D2.4
SCALE: 1/2" = 1'-0"

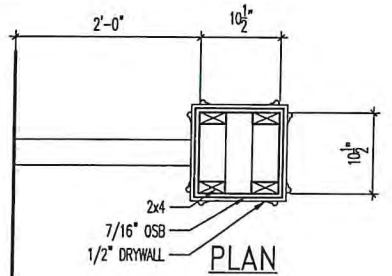


ELEVATION

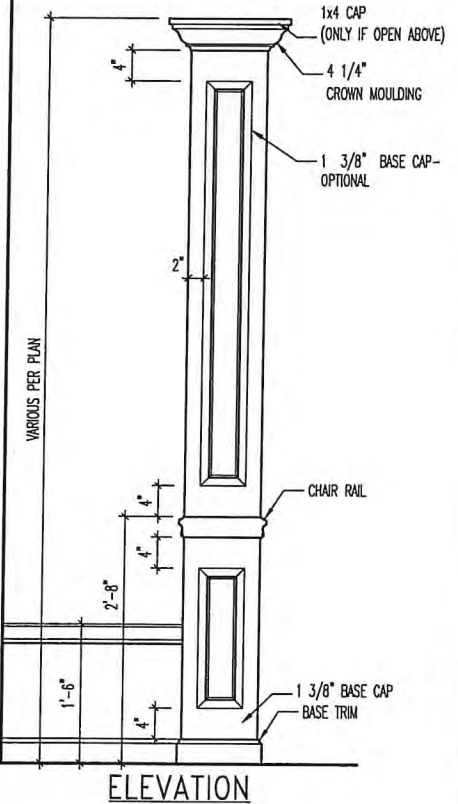
PLAN

**BOX COLUMN DETAIL
(INTERIOR/EXTERIOR)**

C
D2.4
SCALE: 1/2" = 1'-0"



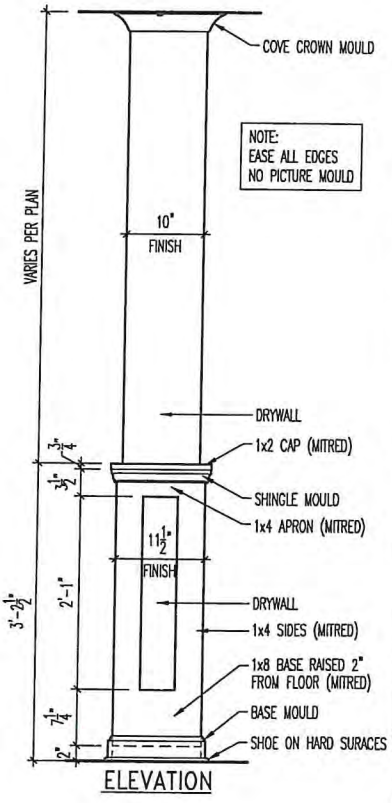
PLAN



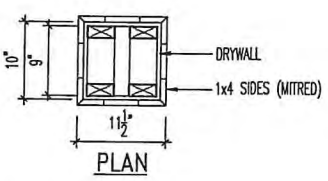
ELEVATION

COLUMN DETAIL (INTERIOR)

D
D2.4
SCALE: 1/2" = 1'-0"



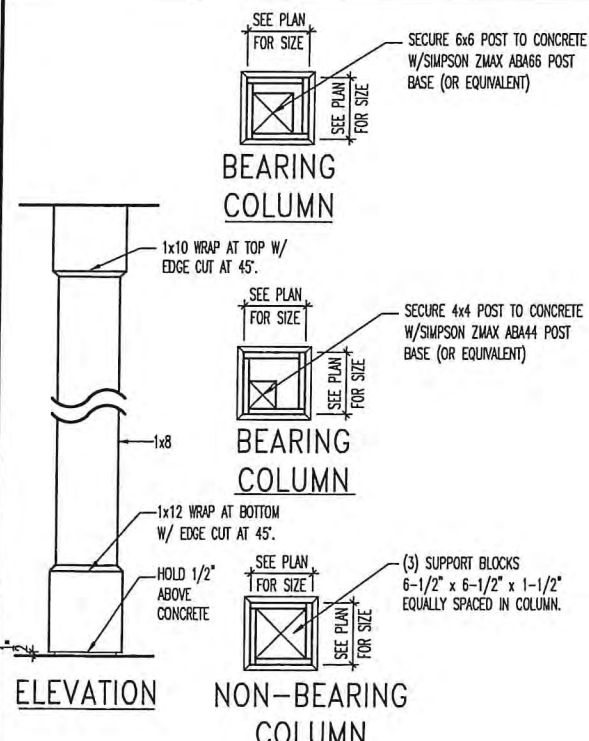
ELEVATION



PLAN

**CRAFTSMAN
INTERIOR COLUMN**

D
D2.4
SCALE: 1/2" = 1'-0"



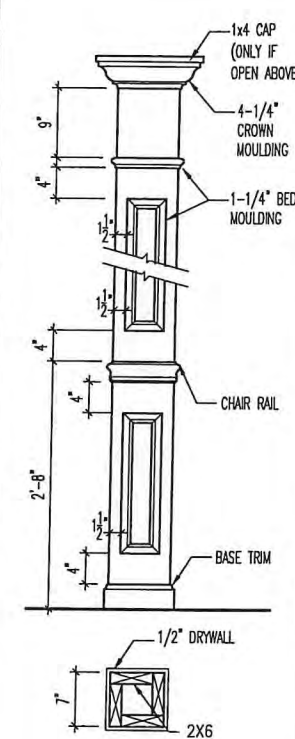
BEARING
COLUMN

BEARING
COLUMN

NON-BEARING
COLUMN

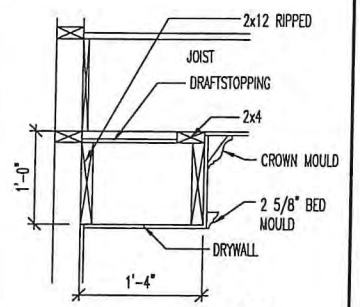
**BOX COLUMN DETAIL
(FRONT PORCH)**

B
D2.4
SCALE: 1/2" = 1'-0"



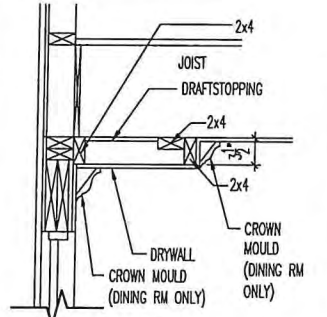
PLAN VIEW
INTERIOR
COLUMN

E
D2.4
SCALE: 1/2" = 1'-0"



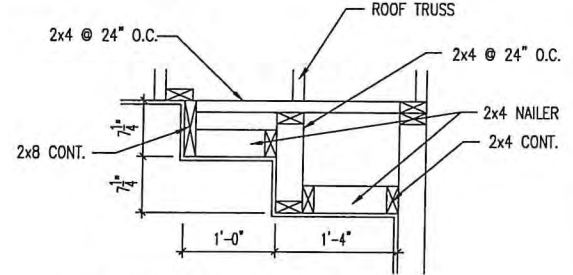
TRAY CEILING
DETAIL

G
D2.4
SCALE: 1/2" = 1'-0"



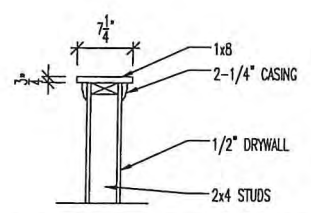
TRAY CEILING
DETAIL

H
D2.4
SCALE: 1/2" = 1'-0"



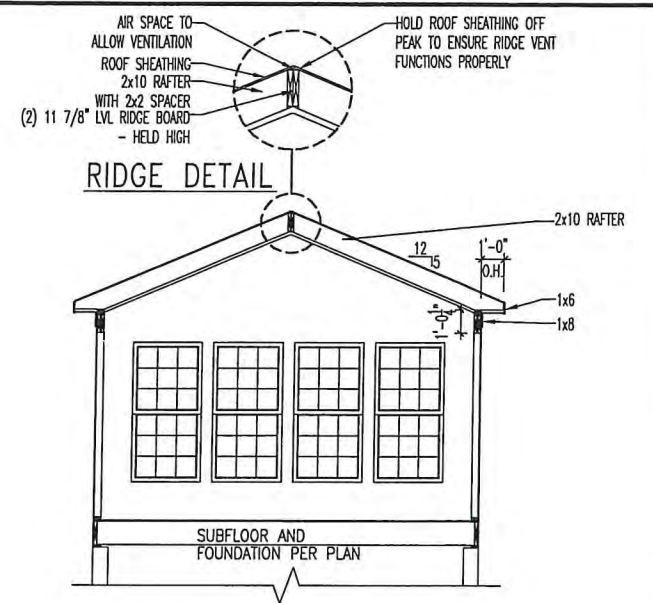
TRAY CEILING
DETAIL

I
D2.4
SCALE: 1/2" = 1'-0"



HALF WALL CAP
DETAIL

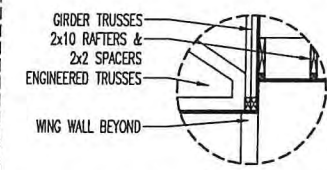
F
D2.4
SCALE: 1/2" = 1'-0"



RIDGE
DETAIL

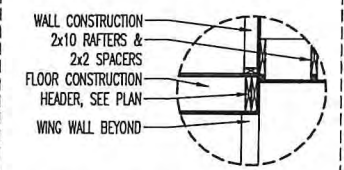
SECTION THROUGH LARGE 10x16 SUNROOM

K
D2.4
SCALE: 1/8" = 1'-0"



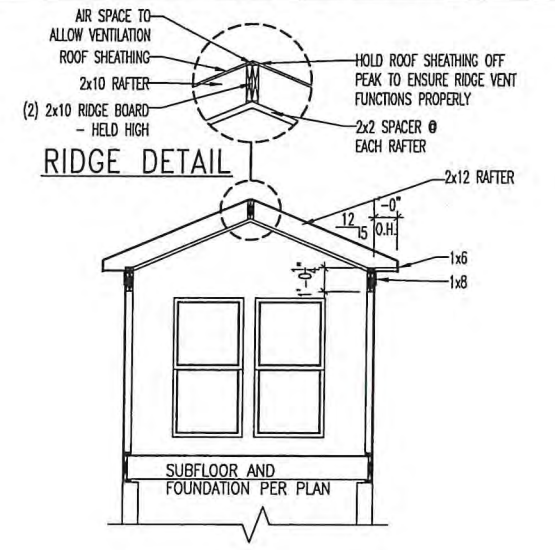
SUNROOM HEADER
DETAIL - RANCH

SCALE: 1/4" = 1'-0"



SUNROOM HEADER
DETAIL - 2 STORY

SCALE: 1/4" = 1'-0"



RIDGE
DETAIL

SECTION THROUGH SMALL 10x10 SUNROOM

L
D2.4
SCALE: 1/8" = 1'-0"



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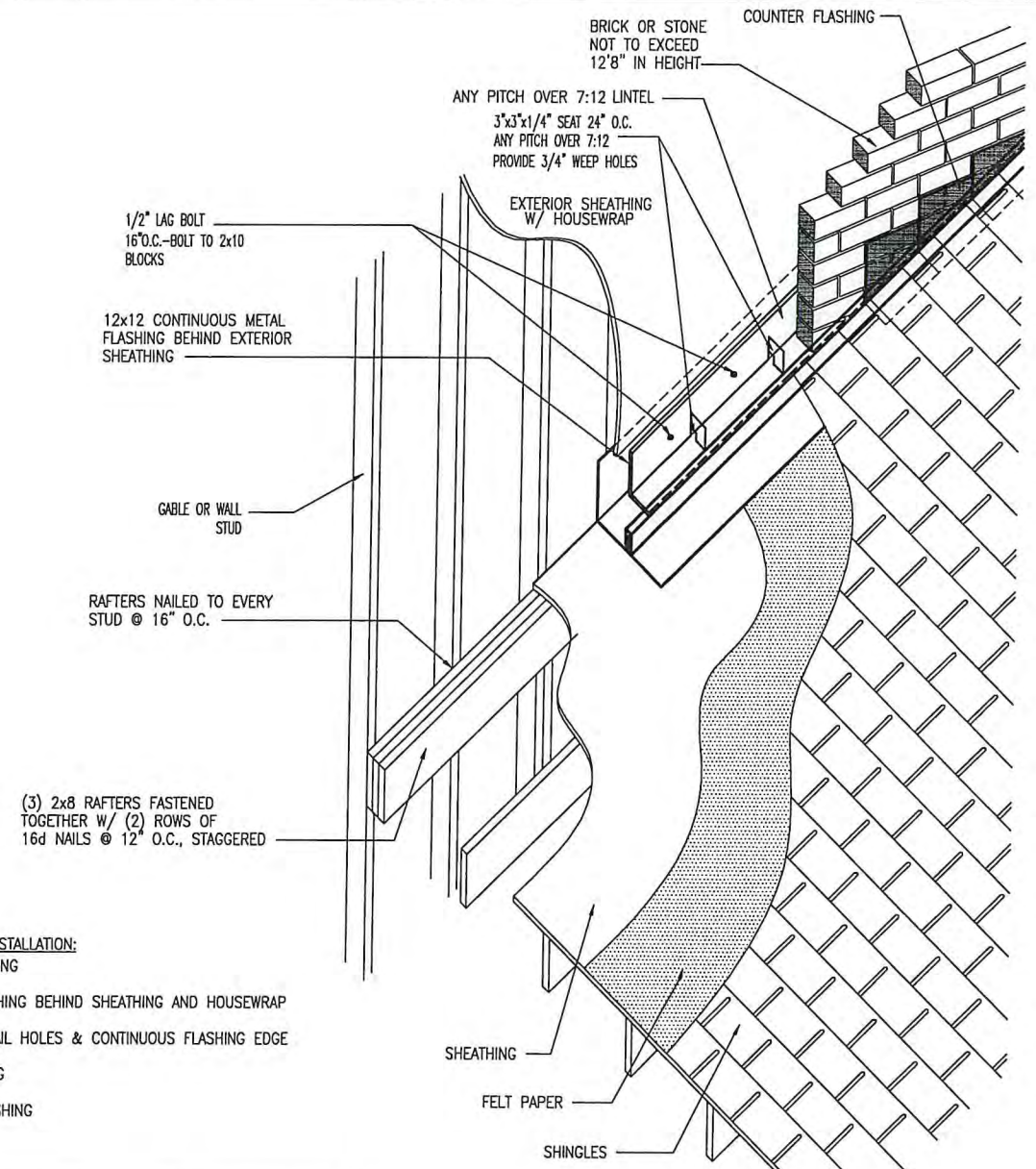
STD. DETAIL SHEET
REGION:
CLEVELAND

Std. By: ALL
Chk. By: ARC
Std. Date: 10.11.06
Date of Last Rev: 04/04/14 AKS

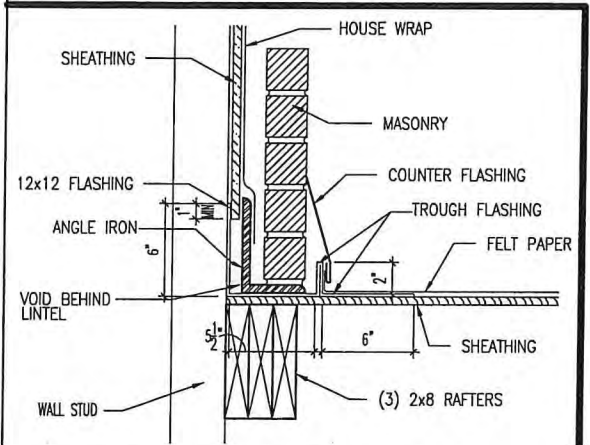
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COLUMN DETAILS
SUNROOM DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

Sheet No.
D2.4

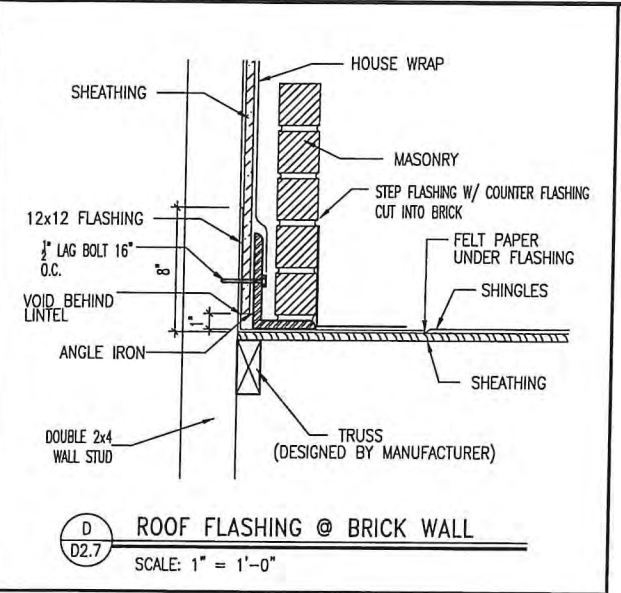


- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
 2. FELT PAPER
 3. 12"x12" FLASHING BEHIND SHEATHING AND HOUSEWRAP
 4. ANGLE IRON
 5. CAULK ALL NAIL HOLES & CONTINUOUS FLASHING EDGE
 6. BRICK
 7. STEP FLASHING
 8. SHINGLES
 9. COUNTER FLASHING

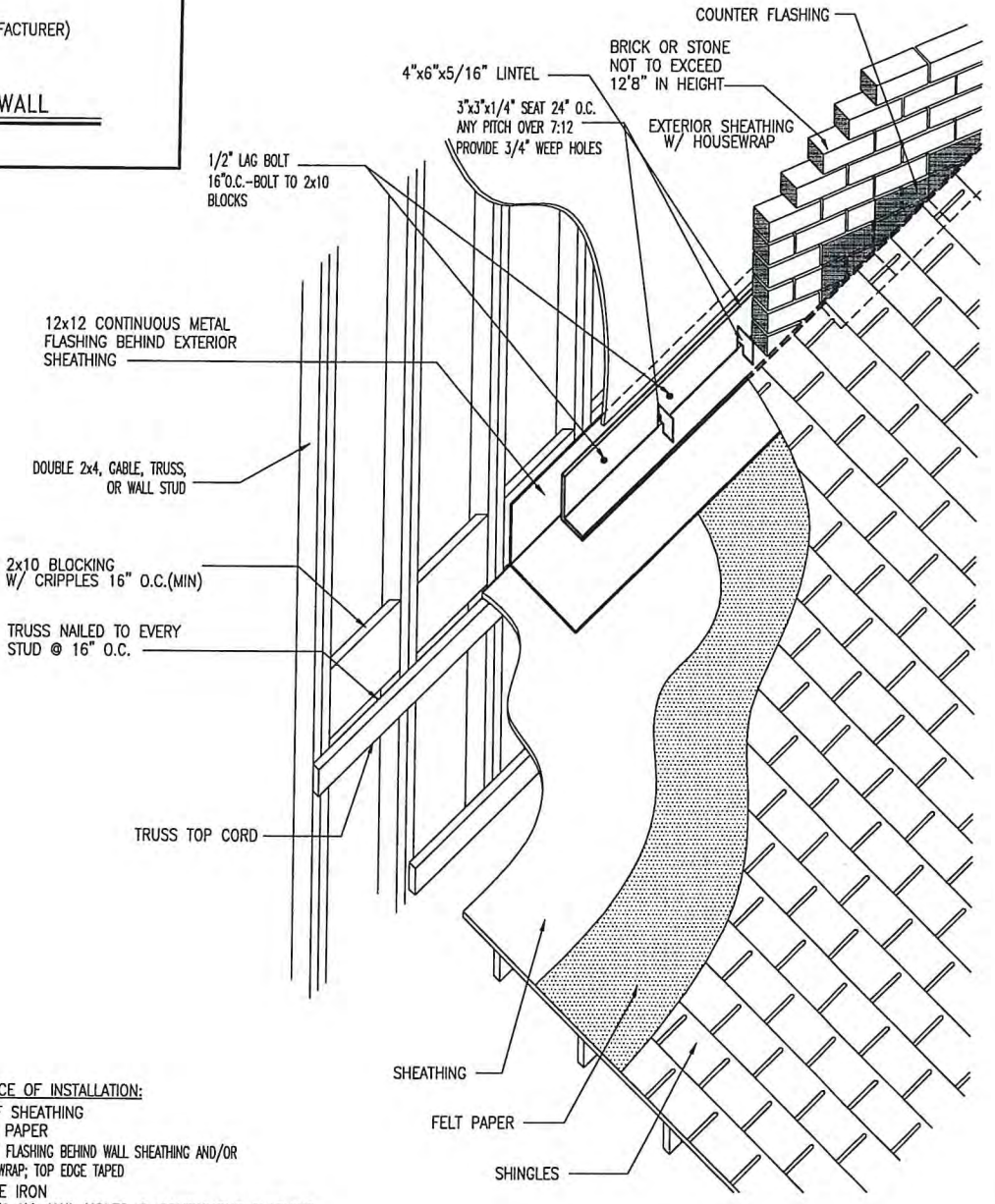


A
G.X
MASONRY OVER ROOF DETAIL W/ COMMON FRAMING
SCALE: 1/2" = 1'-0"

C
G.X
ROOF FLASHING @ BRICK WALL
SCALE: 1" = 1'-0"



D
D2.7
ROOF FLASHING @ BRICK WALL
SCALE: 1" = 1'-0"



- SEQUENCE OF INSTALLATION:**
1. ROOF SHEATHING
 2. FELT PAPER
 3. 12"x12" FLASHING BEHIND WALL SHEATHING AND/OR HOUSEWRAP; TOP EDGE TAPED
 4. ANGLE IRON
 5. CAULK ALL NAIL HOLES @ CONTINUOUS FLASHING
 6. BRICK
 7. STEP FLASHING
 8. SHINGLES
 9. COUNTER FLASH

B
D2.7
MASONRY OVER ROOF DETAIL W/ TRUSSES
SCALE: 1/2" = 1'-0"



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REGION:
CLEVELAND

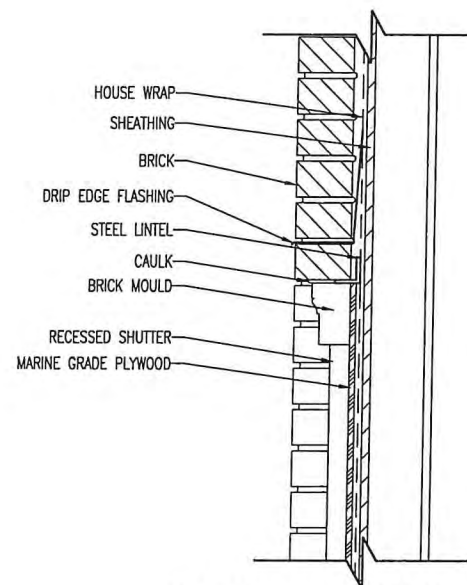
Std. By: BOT
Chk. By: ARC
Std. Date: 05/08/07
Date of Last Rev: 12/19/07 BRC

Sheet Description:
BRICK OVER ROOF DETAILS

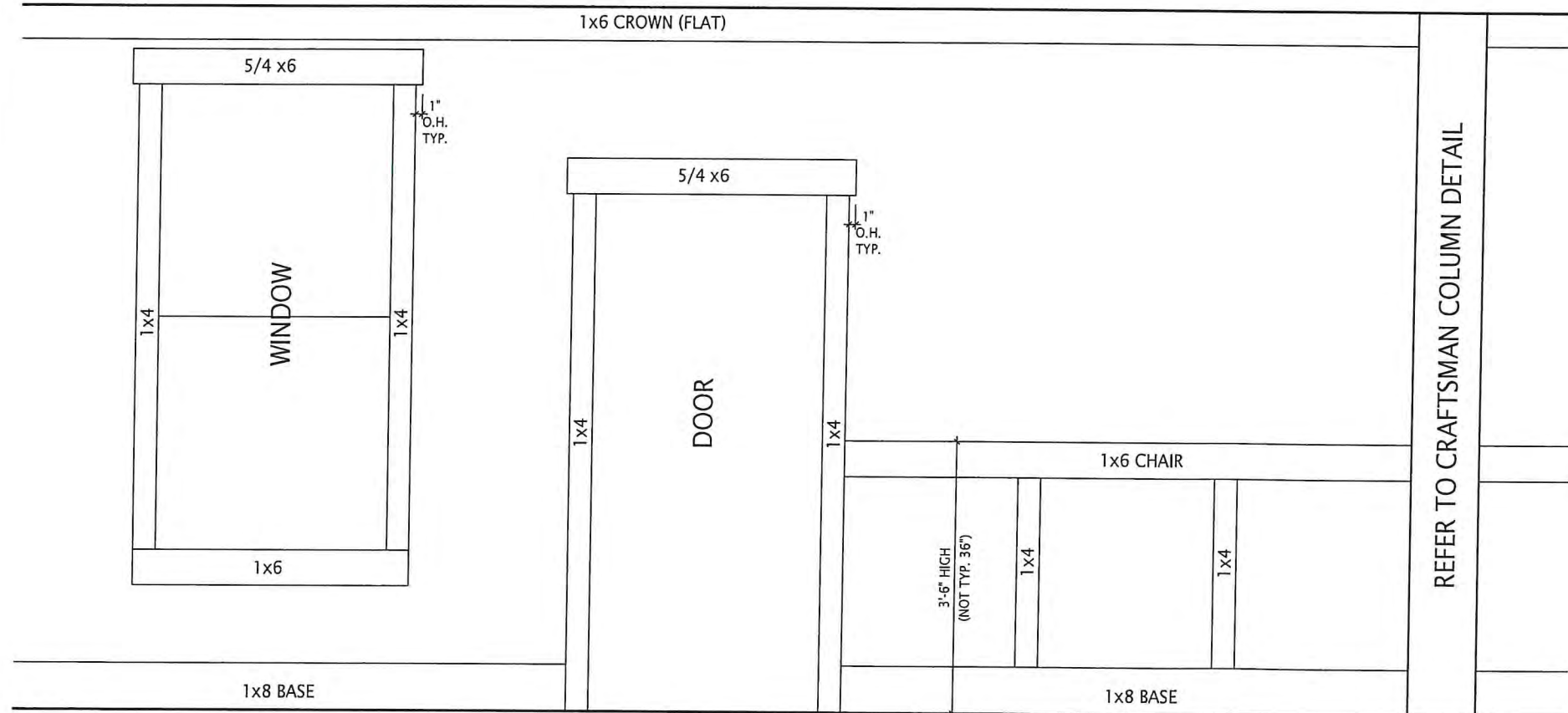
DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Jun 10, 2015 - 10:16am

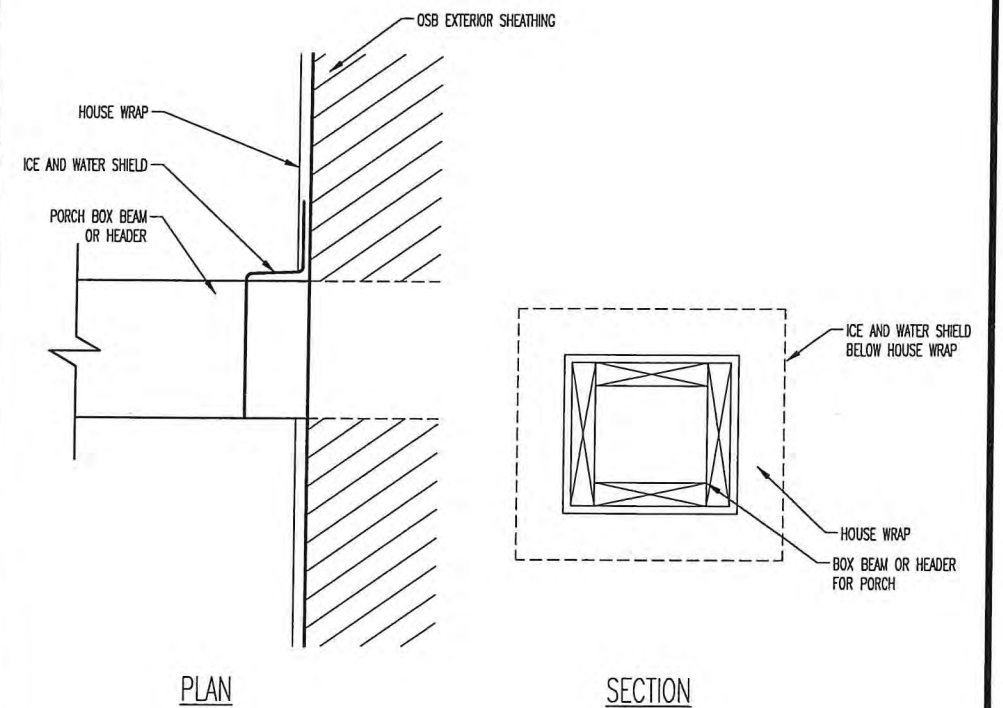
Sheet No.
D2.7



DETAIL RECESSED FAKE SHUTTER IN BRICK
 B
 2.8
 SCALE: 1" = 1'0"



CRAFTSMAN STYLE INTERIOR TRIM PACKAGE - ELEVATION
 E
 D2.8



FRONT PORCH BOX BEAM DETAIL
 D
 D2.8
 SCALE: 1" = 1'0"



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REGION:
 CLEVELAND

Std. By: BRG
 Chk. By: ARC
 Std. Date: 09/05/07
 Date of Last Rev: 09/06/07 BRG

Sheet Description:

DETAILS

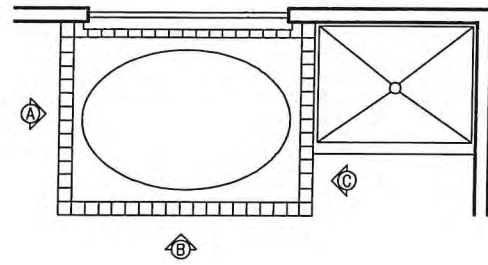
DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Dec 22, 2015 - 2:23pm

Sheet No.

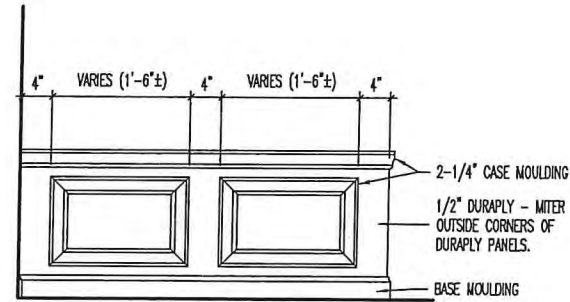
D2.8

RETANGULAR TUB

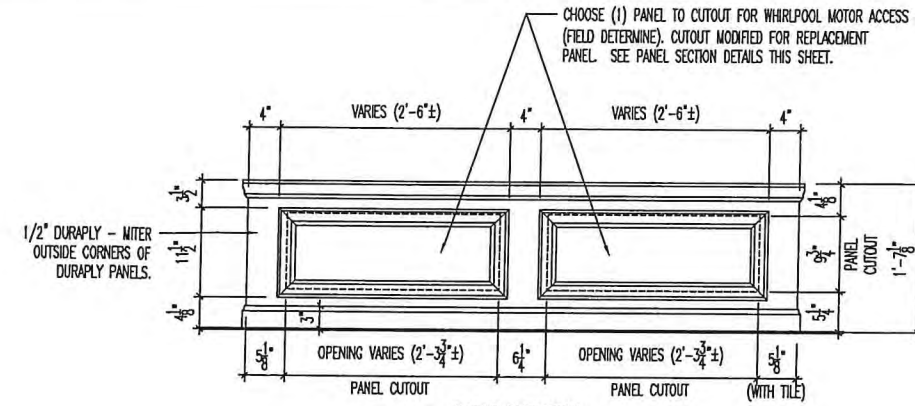


RETANGULAR TUB PLAN

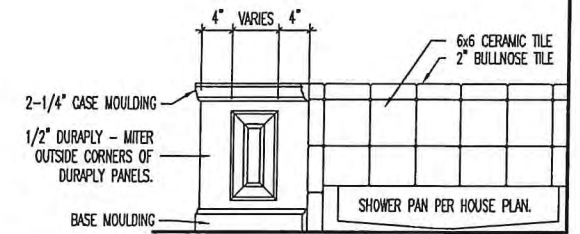
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A OPEN SIDE ELEVATION



B FRONT ELEVATION

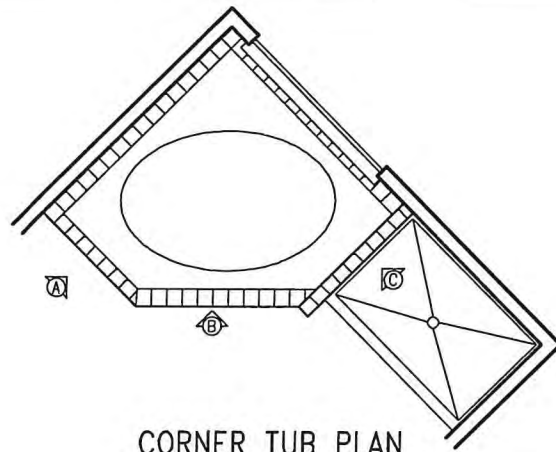


C SIDE ELEVATION w/ SHOWER

RECTANGULAR DROP-IN TUB PANEL ELEVATIONS

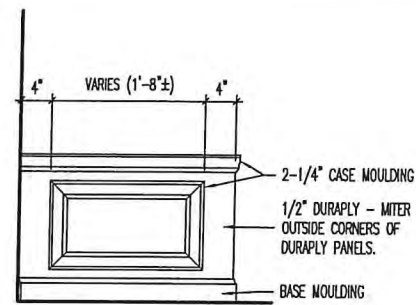
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CORNER TUB

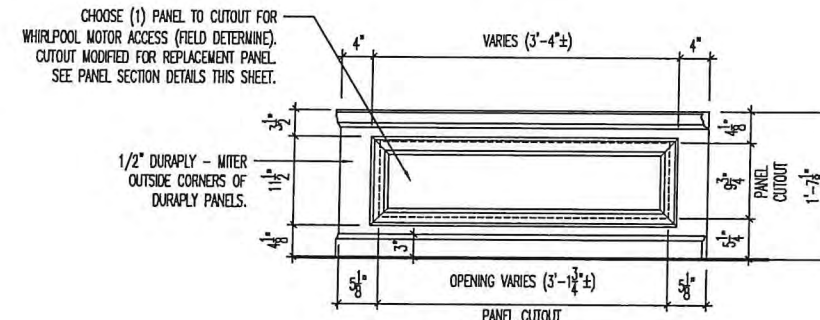


CORNER TUB PLAN

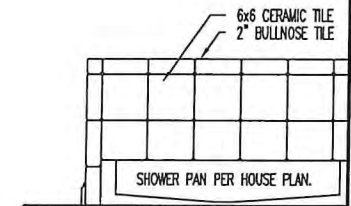
SCALE: 1/8" = 1'-0"



A OPEN SIDE ELEVATION



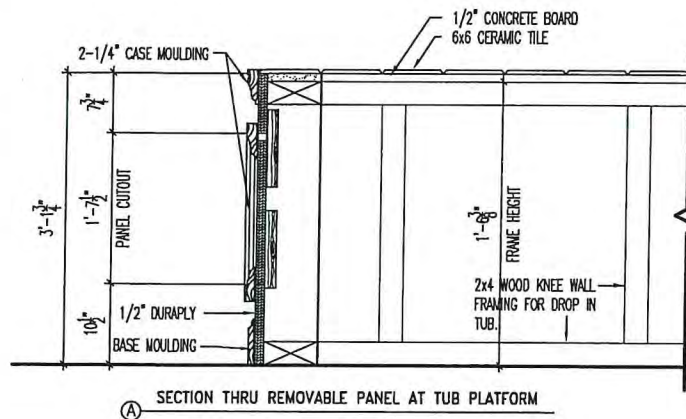
B FRONT ELEVATION



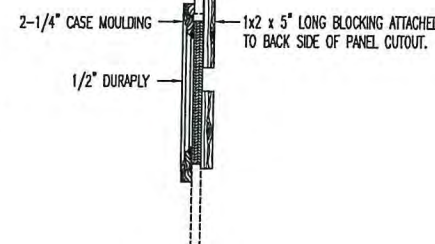
C SIDE ELEVATION w/ SHOWER

CORNER DROP-IN TUB PANEL ELEVATIONS

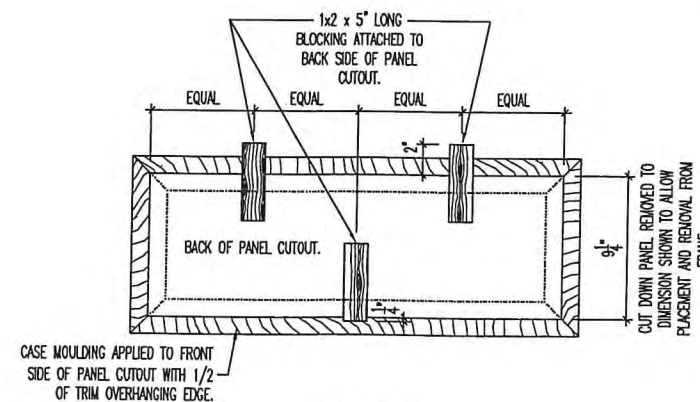
SCALE: 1/2" = 1'-0"



A SECTION THRU REMOVABLE PANEL AT TUB PLATFORM



B PANEL SECTION



C PANEL BACK

PANEL SECTION DETAILS

SCALE: 1" = 1'-0"



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STD. DETAIL SHEET

REGION: CLEVELAND

Std. By: ALL
Chk. By: ARC
Std. Date: 10.11.06
Date of REV_DATE

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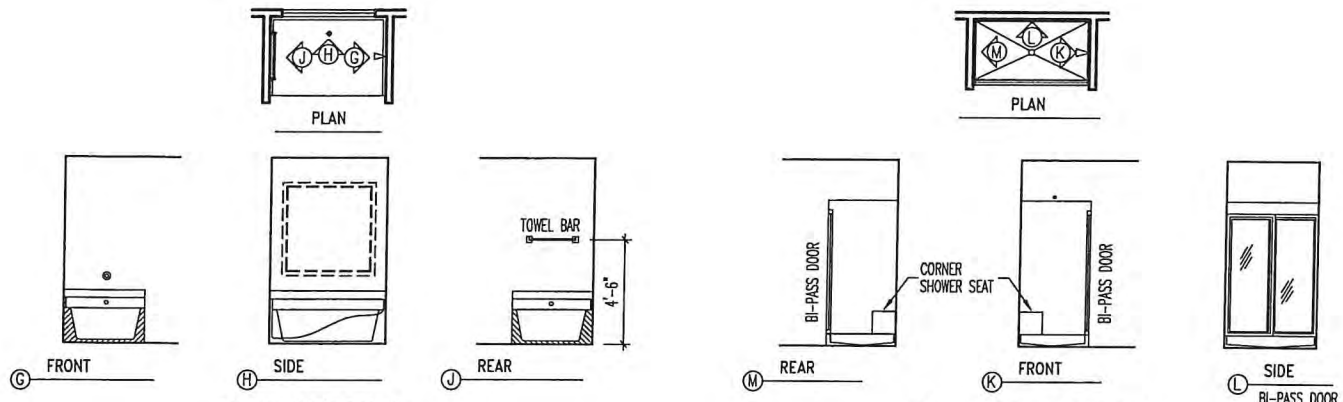
FOUNDATION DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Feb 27, 2009 - 9:47am

Sheet No.

D8.1



TUB DETAILS

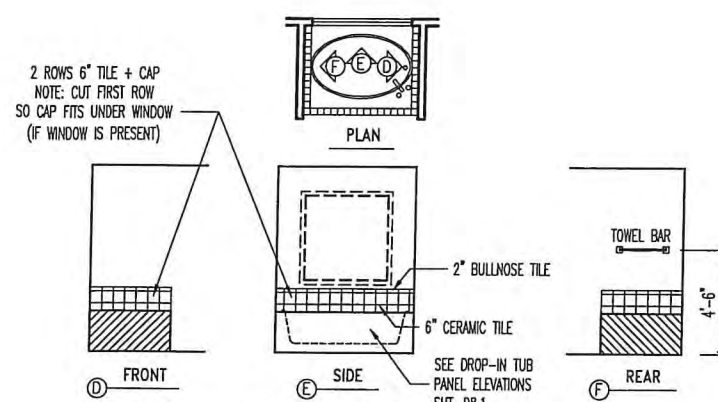
SCALE: 1/8" = 1'-0"

SHOWER DETAILS

SCALE: 1/8" = 1'-0"

STD. OWNER'S BATH DETAILS (WITH SEPERATE SHOWER)

SCALE: 1/8" = 1'-0"



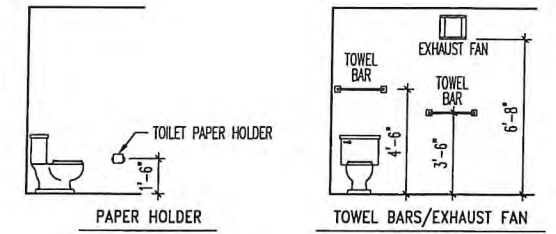
JETTED TUB DETAILS

SCALE: 1/8" = 1'-0"

JETTED OWNER'S BATH DETAILS

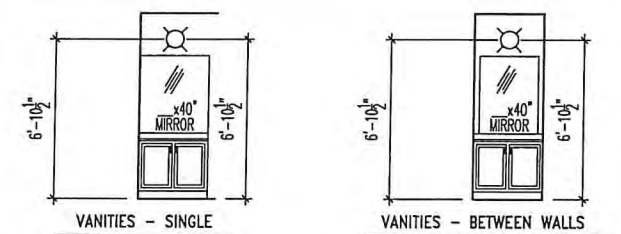
SCALE: 1/8" = 1'-0"

(SHOWER UNITS SAME AS STD. BATH)



PAPER HOLDER/TOWEL BARS

SCALE: 1/8" = 1'-0"

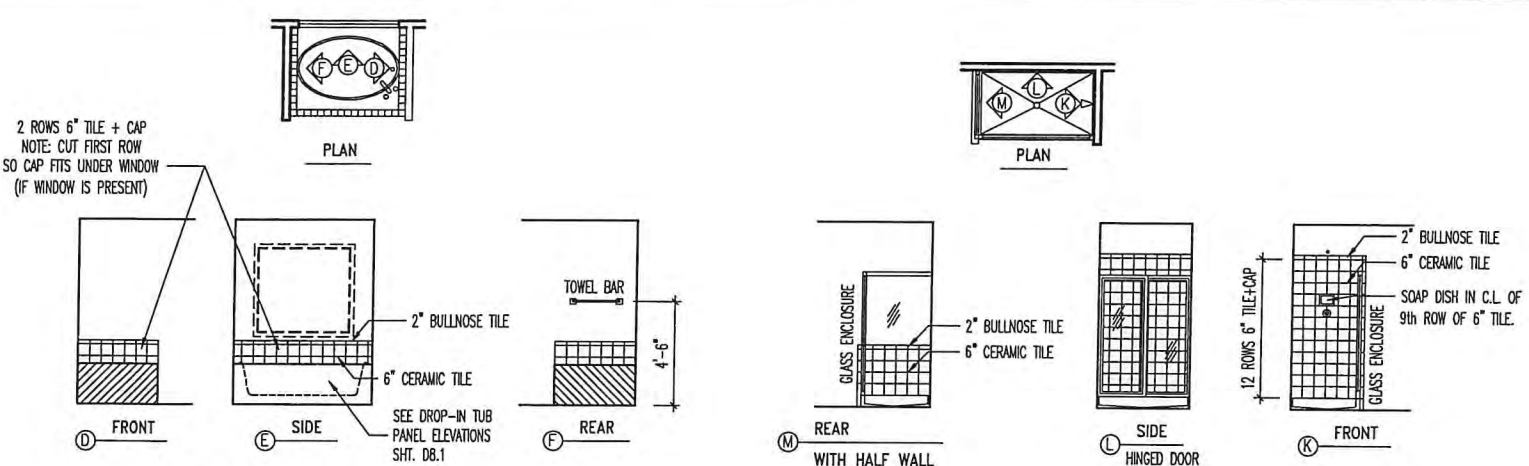


VANITY DETAILS*

SCALE: 1/8" = 1'-0"

- MIRROR WIDTH = VANITY/TOP WIDTH
- TOTAL VANITY WIDTH = LESS THAN 72" - (1) LIGHT FIXTURE
- TOTAL VANITY WIDTH = 72" OR MORE - (2) LIGHT FIXTURE

*(HALL BATH AND OWNER'S BATH ONLY)



TUB DETAILS (JETTED TUBS SAME DETAILS)

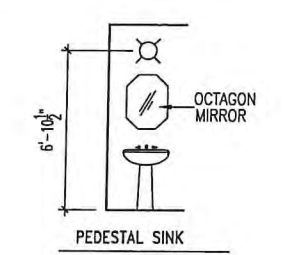
SCALE: 1/8" = 1'-0"

SHOWER DETAILS

SCALE: 1/8" = 1'-0"

DESIGNER OWNER'S BATH DETAILS

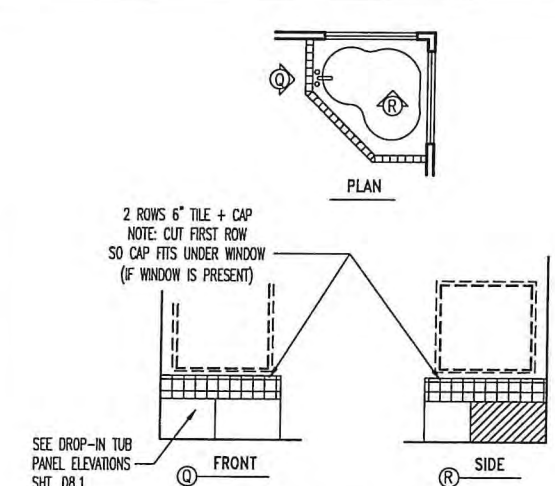
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PED SINK DETAILS*

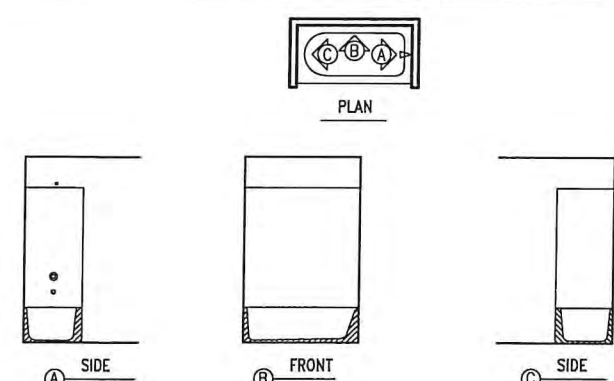
SCALE: 1/8" = 1'-0"

*(STD. IN POWDER ROOMS)



CORNER TUB DETAIL

SCALE: 1/8" = 1'-0"



HALL BATH (CONVENTIONAL TUB) DETAILS

SCALE: 1/8" = 1'-0"



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STD. DETAIL SHEET

REGION:
CLEVELAND

Std. By: ALL
 Chk. By: ARC
 Std. Date: 10.11.06
 Date of: REV_DATE

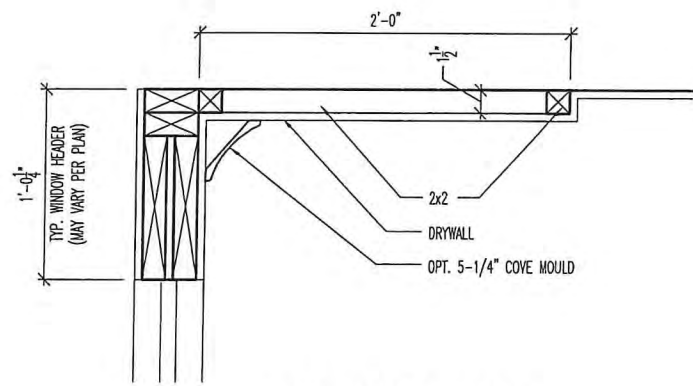
Sheet Description:
FOUNDATION DETAILS

DETAILS MAY NOT APPLY TO CONTRACT

CLEVE - D-SHEETS.dwg Jun 10, 2015 - 10:17am

Sheet No.

D8.2



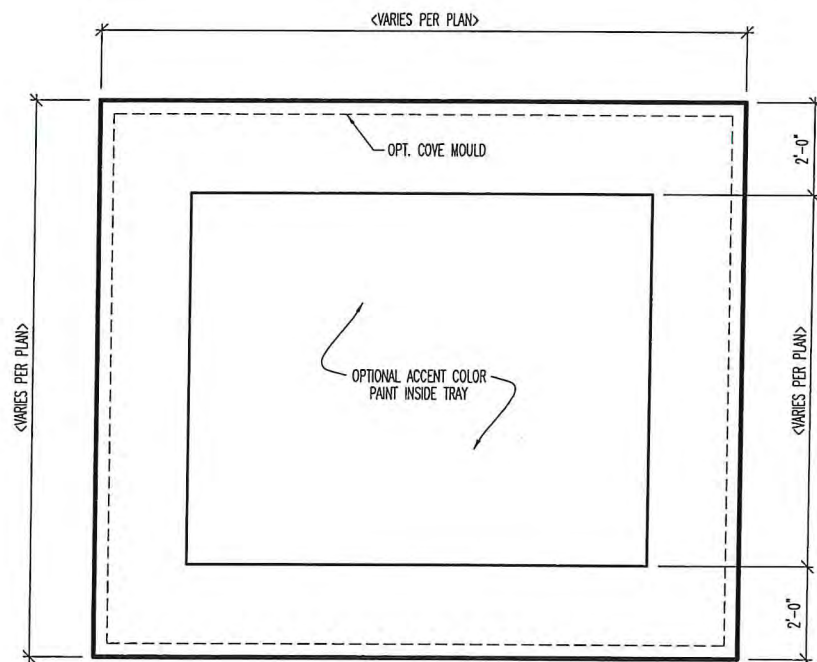
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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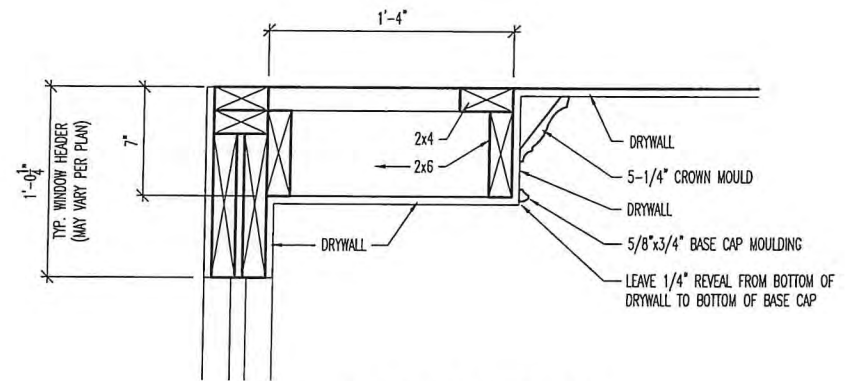
"CL-01" CEILING DESIGN
CLEVELAND
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

SHEET NO.

CL-01

Drawing3.dwg Jan 09, 2018 - 11:45am



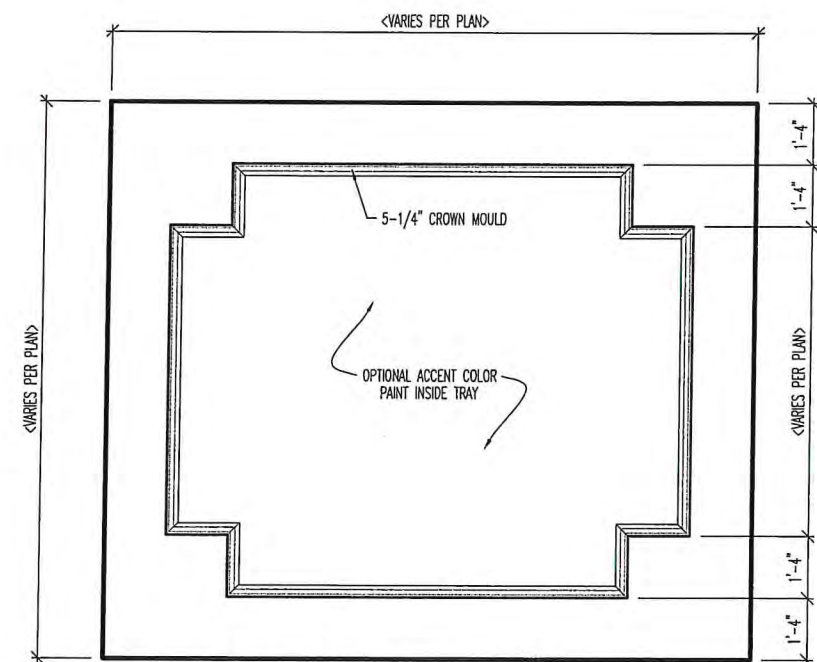
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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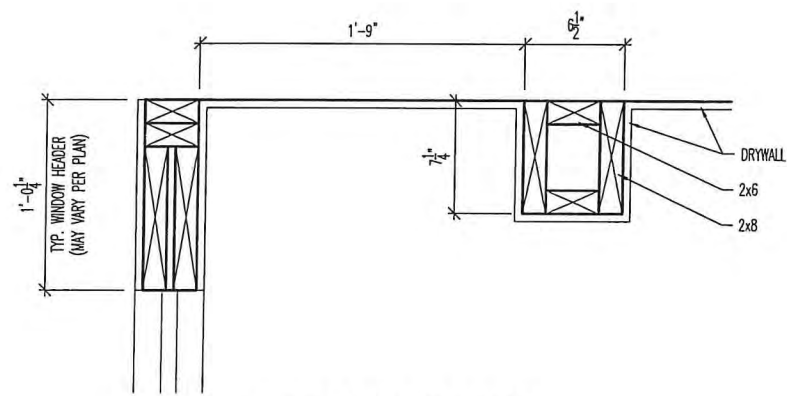
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CLEVELAND
SCALE: AS NOTED

DATE OF DETAIL:	08/27/13	DRAWN BY:	BLC
LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX
DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

SHEET NO.

CL-04

Drawing3.dwg Jan 09, 2018 - 11:45am



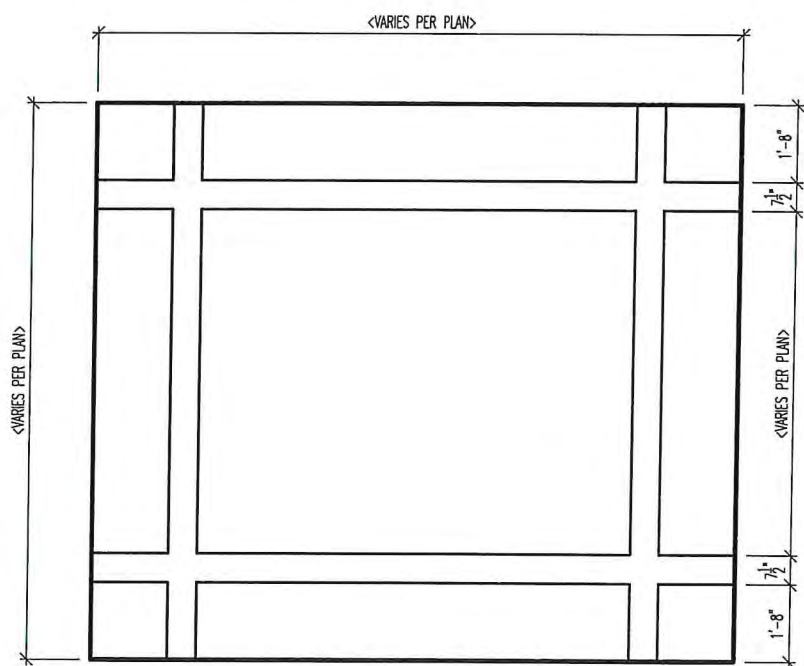
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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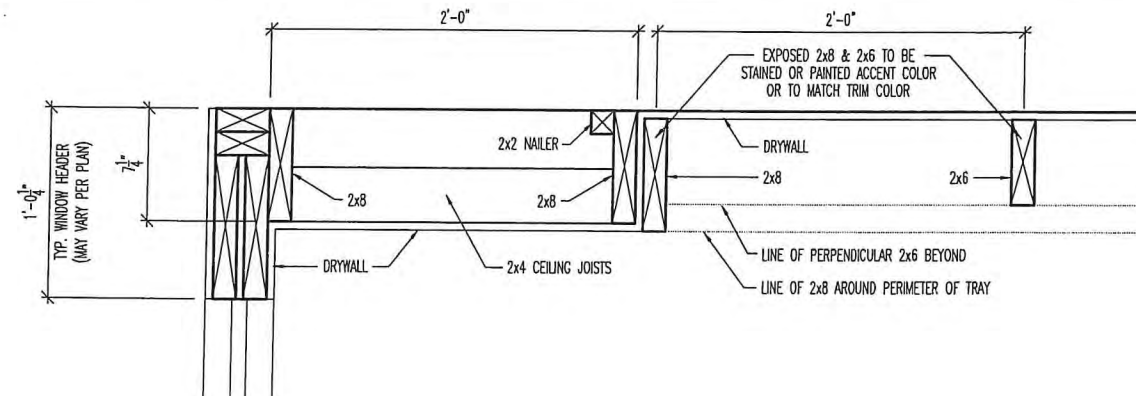
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CLEVELAND
SCALE: AS NOTED

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DATE ISSUED:	XX/XX/XX	PLAN NUMBER:	XXXX

SHEET NO.

CL-05

Drawing3.dwg Jan 09, 2018 - 11:46am



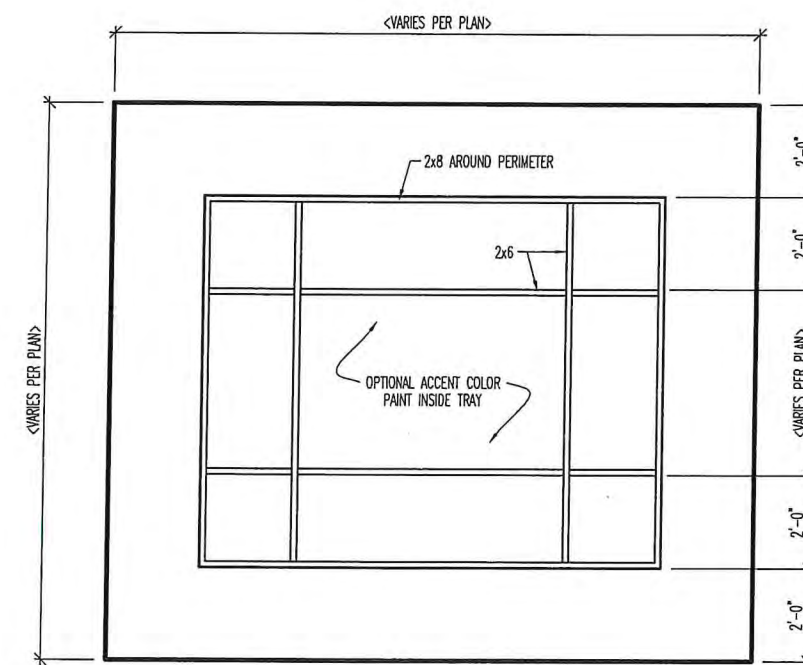
TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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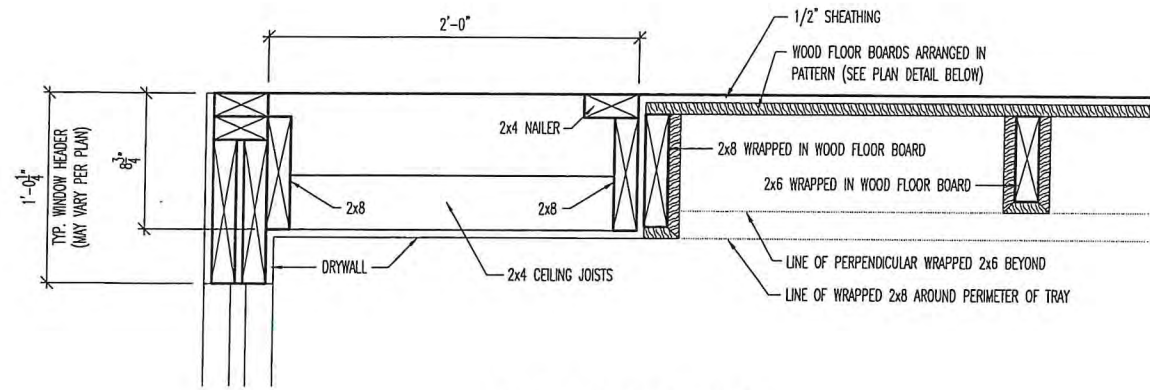
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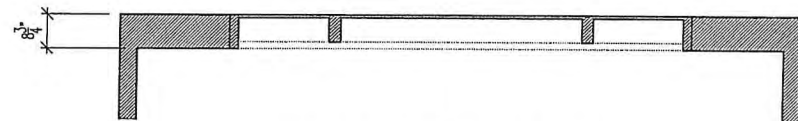
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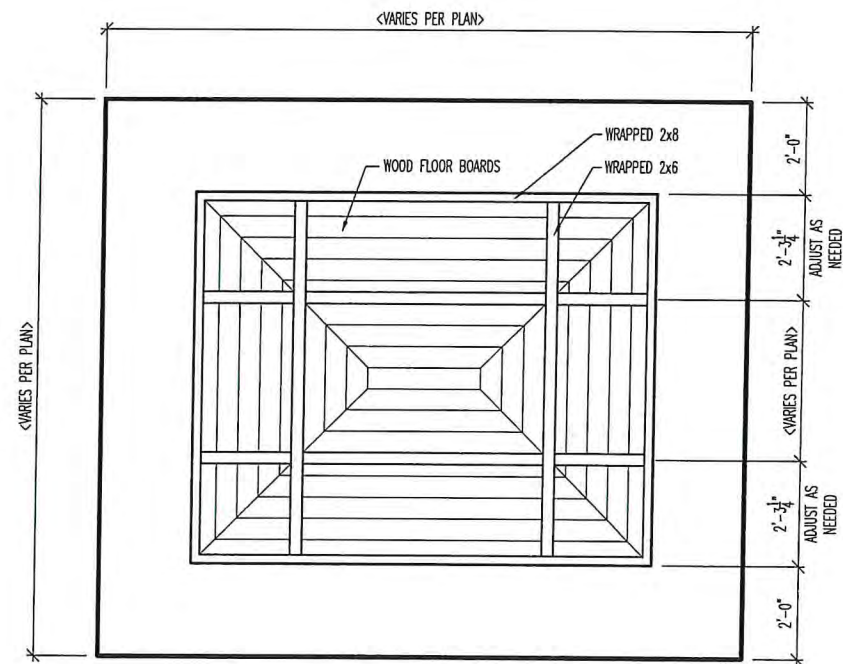
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

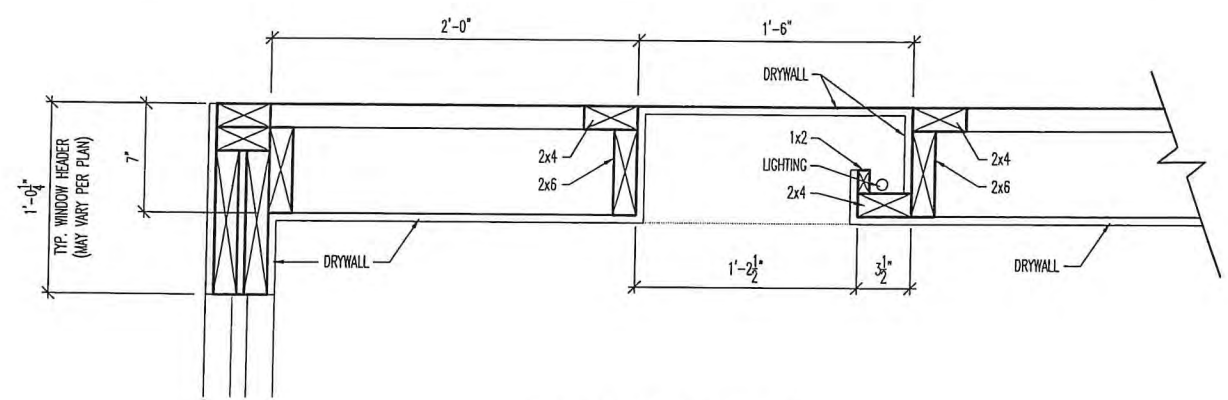
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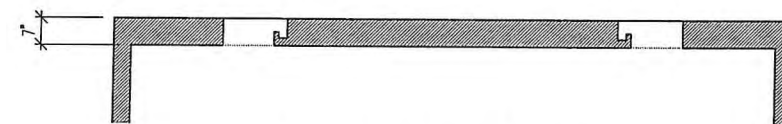
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SCALE: AS NOTED

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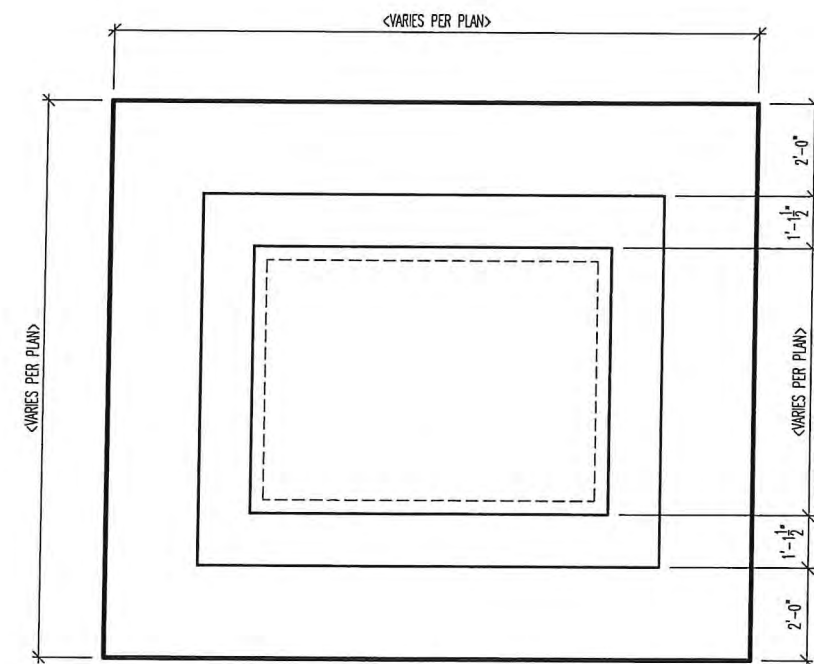
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

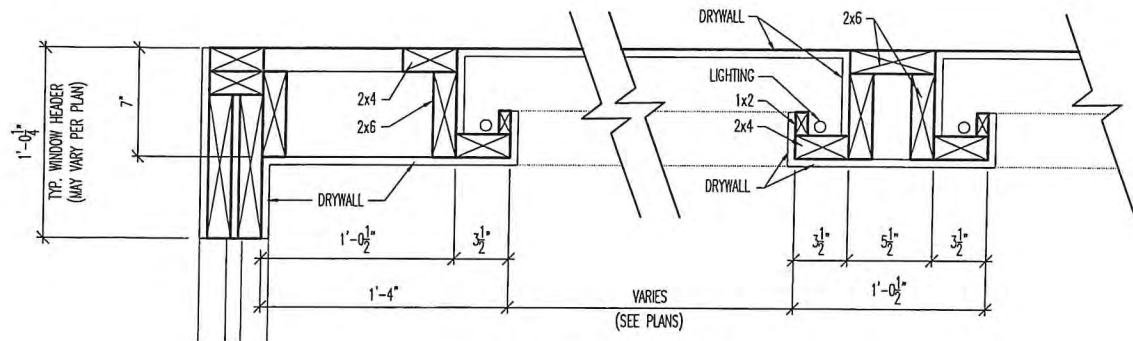
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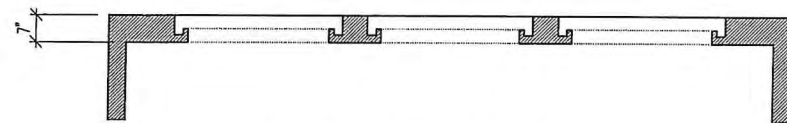
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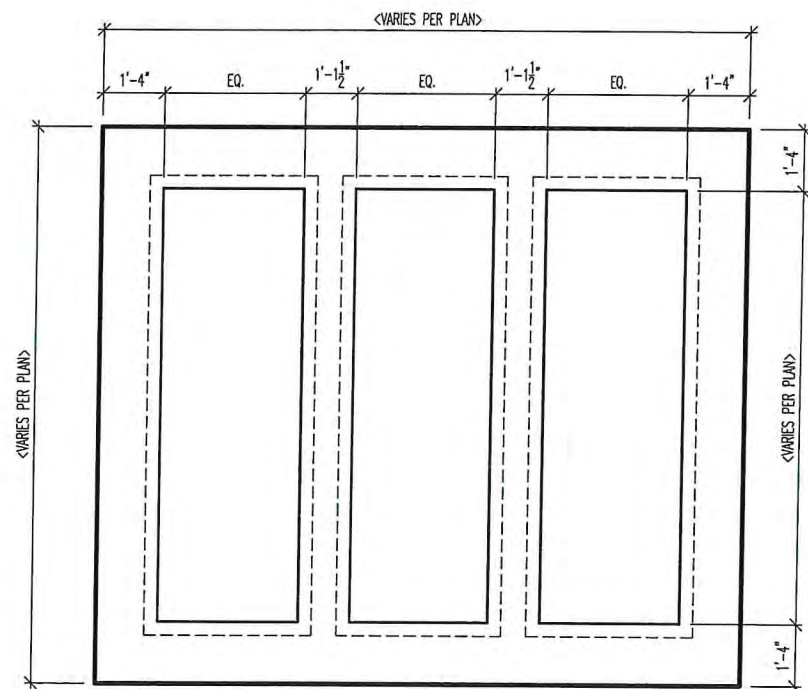
DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL ROOM SECTION

SCALE: 1/4" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

TYPICAL PLAN LAYOUT IS FOR ILLUSTRATION PURPOSES ONLY. FOR DIMENSIONS THAT VARY, REFER TO HOUSE PLANS FOR SPECIFIC ROOM SIZES.

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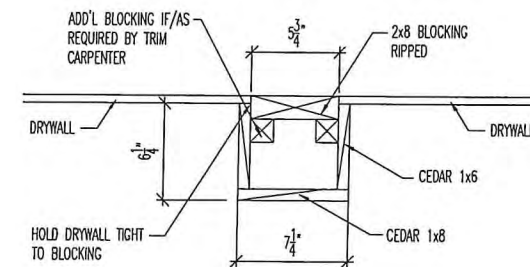
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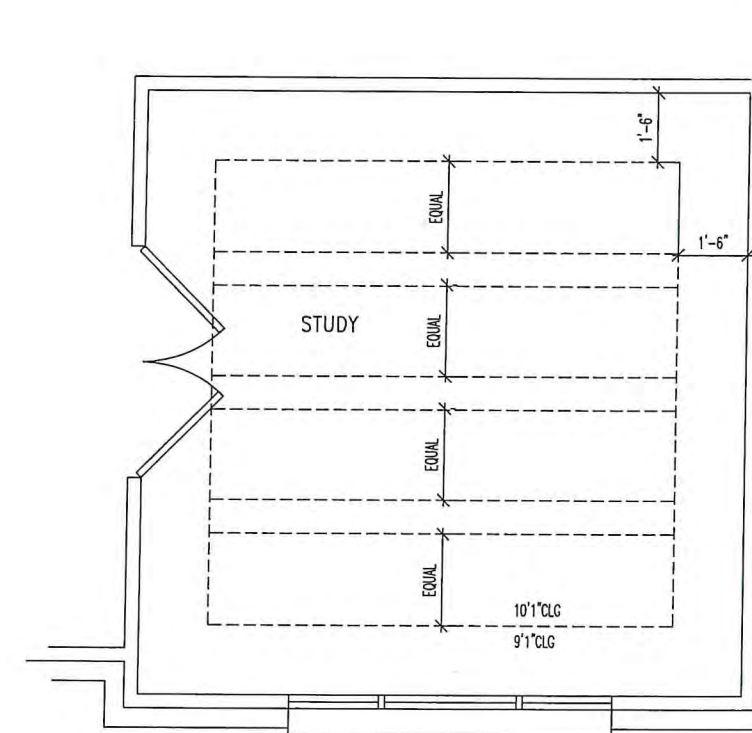
CL-14

Drawing3.dwg Jan 09, 2018 - 11:47am



DETAILED SECTION

SCALE: 1" = 1'-0"



TYPICAL PLAN LAYOUT

SCALE: 1/4" = 1'-0"

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CEDAR BEAM CEILING DESIGN
CLEVELAND
SCALE: AS NOTED

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LAST REVISION:	XX/XX/XX	CHECKED BY:	XXXX	
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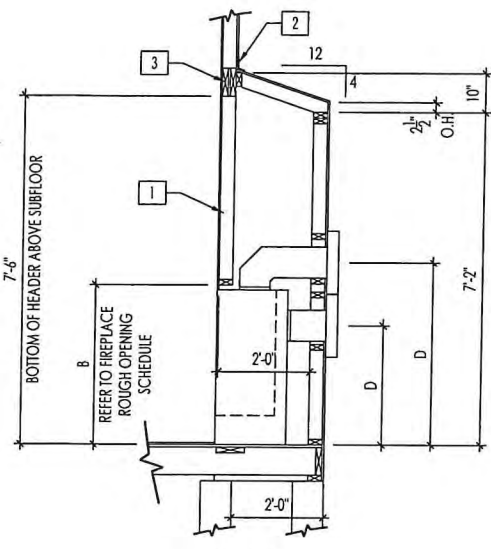
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General Notes

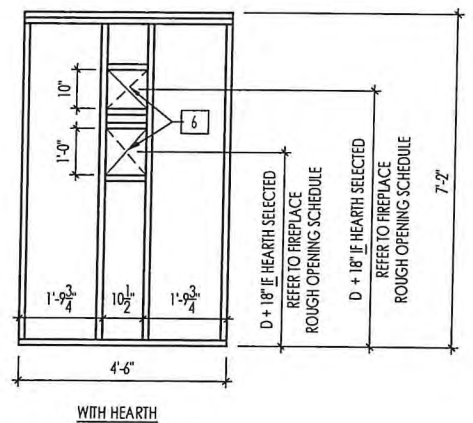
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- VERIFY FIREPLACE MODEL AND HEARTH SELECTION WITH CUSTOMER'S SELECTIONS.

Key Notes

- FUTURE FRAMING FOR F.P. OPENING AFTER INSULATION HAS BEEN INSTALLED IN EXT. WALLS
- FLASHING
- HEADER PER PLAN
-
- 1" AIRSPACE
- BOX OUT FOR FLUE (REFER TO SELECTIONS FOR FIREPLACE AND OPENING HEIGHT)

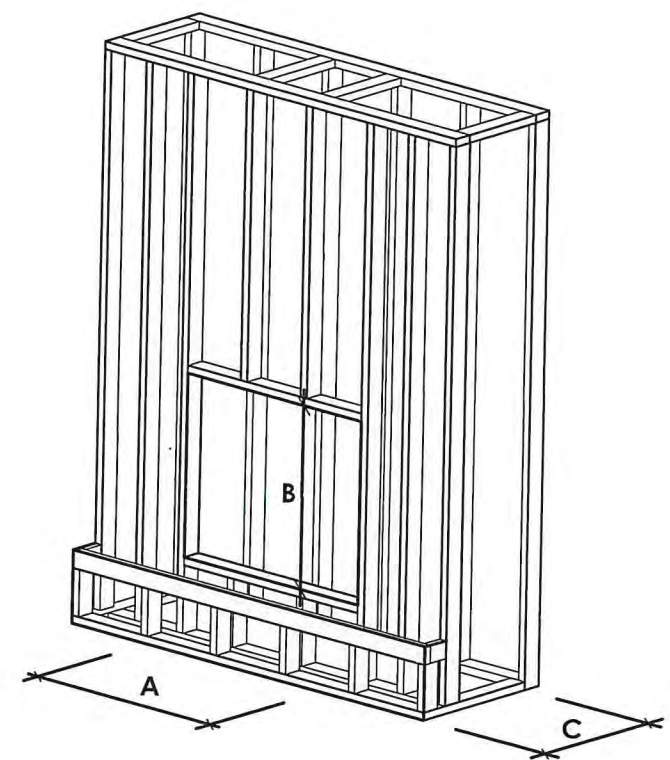


FRAMEWRAP
(SHOWN WITHOUT OPT. HEARTH)

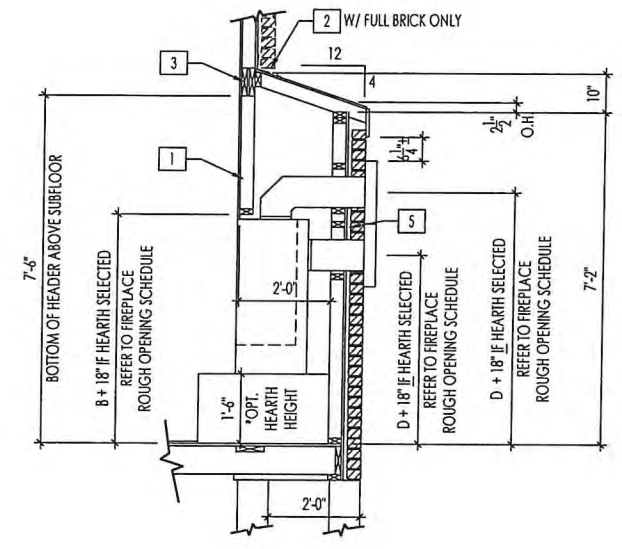


DIRECT VENT REAR WALL FRAMING

SCALE: 1/4" = 1'-0"



NOTE:
PROVIDE OSB SHEATHING WHEN
STONE VENEER SELECTED



BRICKWRAP
(SHOWN WITH OPT. HEARTH)

FIREPLACE DOGHOUSE SECTIONS

SCALE: 1/4" = 1'-0"

FIREPLACE ROUGH OPENING SCHEDULE

FIREPLACE MANUFACTURER	MODEL	A	B	C	D
		(FIREBOX REQUIRED WIDTH)	(FIREBOX REQUIRED HEIGHT) *ADD 18" W/ OPT. HEARTH	(FIREBOX REQUIRED DEPTH - INTERIOR REAR WALL TO FRONT EXTERIOR WALL)	(VENT CENTERLINE HEIGHT) *ADD 18" W/ OPT. HEARTH
HEAT & GLO	SLIMLINE SL-7	42"	38-1/4"	16-1/4"	TOP 40" SIDE 26-7/8"
	COSMO 42	49"	32-3/4"	17-3/4"	TOP ONLY 47-1/16"
HEARTH & HOME	COURTYARD 36	43-3/8"	44-1/8"	18-3/8"	SEE MANUFACTURER'S SPEC.
	COURTYARD 42	49-1/4"	44-1/8"	18-1/8"	SEE MANUFACTURER'S SPEC.
	LANAI *(NOT IN CONC./MKT)	57-3/4"	39-1/2"	17-5/8"	SEE MANUFACTURER'S SPEC.
	RAVE	49"	32-3/4" *RAISED 15-1/4"	18-1/4"	TOP ONLY 46-1/2"

all dimensions are in inches



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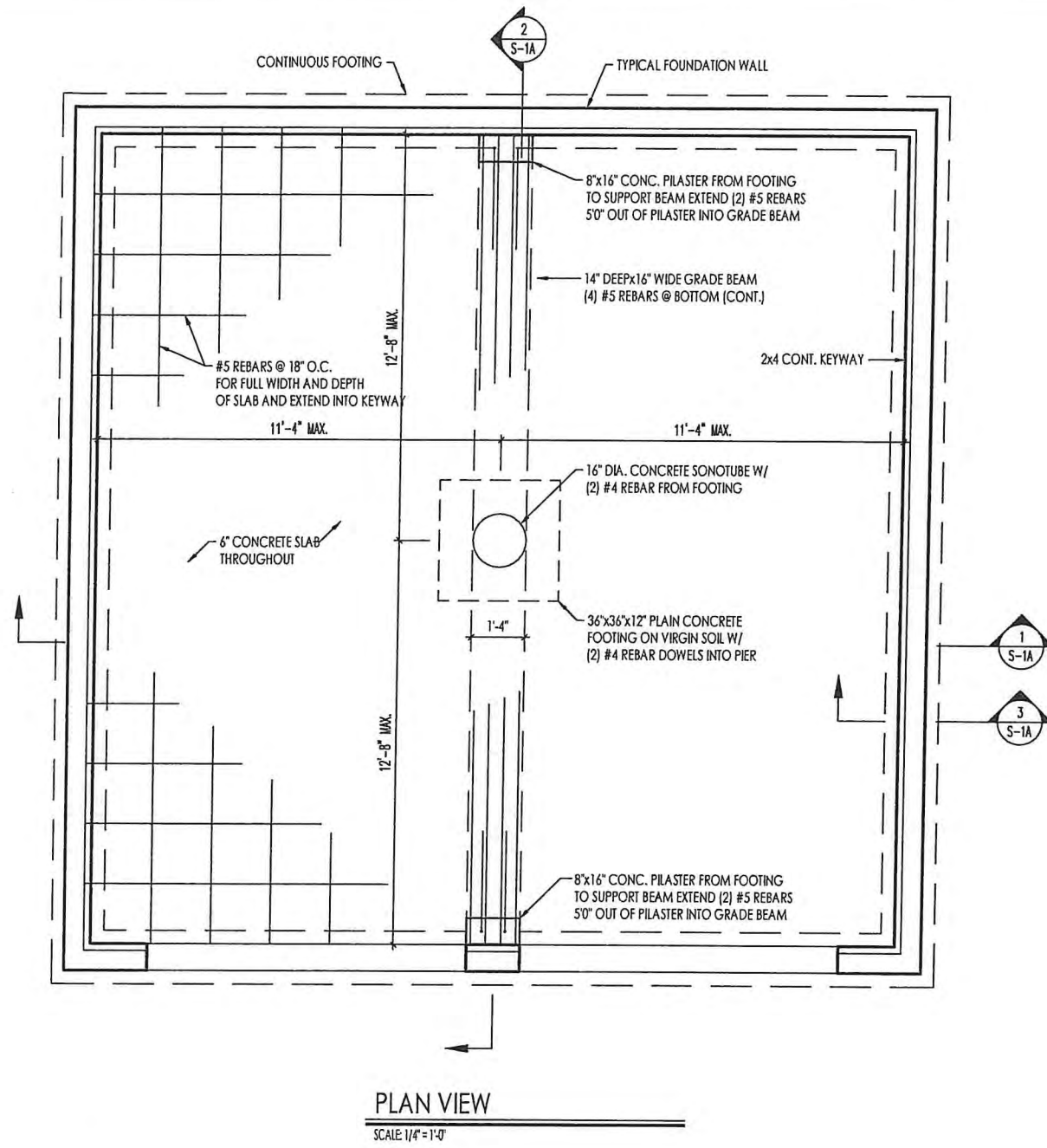
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FIREPLACE DETAILS

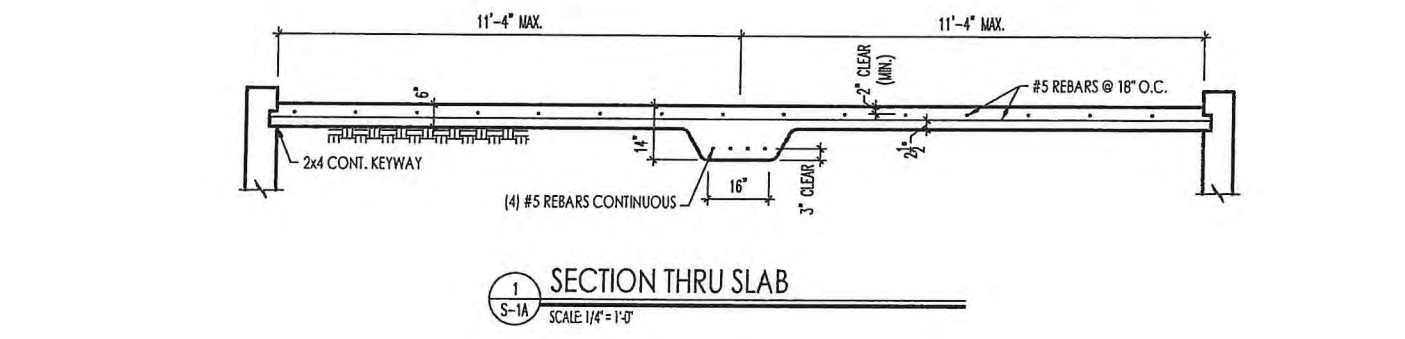
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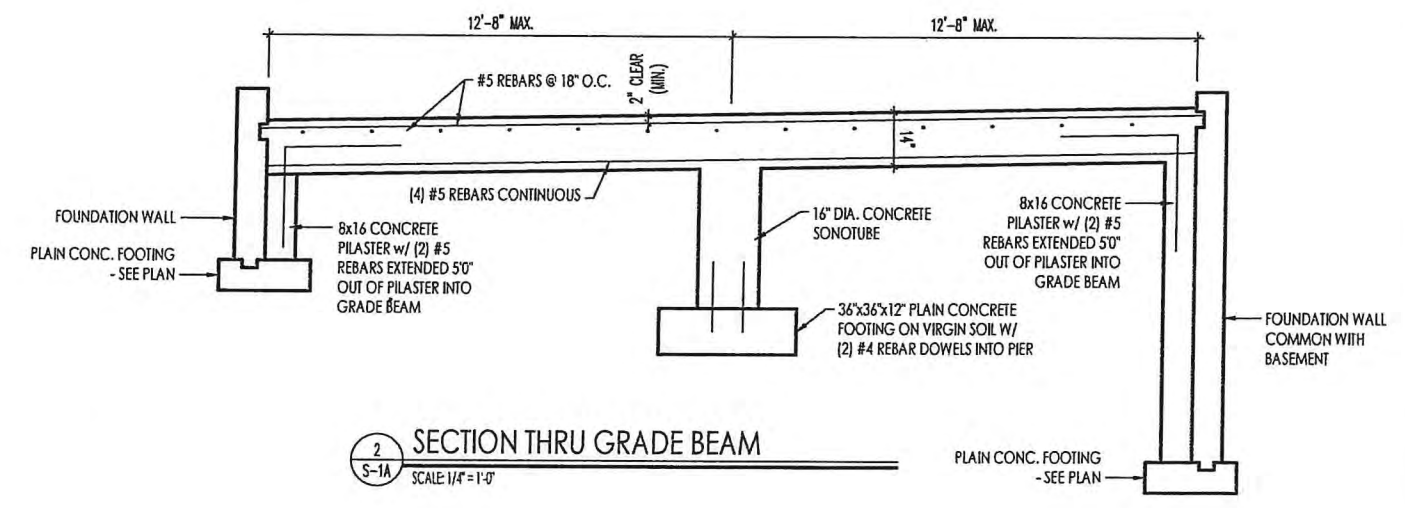
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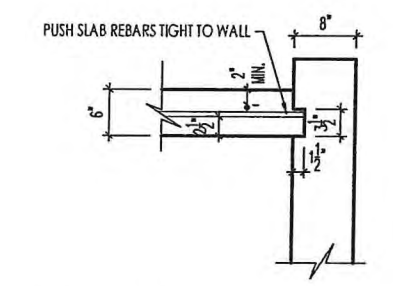
PLAN VIEW
SCALE 1/4" = 1'-0"



1 SECTION THRU SLAB
SCALE 1/4" = 1'-0"



2 SECTION THRU GRADE BEAM
SCALE 1/4" = 1'-0"



3 KEYWAY DETAIL (ALL EDGES)
SCALE 1/2" = 1'-0"

- GENERAL NOTES**
1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0" - FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
 2. CONCRETE STRENGTH AT SLAB: 3500 PSI
 3. ALL REBAR SHALL BE $F_y = 60$ KSI STEEL

- ALTERNATE GARAGE SLAB**
1. FILL OVERDIG COMPLETELY w/ SELF-COMPACTING GRAVEL FILL.
 2. CONCRETE STRENGTH AT SLAB: 3500 PSI
 3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
 4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.

STATE OF OHIO
JAMES G. FRILING
 E-79451
 REGISTERED PROFESSIONAL ENGINEER

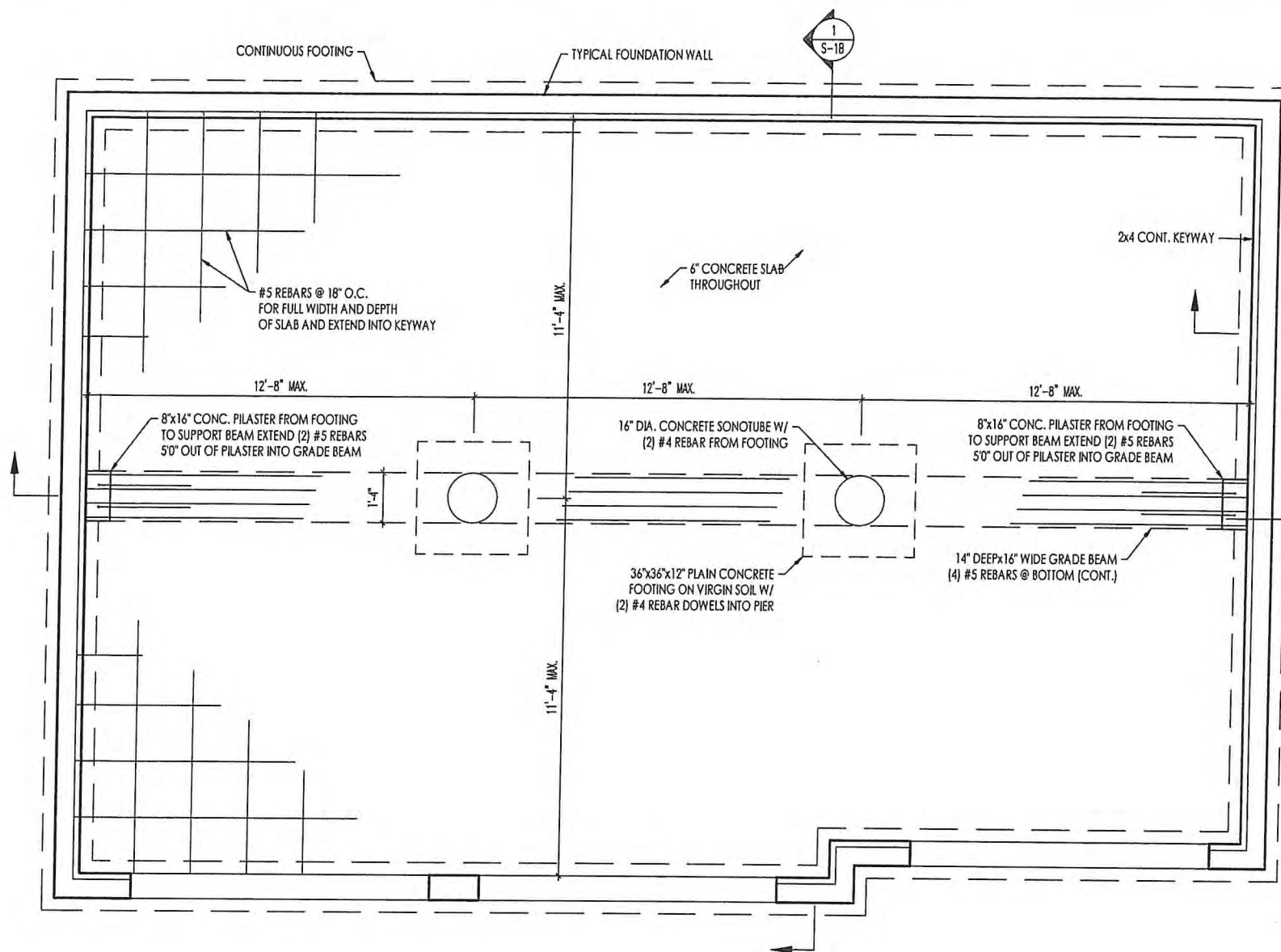
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Chk. By:	ARC	REINFORCING DETAILS
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Date of Last Rev:	01/03/19 ARS	g:\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019

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S-1A



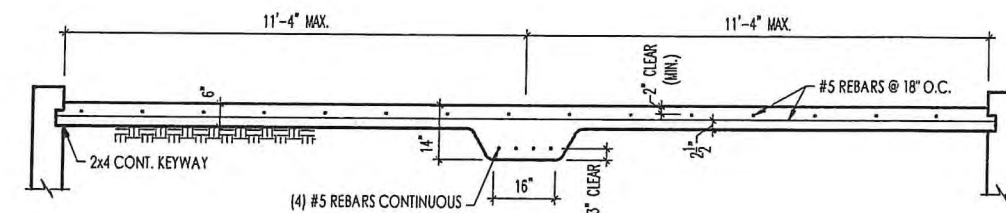
PLAN VIEW
SCALE: 1/4" = 1'-0"

GENERAL NOTES

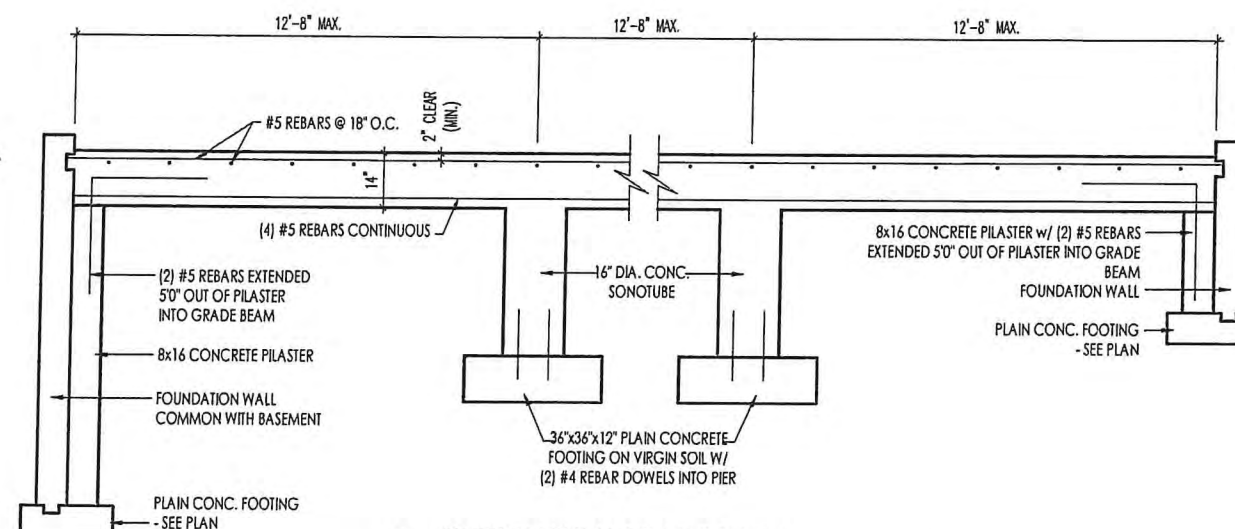
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2. CONCRETE STRENGTH AT SLAB: 3500 PSI
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ALTERNATE GARAGE SLAB

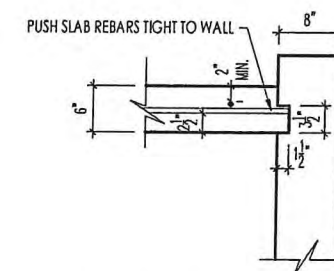
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2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.



SECTION THRU SLAB
SCALE: 1/4" = 1'-0"



SECTION THRU GRADE BEAM
SCALE: 1/4" = 1'-0"



KEYWAY DETAIL (ALL EDGES)
SCALE: 1/2" = 1'-0"

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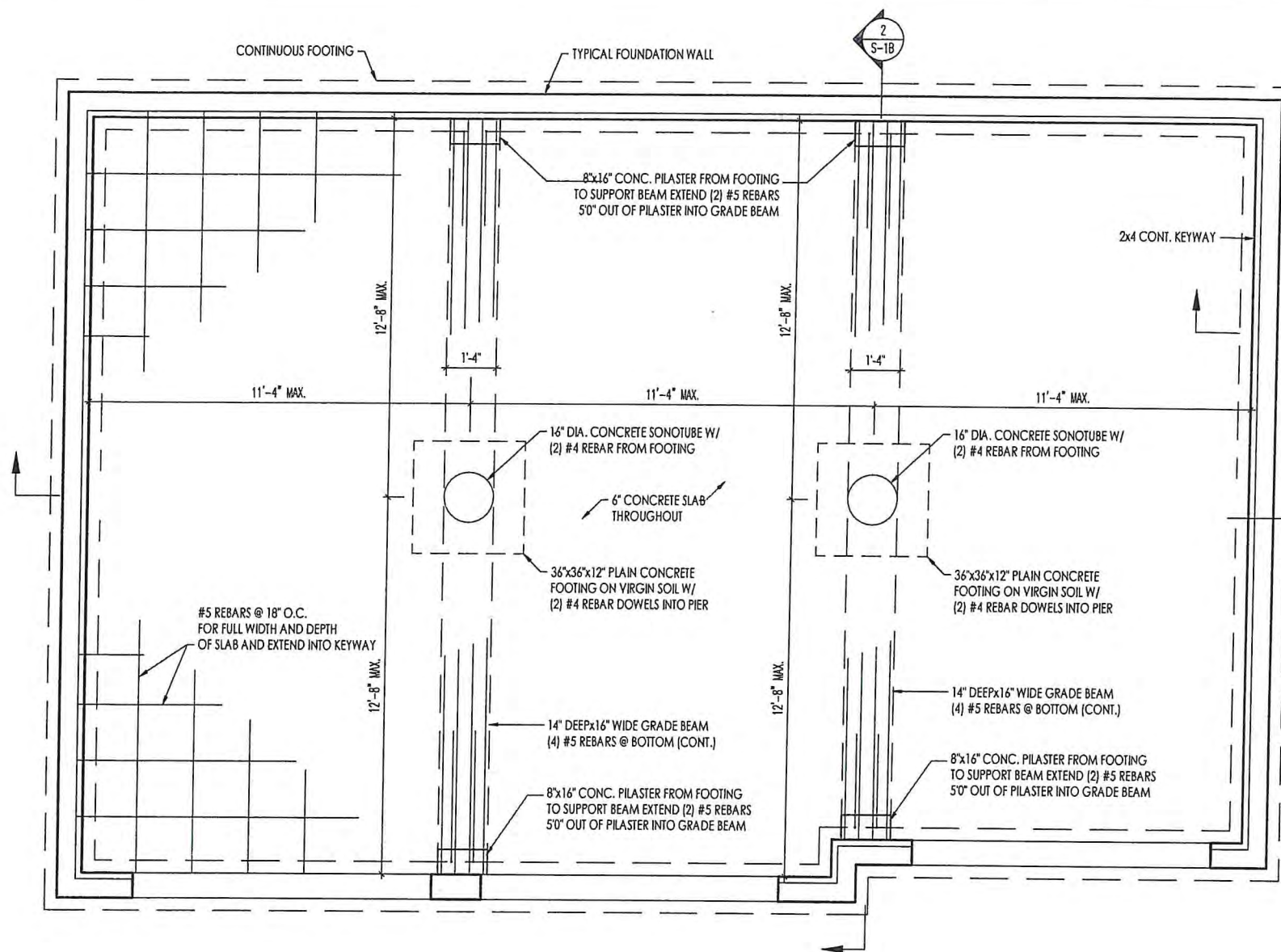


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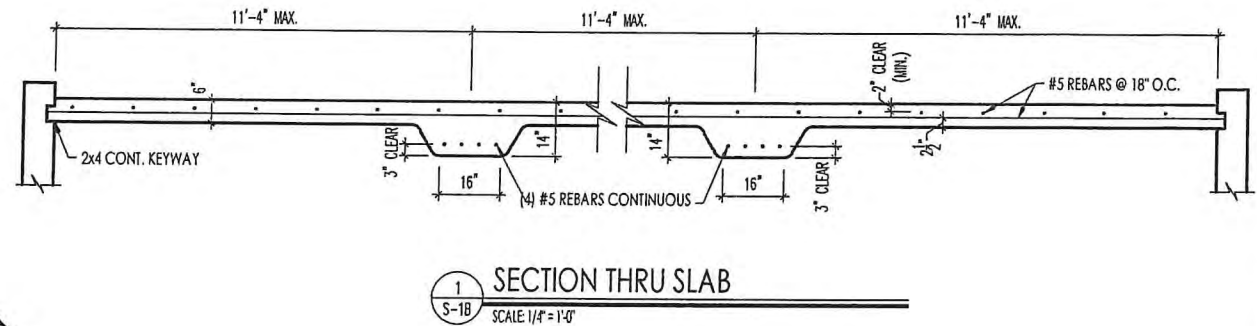
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Date of Last Rev:	01/03/19 AKS	g:\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garage\slabdwgs.dwg 03.01.2019

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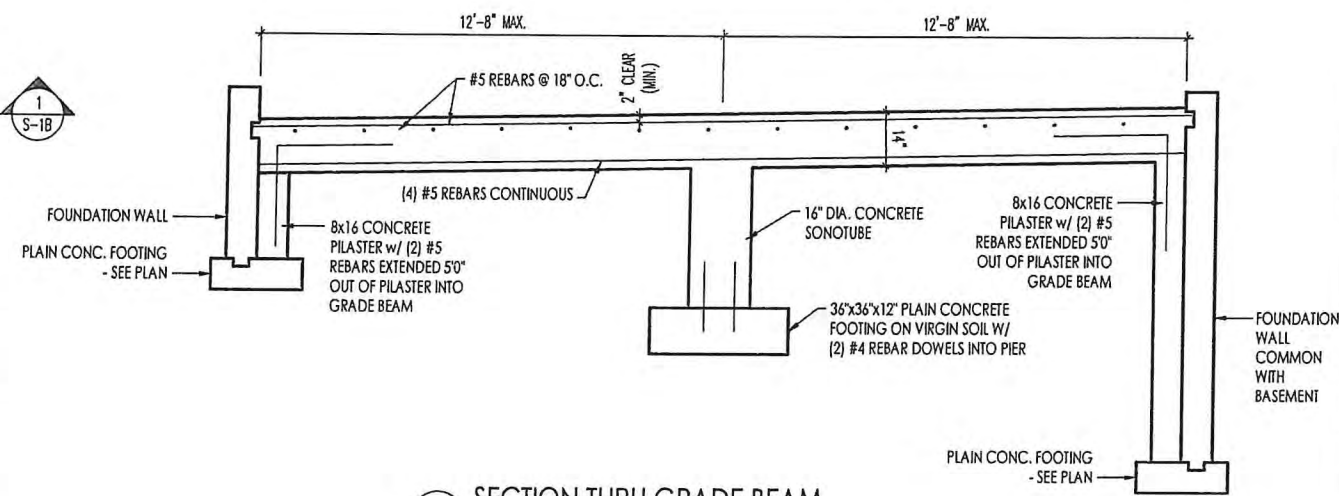
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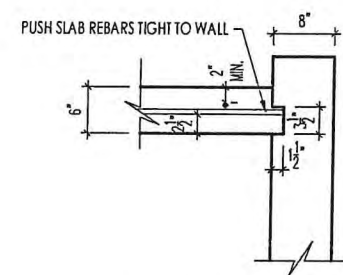
PLAN VIEW
SCALE: 1/4" = 1'-0"



SECTION 1 THRU SLAB
SCALE: 1/4" = 1'-0"



SECTION 2 THRU GRADE BEAM
SCALE: 1/4" = 1'-0"



KEYWAY DETAIL (ALL EDGES)
SCALE: 1/2" = 1'-0"

GENERAL NOTES

1. THIS DETAIL TO BE USED ONLY WHEN OVERDIG EXCEEDS 2'-0" - FILL OVERDIG AREAS WITH GRAVEL IF LESS THAN 2'-0".
2. CONCRETE STRENGTH AT SLAB: 3500 PSI
3. ALL REBAR SHALL BE $F_y = 60$ KSI STEEL

ALTERNATE GARAGE SLAB

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3. SLAB REBAR OR GRADE BEAM NOT REQUIRED.
4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.

JAMES G. FRILING
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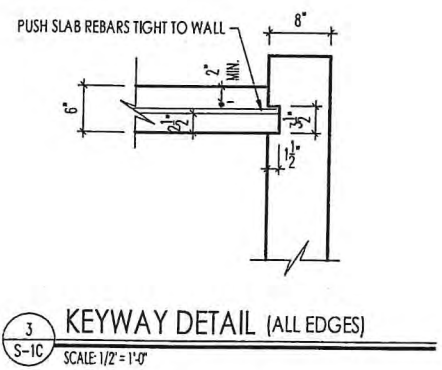
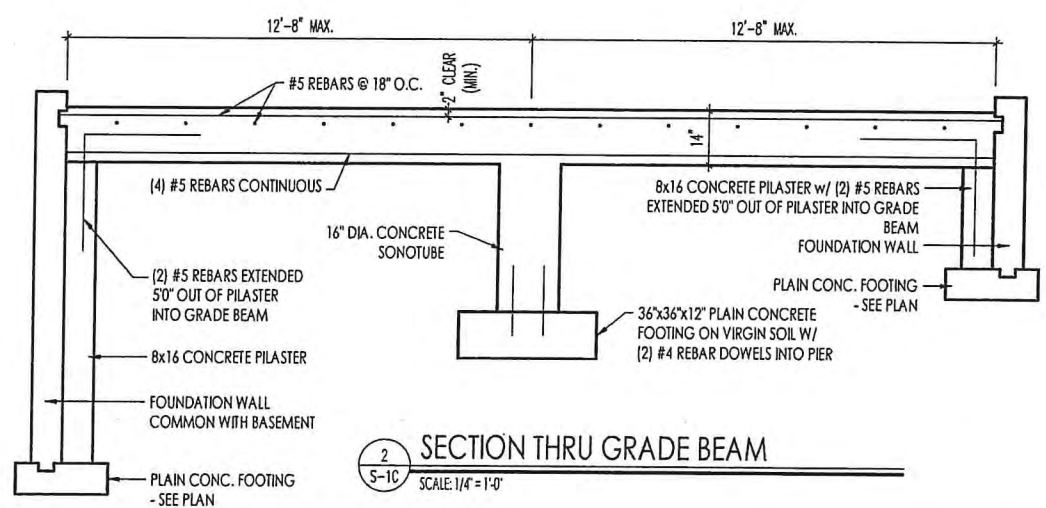
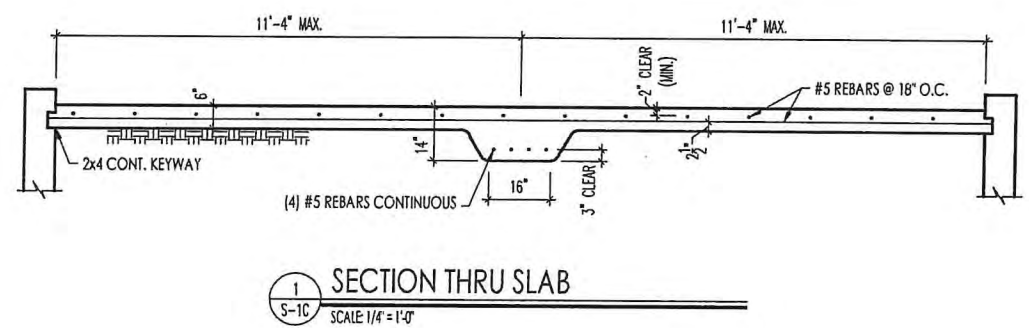
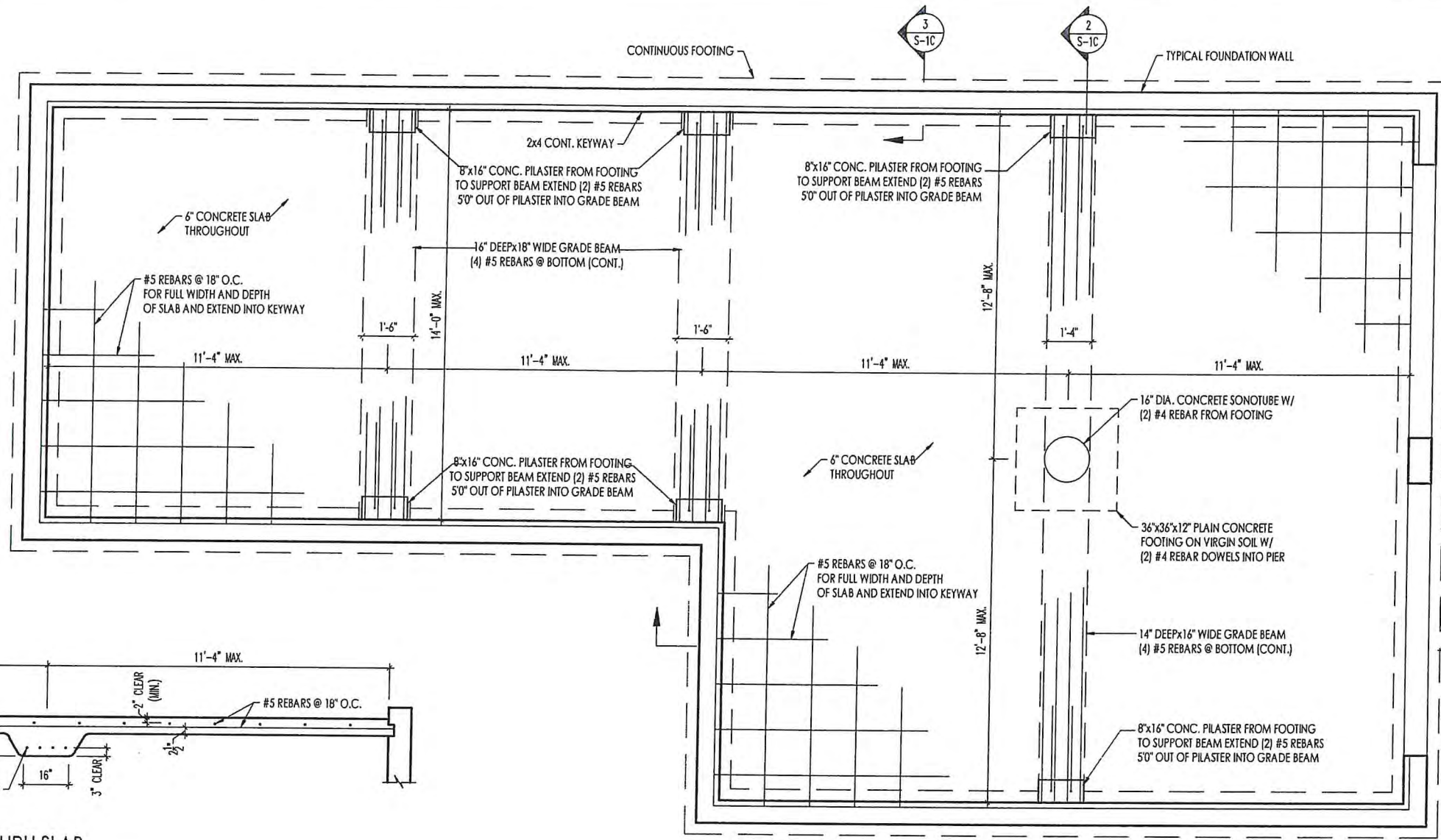
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ALTERNATE

GENERAL NOTES

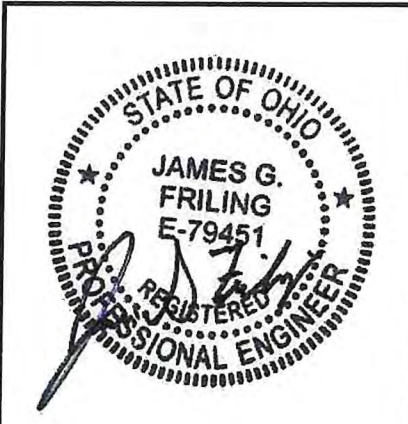
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4. INSTALL SLAB KEYWAY PER DETAIL 3 THIS SHEET.



PLAN VIEW
SCALE: 1/4" = 1'-0"



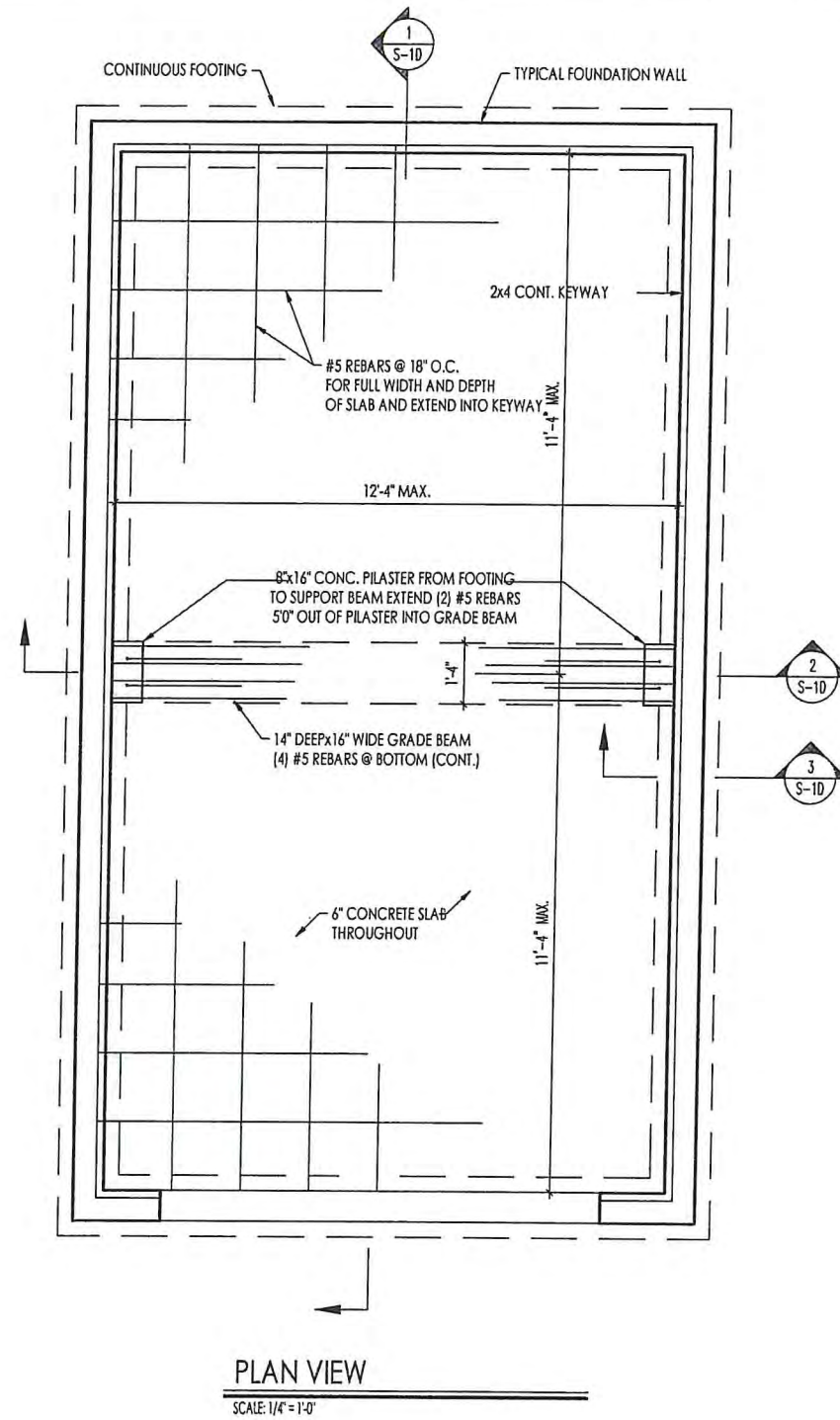
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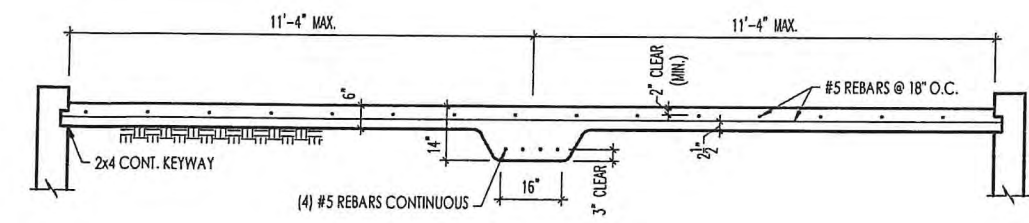
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Date of Last Rev:	01/03/19 AKS	g:\architecture\autocad 2004\symbols\details\general\mulhern and kulp engineering\garageslabdwgs.dwg 03.01.2019	

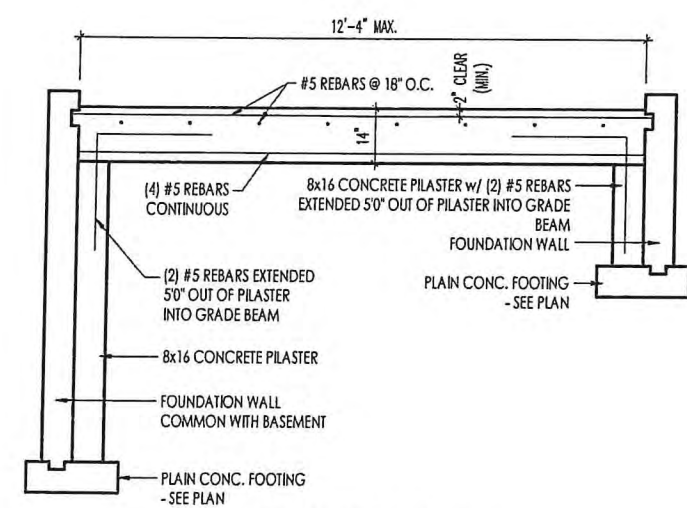
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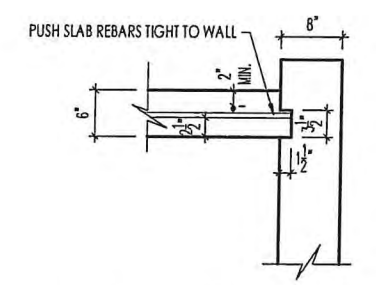
PLAN VIEW
SCALE: 1/4" = 1'-0"



SECTION THRU SLAB
SCALE: 1/4" = 1'-0"



SECTION THRU GRADE BEAM
SCALE: 1/4" = 1'-0"



KEYWAY DETAIL (ALL EDGES)
SCALE: 1/2" = 1'-0"

GENERAL NOTES

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Sheet No.
S-1D

CLEVELAND WINDOW SCHEDULE

* MEETS EMERGENCY ESCAPE & RESCUE OPENING REQUIREMENTS

Drees General Callout	Window Type	Simonton Vinyl Windows ProFinish Brickmould 300 Series		Call No.	Rough Opening	Drees General Callout	Simonton Vinyl Windows ProFinish Brickmould 300 Series		Simonton Vinyl Windows ProFinish Contractor Series	
		Call No.	Rough Opening				Call No.	Rough Opening	Call No.	Rough Opening
1860	SINGLE HUNG	1860	1'-8" x 6'-0"			4036 CASEMENT	N/A	N/A	4036	4'-0" x 3'-6"
2030	SINGLE HUNG	2030	2'-0" x 3'-0"			3'-0" HALF ROUND	3016	3'-0" x 1'-6"		
2040	SINGLE HUNG	2040	2'-0" x 4'-0"			4'-0" HALF ROUND	4020	4'-0" x 2'-0"		
2044	SINGLE HUNG	2044	2'-0" x 4'-4"			5'-0" HALF ROUND	5026	5'-0" x 2'-6"		
2050	SINGLE HUNG	2052	2'-0" x 5'-2"			3'-0" QUARTER ROUND	3030	3'-0" x 3'-0"		
2060	SINGLE HUNG	2060	2'-0" x 6'-0"			7'-0" EYEBROW	84" x 17" (C)	7'-0" x 1'-5"		
2660	SINGLE HUNG	2460	2'-4" x 6'-0"			5050 EYEBROW	5050 w/ 52" Leg	5'-0" x 5'-2"		
* 2860	SINGLE HUNG	* 2860	2'-8" x 6'-0"			6022 EYEBROW	72" x 21 1/2" (C)	6'-0" x 1'-9 1/2"		
3030	SINGLE HUNG	3030	3'-0" x 3'-0"			7006 EYEBROW	84" x 16" W/6" Leg (C)	7'-0" x 1'-4"		
3040	SINGLE HUNG	3040	3'-0" x 4'-0"							
3044	SINGLE HUNG	3044	3'-0" x 4'-4"							
* 3050	SINGLE HUNG	* 3052	3'-0" x 5'-2"							
* 3060	SINGLE HUNG	* 3060	3'-0" x 6'-0"							
* 4050	SINGLE HUNG	* 4052	4'-0" x 5'-2"							
* 4060	SINGLE HUNG	* 4060	4'-0" x 6'-0"							
3030 SLIDER		3030	3'-0" x 3'-0"							
3040 SLIDER		3040	3'-0" x 4'-0"							
4030 SLIDER		4030	4'-0" x 3'-0"							
* 4040 SLIDER		* 4040	4'-0" x 4'-0"							
1040 FIXED	PICTURE	1040	1'-0" x 4'-0"							
1840 FIXED	PICTURE	1840	1'-8" x 4'-0"							
2030 FIXED	PICTURE	2030	2'-0" x 3'-0"							
2040 FIXED	PICTURE	2040	2'-0" x 4'-0"							
2440 FIXED	PICTURE	2440	2'-4" x 4'-0"							
2620 FIXED	PICTURE	2620	2'-6" x 2'-0"							
2640 FIXED	PICTURE	2640	2'-6" x 4'-0"							
2650 FIXED	PICTURE	2650	2'-6" x 5'-0"							
2820 FIXED	PICTURE	2820	2'-8" x 2'-0"							
3010 FIXED	PICTURE	3020	3'-0" x 2'-0"							
3016 FIXED	PICTURE	3016	3'-0" x 1'-6"							
3020 FIXED	PICTURE	3020	3'-0" x 2'-0"							
3030 FIXED	PICTURE	3030	3'-0" x 3'-0"							
3040 FIXED	PICTURE	3040	3'-0" x 4'-0"							
3050 FIXED	PICTURE	3052	3'-0" x 5'-2"							
3060 FIXED	PICTURE	3060	3'-0" x 6'-0"							
3320 FIXED	PICTURE	3320	3'-3" x 2'-0"							
3860 FIXED	PICTURE	3860	3'-8" x 6'-0"							
4010 FIXED	PICTURE	4010	4'-0" x 1'-0"							
4016 FIXED	PICTURE	4016	4'-0" x 1'-6"							
4024 FIXED	PICTURE	4024	4'-0" x 2'-4"							
4030 FIXED	PICTURE	4030	4'-0" x 3'-0"							
4038 FIXED	PICTURE	4038	4'-0" x 3'-8"							
4040 FIXED	PICTURE	4040	4'-0" x 4'-0"							
4050 FIXED	PICTURE	4052	4'-0" x 5'-2"							
4060 FIXED	PICTURE	4060	4'-0" x 6'-0"							
4430 FIXED	PICTURE	4430	4'-4" x 3'-0"							
4830 FIXED	PICTURE	4830	4'-8" x 3'-0"							
5030 FIXED	PICTURE	5030	5'-0" x 3'-0"							
5040 FIXED	PICTURE	5040	5'-0" x 4'-0"							
5050 FIXED	PICTURE	5052	5'-0" x 5'-2"							
5060 FIXED	PICTURE	5060	5'-0" x 6'-0"							
6050 FIXED	PICTURE	6052	6'-0" x 5'-2"							



Drees Homes

6650 West Snowville Road, Suite J, Brecksville, Ohio 44141 Ph: (440) 717-9670

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Sheet Description:

WINDOW SCHEDULE

Sheet No.

SC-01

MOULDED MILLWORK SCHEDULE

LAST REVISED 11/22/17

HEADERS		
Drees General Callout	Nuwood	Fypon
ARCHED HEADER D1	H8xxEFR	N/A
ARCHED HEADER D1K	H8xxEFKR	N/A
ARCHED HEADER D2	H8xxEFTR	N/A
ARCHED HEADER D2K	H8xxEFTKR	N/A
ARCHED HEADER D3	AH10xx	WCHSEGxxX10
ARCHED HEADER D3K	N/A	WCHSEGxxX10K
ARCHED HEADER D4	AR5xx	ARxxX6M
ARCHED HEADER D4K	AR5xxK	ARxxX6MK
ARCHED HEADER D5	AR10xxEC	ARxxX6METAR6C
ARCHED HEADER D5K	AR10xxECK	ARxxX6METAR6CK
ARCHED HEADER D6	AR10xxC	ARxxX10MC
ARCHED HEADER D6K	AR10xxCK	ARxxX10MCK
ARCHED HEADER D7K	H7xxEF-4K	N/A
ARCHED HEADER D8	AR14xxC	ARxxX14MC
ARCHED HEADER D8K	AR14xxCK	ARxxX14MCK
ARCHED HEADER D9	H9xxE	WCHARSxx13
CROSSHEAD A1	H9xx	WCHxxX9N
CROSSHEAD A1K	H9xxK	WCHxxX9NK
CROSSHEAD B1	H14xxBT	WCHxxX14BT
CROSSHEAD B1K	H14xxBTK	WCHxxX14BTK
CROSSHEAD B2	H12xx	WCHxxX12
CROSSHEAD B2K	H12xxK	WCHxxX12K
CROSSHEAD C1	H18xxBT	WCHxxX14BT
CROSSHEAD C1K	H18xxBTK	WCHxxX14BTK
CROSSHEAD C2	H18xxBT-PA	LDCHxxX18
CROSSHEAD C2K	H18xxBTK-PA	LDCHxxX18K
CROSSHEAD Z-E1-HDR	Z-E1-HDR	Z-E1-HDR
CROSSHEAD Z-E2-HDR	Z-E2-HDR	Z-E2-HDR
CROSSHEAD Z-E3-HDR	Z-E3-HDR	Z-E3-HDR
CROSSHEAD Z-E3-ARCHHDR	Z-E3-ARCHHDR	Z-E3-ARCHHDR
CROSSHEAD Z-E3-CLHDR	Z-E3-CLHDR	Z-E3-CLHDR
CROSSHEAD Z-E5-HDR	Z-E5-HDR	Z-E5-HDR
WINDOW HEADER A1	H6xx	WCHxxX6
WINDOW HEADER A1K	H6xxK	WCHxxX6K
WINDOW HEADER B1	H9xx-2	WCHxxX9N
WINDOW HEADER B1K	H9xx-2K	WCHxxX9NK
WINDOW HEADER B2	H9xxBT	WCHxxX10NBT
WINDOW HEADER B2K	H9xxBTK	WCHxxX10NBTK
WINDOW HEADER C1	H9xx	CCAxxX10
WINDOW HEADER C1K	H9xxK	CCAxxX10K
WINDOW HEADER C2	H9xxT	WCHxxX9T
WINDOW HEADER C2K	H9xxTK	WCHxxX9TK
WINDOW HEADER C3	H12xxBT	WCHxxX10BT
WINDOW HEADER C3K	H12xxBTK	WCHxxX10BTK
WINDOW HEADER C4	H14xxBT	WCHxxX14BT
WINDOW HEADER D1	H7xxF-4	N/A
WINDOW HEADER D1K	H7xxF-4K	N/A
WINDOW HEADER D2K	H9xxK-1	N/A
WINDOW HEADER Z-W1	Z-W1	Z-W1
WINDOW HEADER Z-W3	Z-W3	Z-W3
WINDOW HEADER Z-W3K	Z-W3K	Z-W3K
WINDOW HEADER Z-W3D	Z-W3D	Z-W3D
WINDOW HEADER Z-W4	Z-W4	Z-W4
WINDOW HEADER Z-W4K	Z-W4K	Z-W4K

PILASTERS		
Drees General Callout	Nuwood	Fypon
FLUTED PILASTER A1	PL7xxF	PIL7Xxx
FLUTED PILASTER B1	PL9xxF	PIL9Xxx
FLUTED PILASTER C1	PL11xxFM	PIL11Xxx
PANEL PILASTER A2	PL7xxP	PIL7XxxDP
PANEL PILASTER B2	PL9xxP	PIL9XxxDP
PANEL PILASTER C2	PL11xxPM	PIL11XxxDP
PILASTER D1	M311-9	PIL10XxxA
PILASTER D2	M323-9	N/A
PILASTER Z-E1-PIL	Z-E1-PIL	Z-E1-PIL
PILASTER Z-E2-PIL	Z-E2-PIL	Z-E2-PIL
PILASTER Z-E3-PIL	Z-E3-PIL	Z-E3-PIL
PILASTER Z-PIL-EXT	Z-PIL-EXT	Z-PIL-EXT
PLAIN PILASTER A3	PL7xxS	PIL7XxxP
PLAIN PILASTER B3	PL9xxS	PIL9XxxP
PLAIN PILASTER C3	PL11xxS	PIL11XxxP
PLINTH D1	PF10	ADD "P" TO END OF PILASTER
PLINTH D2	P14.5	N/A

LOUVERS			
Drees General Callout	Nuwood	Fypon	Mid-America
CATHEDRAL LOUVER D1	CLV1224	CLV12X24	--
CATHEDRAL LOUVER D1T	CLV1224TRIM4	CLV12X24X4F	--
CATHEDRAL LOUVER D2	CLV1432	CLV14X32	--
CATHEDRAL LOUVER D2T	CLV1432TRIM4	CLV14X32X4F	00 44 1422
CATHEDRAL LOUVER D3	CLV2232	CLV22X32	--
CATHEDRAL LOUVER D3T	CLV2232TRIM4	CLV22X32X4F	--
HALF CIRCLE LOUVER D1	HRLV32	HRLV32X16	--
HALF CIRCLE LOUVER D1T	HRLV32TRIM4	HRLV32X16F	--
HALF CIRCLE LOUVER D2	HRLV36	HRLV36X18	--
HALF CIRCLE LOUVER D2T	HRLV36TRIM4	HRLV36X18F	00 43 2234
OCTAGONAL LOUVER D1	OLV24	OLV24X4F	--
OCTAGONAL LOUVER D12	OLV24TRIM4	OLV24X4F	--
OVAL LOUVER D1	OLV2537	OLV37X25	--
OVAL LOUVER D1T	OLV2537TRIM4	OLV37X25X4F	--
RECTANGULAR LOUVER D1	LV1224V	LV12X24	00 45 1218
RECTANGULAR LOUVER D1T	LV1224VTRIM4	LV12X24-4F	00 45 1218
RECTANGULAR LOUVER D2	LV1636V	LV16X36	--
RECTANGULAR LOUVER D2T	LV1636VTRIM4	LV16X36-4F	--
RECTANGULAR LOUVER D3	LV2436V	LV24X36	--
RECTANGULAR LOUVER D3T	LV2436VTRIM4	LV24X36-4F	--
RECTANGULAR LOUVER D4	LV2424V	LV24X24	--
RECTANGULAR LOUVER D4T	LV2424VTRIM4	LV24X24-4F	--
ROUND LOUVER D1	RLV18	RLV18	--
ROUND LOUVER D1T	RLV18TRIM4	RLV18X4F	--
ROUND LOUVER D2	RLV22	RLV22	--
ROUND LOUVER D2T	RLV22TRIM4	RLV22X4F	--
TRIANGULAR LOUVER D1	--	TRLVxxX36	00 47 0x0x

BRACKETS		
Drees General Callout	Nuwood	Fypon
EXTERIOR BRACKET D1	BR437	N/A
EXTERIOR BRACKET D2	DB102	DTLB6X4X6
EXTERIOR BRACKET D3	BR304 (7" WIDE)	BKT24X24X7
EXTERIOR BRACKET D4	BR455	N/A
EXTERIOR BRACKET D5	BR300-1	BKT12X12X6
EXTERIOR BRACKET D6	BR300	BKT12X12
EXTERIOR BRACKET D7	BR409	BKT16X18X3
EXTERIOR BRACKET D8	BR413	DTLB5X5X3
EXTERIOR BRACKET D9	TBD	BKT11X20
EXTERIOR BRACKET D10	TBD	BKT12X24X3
EXTERIOR BRACKET D11	BR435	BKT25X27
EXTERIOR BRACKET D12	BR404	BKT16X30X4
GABLE BRACKET D1	TBD	DTLB6X4X6R(OR L)PITCH
GABLE BRACKET D2	BR423-x:12	BKT5X20
GABLE BRACKET D3	BR424-x:12	BKT5X20 (CUT 2" PROJECTION)

MOULDINGS		
Drees General Callout	Nuwood	Fypon
BAND MOULD D1	M210-16	MLD612-12
BAND MOULD D2	M301-16	MLD220-16
BARGE MOULD D1	WM210	WM210
CASE MOULD D1	M320-16	MLD226-16
CASE MOULD D2	N/A	MLD244-12
CROWN MOULD D1	M404-16	MLD572-16
DENTIL MOULD D1	M105-16	MLD310-16
DENTIL MOULD D2	M108-8	MLD353-8
HALF ROUND MOULD D1	N/A	MLD605-12
PANEL MOULD D1	M310-8 OR 16	MLD612-12

PEDIMENTS / COMBO HEADERS		
Drees General Callout	Nuwood	Fypon
BROW COMBO D1	BCxx	CSAPxx
PEAK PEDIMENT D1	Pxx-4 (6:12)	PCPxx
PEAK PEDIMENT Z-E1-PED	Z-E1-PED	Z-E1-PED
PEAKED COMBO D1	PCxx-4	CPCPxx
RAMS HEAD PEDIMENT D1	Rxx	RHPxx00
ROUND PEDIMENT D1	Bxx-4	PSPxx
SUNRISE COMBO D1	SCxx-4	CSPxx
VICTORIAN PEDIMENT D1	VPxx	DVPxx w/ SWDHxxXxx

WINDOW DECORATION		
Drees General Callout	Nuwood	Fypon
HALF CIRCLE SUNBURST D1	SPxxxx	SWDHxxXxx
PALLADIAN WINDOW D1	H9AR10-xx xx" FL/FR	ARxxX10MFLxxx
PALLADIAN WINDOW D1K	H9AR10-xxK xx" FL/FR	ARxxX10MFLxxx with K10TM
PALLADIAN WINDOW D2	H9AR10SPxxxx	ARxxX10MFLxxx with SWDHxxXxx
PALLADIAN WINDOW D2K	H9AR10SPxxxxK	ARxxX10MFLxxx with SWDHxxXxx and K10TM
PEAKED CAP HEADER D1	N/A	CHPCxxX15
PLAIN SEGMENT D1	SPxxxxP	PSPxx
SEGMENT SUNBURST D1	SPxxxx	SWDHxxXxx

ACCESSORIES		
Drees General Callout	Nuwood	Fypon
GABLE D1	PGDx12	GPA (width X height)
KEystone D1	KY14F-3	KY14
KEystone D2	KYHM9F	K9M
WREATH D1	N/A	WAB34



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Sheet Description:

MOULDED MILLWORK SCHEDULE

Sheet No.

SC-02

RESOLUTION 2022-67

A RESOLUTION OF NECESSITY DECLARING THE INTENT TO APPROPRIATE AND ACQUIRE THE FEE SIMPLE INTEREST IN CERTAIN REAL PROPERTY TITLED TO YESHIVATH ADATH B'NAI ISRAEL, KNOWN AS 2308 WARRENSVILLE CENTER ROAD, BEARING PERMANENT PARCEL NO. 722-17-050, CITY OF UNIVERSITY HEIGHTS, COUNTY OF CUYAHOGA, STATE OF OHIO, AS MORE FULLY DESCRIBED HEREIN, FOR THE PURPOSE OF EXPANSION AND CONSTRUCTION OF THE CITY CAMPUS, AND DECLARING AN EMERGENCY.

WHEREAS, City Council deems it necessary to appropriate certain property known as 2308 Warrensville Center Road, University Heights, Ohio and owned by Yeshivath Adath B'Nai Israel ("YABI"), for the purpose of expanding and constructing new municipal facilities as part of the City campus, and wishes to present the results of an appraisal of said property to the owner thereof, and wishes to present the owner thereof with a Notice of Intent to Acquire said property, and wishes for negotiations to be conducted in connection with the acquisition of same, and wishes to ratify any of the foregoing;

WHEREAS, the property (the "Property") includes a building utilized as a child daycare center and nursery school;

WHEREAS, the Property is immediately contiguous and adjacent to property owned by the City of University Heights and utilized by the City as its municipal facilities campus, including buildings that house the City's administrative offices and former Council chambers, Police Department, Fire Department, Building Department, Service Department yard, and garage facilities (collectively the "Municipal Facilities");

WHEREAS, the Municipal Facilities are worn and dated, and do not adequately serve the needs of City government, City departments or the residents of the City of University Heights;

WHEREAS, the Municipal Facilities are in need of updating, remodeling, and/or replacement;

WHEREAS, the City commissioned GPD Group to conduct a study of its Municipal Facilities (the "Municipal Facilities Study") and to make recommendations for the updating, remodeling and/or replacement of said facilities in order to adequately serve the needs of its various departments as well as the needs of its citizens;

WHEREAS, the Municipal Facilities Study recommends the new construction of municipal facilities, including buildings to house a new City Hall, Police Department, Fire Department, Building Department and Service Yard;

WHEREAS, the Municipal Facilities Study further recommends the acquisition of the YABI Property so that the City has enough land to expand its Municipal Facilities in accordance with certain recommendations set forth in the Municipal Facilities Study;

WHEREAS, the City intends to construct new municipal facilities on the YABI Property;

WHEREAS, the City is constrained from making any definitive plans for construction of its municipal facilities until the City determines the size of its site for said facilities;

WHEREAS, this Council has determined the necessity of acquiring the YABI Property for construction of new municipal facilities that are adequate to serve the needs of City government and the citizens of University Heights;

WHEREAS, it is in the interests of the health, safety and welfare of the City's citizens that the City expand its site for municipal facilities by acquiring Permanent Parcel No. 722-17-050 located at 2308 Warrensville Center Road, University Heights, Ohio;

NOW THEREFORE BE IT RESOLVED by the Council of the City of University Heights, County of Cuyahoga, State of Ohio, that:

SECTION 1. Council hereby declares its intent to appropriate and acquire the fee simple interest in the Property for the purpose of expanding and constructing new municipal facilities as part of the City campus. A legal description of the Property is attached hereto as Exhibit A, which is incorporated herein by reference as if fully re-written.

SECTION 2. Council hereby directs the Mayor or his designee to present the owner of the Property and any other interested parties with a Notice of Intent to Acquire said Property, ratifies any Notice of Intent to Acquire already sent to any owner of the Property, and further expresses its wishes for negotiations to be conducted in connection with the acquisition of same.

SECTION 3. The Clerk of Council shall mail by certified mail or personally deliver a copy of this Resolution of Necessity to the owner of the Property.

SECTION 4. Council hereby directs the Mayor or designee to send or personally deliver a Notice of Intent to Acquire to be sent to the owner of the Property, in the form required by R.C. Section 163.041, and ratifies any Notice of Intent to Acquire already sent to any owner of the Property.

SECTION 5. Council hereby affirms the need for the Property and wishes to proceed to acquire said Property for the purpose of expanding and constructing new municipal facilities as part of the City campus.

SECTION 6. This Council finds and determines that all formal actions of this Council concerning and relating to the adoption of this Ordinance were taken in an open meeting of this Council and that all deliberations of this Council and of any committees that resulted in those formal actions were in meetings open to the public in compliance with the law.

SECTION 7. This Resolution is hereby declared to be an emergency measure immediately necessary for the preservation of the public health, safety and welfare and for the further reason it is necessary to certify this document at the earliest time so that the City may proceed to meet the statutory requirements for filing an eminent domain action and file the same, so that the City can determine the scope of its municipal facilities project as soon as possible. Wherefore, this Resolution shall be in full force and effect immediately upon its passage and adoption.

CITY OF UNIVERSITY HEIGHTS, OHIO

**_____
MICHAEL DYLAN BRENNAN, MAYOR**

PASSED:

ATTEST:

**_____
KELLY M. THOMAS, CLERK OF COUNCIL**

APPROVED AS TO FORM:

**_____
LUKE F. MCCONVILLE, LAW DIRECTOR**

EXHIBIT A

Property Description: 2308 Warrensville Center Road, University Heights, OH 44118
Permanent Parcel No. 722-17-050

Parcel No. 1 (PPN: 722-17-050)

Situated in the City of University Heights, County of Cuyahoga and State of Ohio:

And known as being part of Original Warrensville Township Lot No. 5 and bounded and described as follows:

Beginning in the center line of Warrensville Center Road, 60 feet wide at a point which bears South 00° 19' 40" East, 332.17 feet from a stone monument at a point of intersection of said center line with the center line of Silsby Road (formerly Idam Road) 60 feet wide; Thence 00° 19' 40" East continuing along said center line of Warrensville Center Road, 170 feet;
Thence South 89° 47' 00" West, 300 feet;
Thence North 00° 19' 40" West, 170 feet;
Thence North 89° 47' 00" East, 300 feet to the place of beginning, be the same mor or less, but subject to all legal highways.

Parcel No. 722-17-050

ORDINANCE NO. 2022-68

INTRODUCED BY: Mayor Michael Dylan Brennan

AN ORDINANCE AUTHORIZING THE MAYOR TO ENTER INTO A NORTHEAST OHIO REGIONAL SEWER DISTRICT MEMBER COMMUNITY INFRASTRUCTURE GRANT AGREEMENT FOR THE EAST SCARBOROUGH AND CANTERBURY RELIEF SEWER PROJECT, LLC AND DECLARING AN EMERGENCY

WHEREAS, the Northeast Ohio Regional Sewer District (“NEORS”) notified the City that it received a Member Community Infrastructure Grant (“MCIP”) for the East Scarborough and Canterbury Relief Sewer Project; and

WHEREAS, the proposed project addresses the Sanitary Sewer Overflow connection near the intersection of East Scarborough and Canterbury Road, on the border of Cleveland Heights and University Heights; and

WHEREAS, the overflow is present to prevent basement backups on East Scarborough and Canterbury during significant rain events, but currently allows sanitary sewer water to overflow into the storm sewer; and

WHEREAS, the project includes installation of 230 feet of sanitary relief sewer on Canterbury from East Scarborough to Meadowbrook that will tie directly into the NEORS Deep Tunnel (Lee-Superior ICRS) in the intersection of Canterbury and Meadowbrook, allowing for disconnection of the Sanitary Sewer Overflow; and

WHEREAS, the MCIP grant requires 50/50 matching funds in the amount of \$86,951.67.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY HEIGHTS, COUNTY OF CUYAHOGA, AND STATE OF OHIO, THAT:

Section 1. Council hereby authorizes the Mayor to enter into the NEORS MCIP Grant Agreement for the East Scarborough and Canterbury Relief Sewer Project, a copy of which is attached hereto as Exhibit A and incorporated herein by reference.

Section 2. Council hereby appropriates matching funds in the amount of \$86,951.67 to be contributed by the City for completion of the Project.

Section 3. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including the requirements of Section 121.22 of the Ohio Revised Code.

Section 4. This Ordinance is declared to be an emergency measure necessary for the preservation of the public peace, safety, health and welfare of the citizens of the City of University Heights, the emergency being the need to comply with applicable time periods for award of the grant funding. It shall therefore become effective upon its passage by the affirmative vote of not less than five (5) members of Council and approval of the Mayor; otherwise it shall become effective at the earliest time allowed by law.

City of University Heights, Ohio

Michael Dylan Brennan, Mayor

Passed: _____

Attest: _____
Kelly M. Thomas, Clerk of Council

Approved
as to form: _____
Luke F. McConville, Law Director



GPD GROUP
Gaus, Pyle, Schoner, Burns & DeHaven, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
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www.gpdgroup.com

October 14, 2022
2022003.01

Honorable Michael D. Brennan, Mayor
City of University Heights
2300 Warrensville Center Road
University Heights, Ohio 44118

RE: NEORSD MCIP Grant Agreement

Dear Mayor Brennan:

On October 11, 2022, the NEORSD notified the City of University Hts. they received a Member Community Infrastructure Grant (MCIP) for the East Scarborough and Canterbury Relief Sewer Project. The project includes of the following:

- This project addresses the Sanitary Sewer Overflow (SSO) connection near the intersection of East Scarborough and Canterbury Road, on the border of Cleveland Hts. and University Hts. The overflow is present to prevent basement backups on East Scarborough and Canterbury during significant rain event. The overflow currently allows sanitary sewer water to overflow into the storm sewer system (that ends up in the environment) versus being treated in a wastewater plant.
- The project includes installation of 230 feet of sanitary relief sewer (on Canterbury from East Scarborough to Meadowbrook) that will tie directly into the NEORSD Deep Tunnel (Lee-Superior ICRS) in the intersection of Canterbury and Meadowbrook. The SSO will be disconnected once the relief sewer is installed.

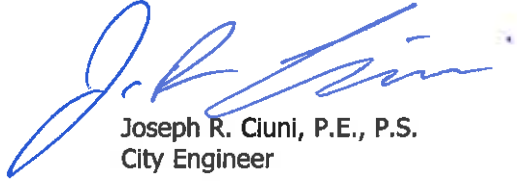
The Grant is a 50/50 split and is detailed below:

1. Design Fees = \$15,000
2. Construction Estimated cost = \$158, 903.33
3. University Heights 50% share = \$7,500 + \$79,451.67 = \$86,951.67

The proposed schedule for the project is for design to begin in December or January and Bidding for the project to take place in April. Construction can begin in the Spring and be completed in early summer.

We hereby recommend the City accept the Grant funds and enter into the Agreement with NEORSD for funding of the project.

Very Truly Yours,



Joseph R. Ciuni, P.E., P.S.
City Engineer

Cc: Jeff Pokorny, Service Director
File 2022003.01

EXHIBIT A

NORTHEAST OHIO REGIONAL SEWER DISTRICT
RESOLUTION NO. 251-22

AUTHORIZATION TO ENTER INTO AGREEMENTS WITH MEMBER COMMUNITIES TO FUND THE RESPECTIVE EIGHTEEN MEMBER COMMUNITY INFRASTRUCTURE PROGRAM PROJECTS PRESENTED FOR THE 2023 ROUND OF FUNDING, IN THE TOTAL AMOUNT NOT-TO-EXCEED \$14,987,695.67, AS PRESENTED.

WHEREAS, on April 21, 2022, the Board of Trustees adopted Resolution No. 132-22, authorizing the District to implement the 2023 Member Community Infrastructure Program (“MCIP”) (the “Program”) and to issue a Request for Proposals (RFP) for the Program;

WHEREAS, the Watersheds Program Department received twenty-two (22) proposals for the Program;

WHEREAS, The District recommends entering into agreements with the respective grant applicants listed below in Table 1 and Table 2 in the total amount not-to-exceed Fourteen Million Nine Hundred Eighty-Seven Thousand Six Hundred Ninety-Five and 67/100 Dollars (\$14,987,695.67); and

**TABLE 1. 2023 MEMBER COMMUNITY INFRASTRUCTURE PROGRAM
EQUITY INVESTMENT FOCUS AREA PROJECTS**

APPLICANT	PROJECT TITLE	AWARD
East Cleveland	Target Area Multi-Street Sewer Replacement Phase 1- Woodlawn	\$ 2,722,725.00
Garfield Heights	East 126th Street and Wolf Creek Interceptor Relocation Project	\$ 669,675.00
East Cleveland	Wheeler Ave. Sewer Replacement Project	\$ 367,077.00
Maple Heights	Southwest Sewer District Sewer Improvements - Ph 3	\$ 182,700.00
Maple Heights	Southwest Sewer District Sewer Repairs Phase 1a	\$ 1,431,750.00
Berea	North End Sewer New Flow Connection	\$ 618,141.00
Cleveland Division of Water Pollution Control	Brookside Boulevard Area Sewer Improvement Phase 1	\$ 1,542,564.00
Garfield Heights	MLK Drive Sewer Separation Project	\$ 162,900.00
Newburgh Heights	East 26th Street Sewer Separation Project	\$ 90,800.00
EIFA FUNDING		\$ 7,788,332.00

**TABLE 2. 2023 MEMBER COMMUNITY INFRASTRUCTURE PROGRAM
NON-EQUITY INVESTMENT FOCUS AREA PROJECTS**

APPLICANT	PROJECT TITLE	AWARD
Shaker Heights	Lynnfield/Lomond SSO-11 Control Project	\$ 2,000,000.00
Cleveland Heights	Cedar Glen Pkwy Rehab and Replacement	\$ 619,300.00
South Euclid	Maywood Road Infrastructure Improvement Project Phase 2	\$ 634,412.00
Parma	Krueger Avenue Area Sewer Improvements Phase 2	\$ 1,000,000.00
Beachwood	Timberlane/Green Sanitary Relief Sewer Phase 1	\$ 1,400,000.00
Parma	East Linden Lane Pump Station Relocation and Replacement Project	\$ 235,000.00
University Heights	East Scarborough and Canterbury Relief Sewer	\$ 86,951.67
North Royalton	North Royalton Valley Vista Pump Station Improvements	\$ 725,000.00
Cleveland Heights	CH-27, CH-51 SSO Control	\$ 498,700.00
NON-EIFA FUNDING		\$ 7,199,363.67

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE NORTHEAST OHIO REGIONAL SEWER DISTRICT:

Section 1. That this Board hereby authorizes the District to enter into agreements with respective Program applicants listed in the preamble of this Resolution, consistent with the Member Community Infrastructure Program Policy, in a total amount not-to-exceed Fourteen Million Nine Hundred Eighty-Seven Thousand Six Hundred Ninety-Five and 67/100 Dollars (\$14,987,695.67).

Section 2. That this Board further finds that the Program serves a public purpose by assisting member communities with cost-effective sewer infrastructure projects to address water quality and quantity issues associated with sewer infrastructure that adversely impact human health and the environment.

Section 3. That this Board hereby authorizes the Chief Executive Officer, at the request of the Director of Watershed Programs, to execute all documents and do all things necessary to effectuate the terms and conditions of the agreements authorized in Section 1.

Section 4. That this Board declares that all formal actions of the Board concerning and relating to the adoption of this resolution and that all deliberations of the Board and any of its committees that resulted in said formal action were conducted in meetings open to the public and in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

On motion of Mr. Sulik, seconded by Ms. Dumas, by rollcall vote with abstention by Mayor DeGeeter and Mayor Bacci, the foregoing resolution was unanimously adopted on August 4, 2022.



Timothy J. DeGeeter, Secretary
Board of Trustees

Northeast Ohio Regional Sewer District

EXHIBIT B

EXHIBIT B

(Insert Member Ordinance)

EXHIBIT C

**Northeast Ohio Regional Sewer District
2023 Member Community Infrastructure Program
Request for Proposals
April 21, 2022**

Introduction

The Northeast Ohio Regional Sewer District (District) through the Member Community Infrastructure Program (MCIP) will fund local communities and other eligible political subdivisions that own, operate, and maintain public sewer infrastructure that is tributary to a District wastewater treatment plant to address water quality and quantity issues associated with sewer infrastructure that adversely impacts human health and the environment.

The District will provide funding for up to 75% of project costs. The MCIP funds will be provided by the District on a reimbursement basis directly to the community based on MCIP project costs, conditioned on the District's prior approval of the design and/or construction of the project.

The District will determine the appropriate funding mechanism, grant, or community operating lease, during project evaluation. Determination of the funding mechanism for the project will be at the discretion of the District. Refer to the MCIP Policy for additional background and information on the funding mechanism.

Eligible Projects

Eligible projects include, but are not limited to the following:

- **Projects to Mitigate Sanitary Sewer Overflows (SSO) and Illicit Discharges:** Projects necessary to mitigate separate sanitary sewer overflows and illicit discharges.
- **Projects to Mitigate Infiltration & Inflow (I/I):** Projects necessary to address inflow and infiltration problems, including but not limited to, rehabilitation or separation of common trench pipes and manholes, removal of direct inflow connections, repair, or replacement of cracked or exfiltrating combined, sanitary or storm sewers, and reduction of public and private sources of I/I.
- **Projects to Remove/Eliminate Failing Home Sewage Treatment Systems (HSTS):** Projects to construct new separate sanitary sewers to eliminate failing HSTSs. HSTS failure should be confirmed by the jurisdictional Board of Health.
- **Projects that Improve Local Sewer System Level of Service:** Projects that reduce local sewer flooding and backups in the local system that can be attributed to undersized or structurally deficient local sewers. Such projects include efforts to address basement flooding in separate and combined sewer systems, and to the extent practical, on-site stormwater management practices to mitigate the increase in downstream flows.
- **Projects to Manage Stormwater Flow that Improve Combined/Sanitary Level of Service:** Projects that reduce volume, flow rate, or pollutant load of stormwater to a combined sewer, separate storm sewer, and/or directly to receiving water body that improve a combined or sanitary sewer level of service
- **Projects that Separate Over/Under Sewers:** Complete separation of common trench over/under sewers, with new infrastructure to transport storm and/or sanitary flows.

To ensure project eligibility, communities should schedule a pre-proposal meeting prior to submitting a proposal. Details on scheduling a pre-proposal meeting are found under the Pre-Proposal Meeting section of this document.

Ineligible Projects

MCIP funds should not be used for any project that causes, accelerates, or contributes to water quality degradation or water quantity issues that increase flooding, erosion, or is otherwise detrimental to human health within the District's service area. Ineligible projects include, but are not limited to the following:

- The proposal of fill materials in floodplains, riparian areas or wetlands, and the culverting or channelizing of watercourses;
- Capital, operation, maintenance, and administrative expenses not directly related to an eligible project; and
- Projects that increase the potential for flooding within a community and/or neighboring community's combined, sanitary, or storm sewer systems or local watercourses. The applicant is responsible for evaluating any potential downstream or upstream impacts of the proposed work on other users, or on the level of service of the infrastructure.

Project Requirements

To be considered for funding, projects at a minimum must meet the following requirements:

- Reduce water quantity issues and/or address water quality issues that impact human health and the environment associated with combined or separate sanitary infrastructure problems, as determined by the community or the District.
- Be located in the District's sanitary sewer service area (<http://arcg.is/2bPxzEt>).
- Meet all applicable District, federal, state, and local regulations.
- Design-only projects must complete design within 12 months of MCIP Project Agreement start.
- Design/Construction projects must reach construction completion within 24 months of a signed MCIP Project Agreement. The District will consider projects that may go beyond 24 months, but this should be discussed with the District at a pre-proposal meeting.
- Construction-only projects must include professional engineer stamped design drawings at the time of application, and construction activity must be complete within 12 months of a signed MCIP Project Agreement.
- Include at least 25% non-District matching funds dedicated to the project. These funds may include cash and/or in-kind sources. For example, costs associated with road rehabilitation in which MCIP funding is proposed for sanitary or combined sewer replacement or rehabilitation may be captured as non-District matching funds. Community Cost Share (CCS) may be used in accordance with CCS policy as community match. In addition, the following project costs may be captured to meet this 25% non-District matching fund requirement:
 - Personnel: Fully-loaded labor costs for employees of the community related

to the direct performance of engineering and design, construction services, project management, and performance verification on the project.

- Planning and design costs directly related to the project that were incurred prior to the submittal of a project proposal that have a material benefit to the proposal. These costs include, but are not limited to CCTV costs, manhole inspection costs, pre- construction performance verification activities (i.e. flow monitoring, water quality sampling), and engineering services such as surveying, design engineering, and cost estimating. Itemization and documented proof of these costs is required to be submitted with the proposal for consideration.

All funds must be approved as eligible by the District for the 25% non-District match requirement. Funds acquired from previous District awards cannot be used as match. Communities should contact the District’s Grant Programs Administrator to assess if the funding source is eligible.

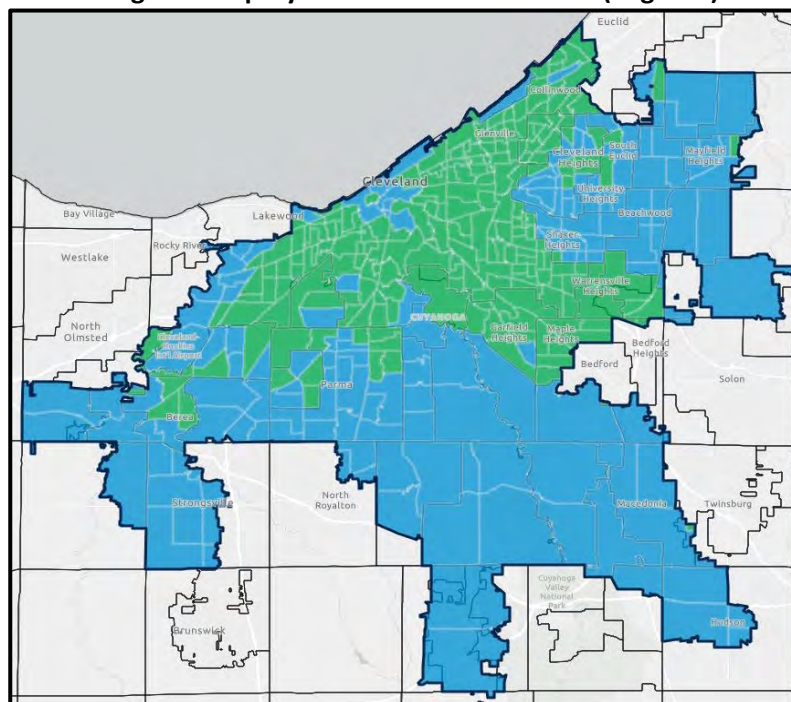
The District, at its sole discretion, may waive the 25% requirement for a community identified by the Office of the Auditor of the State of Ohio as being a local government in fiscal distress. This includes a community in fiscal caution, watch, or emergency as defined by the Office of the Auditor of the State of Ohio (<https://ohio.auditor.gov/fiscal/local.html>).

Equity Investment Focus Areas

The District will designate separate funding for the award of projects within Equity Investment Focus Areas (EIFA). For the purposes of this RFP, EIFA is defined as those areas within the District’s sanitary sewer service area that are included in a census tract with high poverty levels. Households earning less than 250% of the Federal Poverty Level (FPL) are eligible for the District's Affordability Program. This criterion (FPL) is based on 2021 Census Data regarding Median Household Income and Average Household Size.

A 25% match is still required for projects within an Equity Investment Focus Area. A map delineating the EIFA can be viewed at the following link: <https://arcg.is/0e5v15> or in Figure 1 below.

Figure 1: Equity Investment Focus Areas (in green)



Terms of Grant Funding

The MCIP is a reimbursement grant and payment will be made only on project-specific invoices as referenced in the approved project budget accrued on or after January 1, 2022. If the project for which you are applying is part of a larger construction project, the District will require individual, itemized, and verified invoices to support reimbursement. Refer to the District's *MCIP Policy, Process, and Procedures* document for additional information on reimbursement.

Costs associated with services provided by third-parties towards the project, including technical services such as engineering and design, construction services, project management, performance verification, testing, and inspection, and/or other direct costs as approved by the District, are eligible for grant funding. Indirect cost allocations are not eligible for reimbursement.

Project Performance Verification

The District will require project performance verification to demonstrate how the project is functioning. Verification activities and data collection may include reporting, pre- and post-construction rainfall and flow monitoring, water quality sampling, and modeling or other type of evaluation, such as Rainfall Derived Inflow and Infiltration (RDII) determination depending on the type of project. Guidelines on the type of pre and/or post construction monitoring, sampling and evaluation are provided in **Attachment A – Performance Verification Guidelines**. Communities should review the guidelines and include their anticipated method(s) of data collection, project verification and the estimated associated costs in their proposal.

It is the applicant's responsibility to ensure that no negative impacts will occur as a result of the proposed project through investigations, modeling, or other analysis.

Project Evaluation

The District will review and prioritize proposed projects for available funding based on the following criteria:

1. Infrastructure Condition (30%)

The current and actual condition of the structure using the condition descriptions defined in Table 1. Information that expands on the description should be provided with the proposal to assist with the scoring of this category. This may include but is not limited to condition assessments, identification of broken pipes, televised underground system inspection reports, age inventory reports and maintenance records, and any additional information that may impact the evaluation of the infrastructure condition. If available, condition assessments should be provided in accordance with NASSCO's Pipeline and Manhole Assessment and Certification Program (PACP and MACP). NASSCO condition is recommended. Only provide a high-level summary spreadsheet that details the sewer system's condition. If available, please provide photo or video proof of major defects with detailed documentation indicating defect(s).

Due to deficiencies commonly experienced with Over/Under sewer configurations (deteriorating, leaky, contribute high I/I and are difficult to maintain), Over/Under systems will automatically be scored 30 points in the Infrastructure Condition category.

Table 1. Rating System for Structural Infrastructure Condition.

Condition Rating	Description	Score
Failed	Complete reconstruction needed – existing infrastructure is failed, in the Over/Under configuration, and/or a PACP/MACP structural condition scores above 4.	30
Critical	Major reconstruction needed to maintain integrity, and/or A PACP/MACP structural condition scores above 4.	24
Poor	Partial reconstruction or extensive rehabilitation required to maintain integrity, and/or PACP/MACP structural condition scores between 3-4.	18
Fair	Major rehabilitation needed to maintain integrity, and/or a PACP/MACP structural condition scores between 2-3.	12
Good	Routine maintenance and periodic repairs required to maintain integrity, and/or a PACP/MACP structural condition scores between 1-2.	6
New	New infrastructure, and/or a PACP/MACP structural condition scores between 0-1.	0

Note: To validate condition rating, photo/video evidence or a structural PACP/MACP report must be submitted.

For projects where the infrastructure condition is unknown, the infrastructure condition will be assessed and scored based on age and/or common trench configuration, using Table 2. Trench type can be verified through photo documentation, Local Sewer System Evaluation Study report(s), or as-built drawings detailing the configuration. Applications should include documentation verifying age of infrastructure, as well as any additional qualitative or historical information that can confirm the current condition.

Table 2. Rating System for Unknown Structural Infrastructure Condition

Condition Rating	Description	Score
Failed	50 years or older, and/or an Over/Under configuration	30
Critical	40-49 years and/or Over Under or Dividing Wall configuration	24
Poor	30-39 years and/or common trench	18
Fair	20-29 years and/or common trench	12
Good	10-19 years	6
New	Less than 10 years	0

For projects proposing to remove/eliminate failing HSTs, the infrastructure condition will be assessed using Table 3. Information that expands on the description should be provided with the proposal to assist with the scoring of this category.

Table 3. Rating System for Home Sewage Treatment System Projects

Age of HSTS	Score
20 years or older	30
19-16 years old	24
15-11 years old	18
10-7 years old	12
6 years or younger	6

NOTE: Projects proposing to remove/eliminate failing HSTs must provide:

- Documentation that the area the community is targeting is part of an approved prescription of the Municipality’s 208 Plan, or
- A feasibility study for removal has been completed, or
- A letter and/or agreement with the property owners or for the sanitary sewer assessment has been executed

2. Water Quality and Quantity Impacts on Human Health and the Environment (35%)

Demonstrate the effects of the project on water quality and quantity. The water quality and quantity impacts will be assessed using Table 4. Responses should be formulated that provide clarity to the following questions:

- What is the frequency and/or magnitude of the problem?
- What is the direct human health or environmental impact?
- How many verified homes, businesses, or other occupied structures will see a benefit from this project?
- How will the proposed project eliminate or reduce the water quality/quantity impact?
- How will the proposed project mitigate the potential for unregulated release of sewage to the environment

Information that verifies and quantifies the water quality and quantity issues should be provided with the proposal and appropriately referenced within the response (e.g., page or document reference). Examples of project type and corresponding, supporting evidence include but are not limited to the following:

- HSTS /Illicit Discharge Elimination
 - Findings & Orders or Public Nuisance issued (e.g. Board of Health, EPA)
 - Sampling data supporting water quality deficiency issues (e.g. *E. Coli*, Pollutant Load)
 - Regulatory agency mandates citing deficiencies
 - Documentation of failing HSTS
- Basement Flooding Elimination
 - Documentation of reported flooding events such as:
 - Household surveys with addresses and details of flooding event
 - Call logs with flood event dates
 - Photos of event

- Desktop or hydrologic/hydraulic modeling results (hydraulic grade line, projected basements at-risk)
- Combined Sewer Overflow (CSO)/ Sanitary Sewer Overflow (SSO) Elimination/Reduction/Control
 - Monitoring results
 - Modeling results (Overflow volume, number of activations, dates)
 - Sampling data supporting water quality deficiency issues (e.g. *E. coli*, Pollutant Load)
- I/I Reduction, Elimination
 - Dye testing
 - Smoke testing
 - CCTV
 - Peak flows identified from modeling or study (District Local Sewer System Evaluation Study (LSSES) or other study)
- Common Trench Rehabilitation - Trench Type Verification
 - Photographs
 - Design plans
 - CCTV
 - Dye Testing
 - Smoke Testing

Table 4. Rating System for Water Quality/Quantity Impacts*

Water Quality and Human Health Issue	Description	Score Range	
		Low	High
Failed HSTS, Illicit Discharge	Removal of a continuous source of water quality impairment during wet and dry weather	11 <i>< 40 units</i>	20 <i>> 200 units</i>
Basement Flooding	Reducing intermittent and direct water quality impairments to human health and private property	11 <i><10 basements</i>	20 <i>> 20 basements</i>
CSO/SSO	Removal of wet weather source of water quality impairment	6 <i>Unknown effect of project</i>	10 <i>Modeled quantity and/or multiple locations</i>
Inflow/Infiltration	Conserving capacity in the common trench/separate sewer system	1-5 <i>Sliding scale depending on severity of I/I</i>	
Common Trench	Work varying from minimum rehabilitation to full separation	1-5	
<i>Documentation</i>			
Problem(s) is/are verified through documentation		1-10	

***35 points scoring maximum**

3. Project Provides Source Control of Stormwater (10%)

Project demonstrates source control of stormwater by preventing (removal) or controlling (detention/retention) stormwater from entering the combined or separate sanitary sewer system. To be considered for points under this criterion, the applicant will have to show volume reduction and/or peak rate control of stormwater entering the combined or separate sanitary sewer system using stormwater control measures such as disconnection, detention, or other innovative practices; see Table 5 and Attachment B.

Table 5. Rating System for Source Control of Stormwater

Description	Score
Removal of stormwater from combined or sanitary sewer system and managed for quality and/or quantity. This can be accomplished by a single SCM that provides a dual function (<i>ex. retention basin with critical storm and wet extended detention</i>), or by one or more SCMs that provide independent functions (<i>ex: infiltration, harvesting, impervious area reduction, critical storm, WQv treatment</i>)	9-10
Control of stormwater prior to discharging into the combined or sanitary sewer system via a SCM that provides a quantity management function via runoff reduction or peak rate control (<i>ex: infiltration, harvesting, impervious area reduction, critical storm</i>)	6 - 8
Removal of stormwater from the storm sewer system via a SCM that provides a quantity management function via runoff reduction (<i>ex: infiltration, harvesting, impervious area reduction</i>)	1 - 5

4. Project Provides a Significant Benefit to the District (15%)

Demonstrate the benefits to the District of the project. Benefits include but are not limited to projects that assist in attaining compliance with a District community discharge permit, addresses private property flows to District collection system infrastructure, reduce infrastructure flooding/basement back-ups, expand water quality treatment benefit to new District customers, are recommended by a District study, and/or improve water quality in area waterways to compliment the District’s ongoing programs, such as the Project Clean Lake Program, Local Sewer System Evaluation Studies, or Regional Stormwater Management Program.

5. Non-District Matching Funding (10%)

One point will be provided for meeting the minimum requirement of 25% non-District matching funds (Table 6). If the District waives this for a community in fiscal distress as discussed under the Project Requirements section in the Request for Proposals, the proposal will be awarded one point. Projects within Equity Investment Focus Areas (EIFA) are required to provide only a 25% match and will be scored and awarded independently from other projects outside of the EIFA. Proposals must provide documentation of funding sources.

Table 6. Non-District Project Match Scoring

% Match	Point Score
25	1
26-28	2
29-31	3
32-34	4
35-37	5
38-40	6
41-43	7
44-47	8
48-49	9
50-99	10

6. Design Complete (5 extra points)

Five extra points will be added to the overall project score if the design is complete (professional engineer stamped) and ready for bidding at the time of proposal submission due date.

7. Intercommunity Projects (5 extra points)

Up to five extra points will be added to the overall project score if the project assists in conserving sewer capacity of a downstream community or a downstream community is able to remove additional flows from an upstream community. The community should reference District Local Sewer System Evaluation Study findings or other data including certification from the benefiting community

MCIP Workshop

The District has created a MCIP Workshop Video that will be available 4/22/2022 at the following link:

<https://youtu.be/RU-DNT0eWsU>

Pre-proposal Meeting

District staff will provide an opportunity to meet with applicants to discuss projects prior to submission. Meetings will be scheduled between May 16 - 24. Please contact the District's Grant Programs Administrator by close of business on May 10, 2022, to schedule a meeting.

Application

The 2023 Member Community Infrastructure Program application portal is accessed through the following link:

https://www.grantrequest.com/SID_5833?SA=SNA&FID=35064

Timeline and Submission

The District must receive submissions by close of business on **June 10, 2022**. If proposal is successfully submitted there will be an immediate message and an email confirmation.

The District will not review incomplete proposals. If a proposal is determined to be incomplete, the community will have 5 business days, from the date of email receipt notification, to submit the necessary information to complete the proposal.

Direct workshop inquiries, pre-proposal meeting requests, and questions to the Grant Programs Administrator:

Linda Mayer

mayerl@neorsd.org

Awards

Award selection and announcements are anticipated in August 2022. Awards are contingent on funding availability. The District is under no obligation to fund any MCIP request.

Included with this document:

- Attachment A – Performance Verification Technical Guidance
- Attachment B – Stormwater Control Measure Guidance
- Attachment C – MCIP Agreement Template – Design Only Projects
- Attachment D – MCIP Agreement Template – Design & Construction Projects

Attachment A

Performance Verification Technical Guidance

Sewer Type Definitions: to be used when describing the existing system

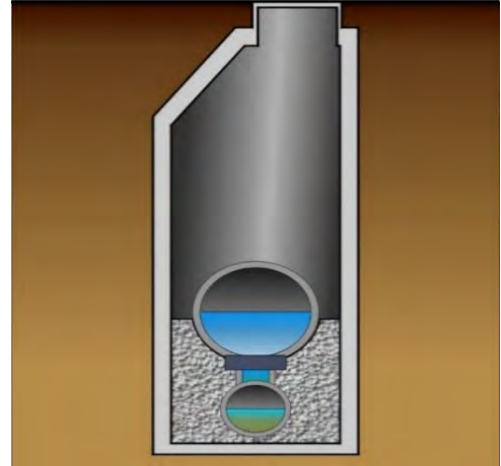
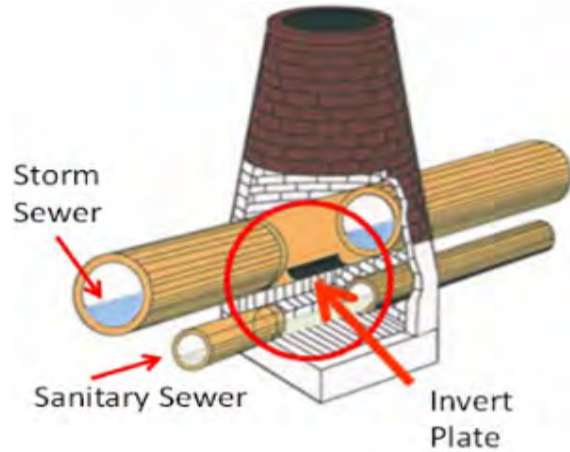
Common Trench

Both sanitary and storm sewers in the same trench, with the storm sewer either aligned on top of or next to the sanitary sewer. There are three types of Common Trench sewers.

Common Trench Over/Under

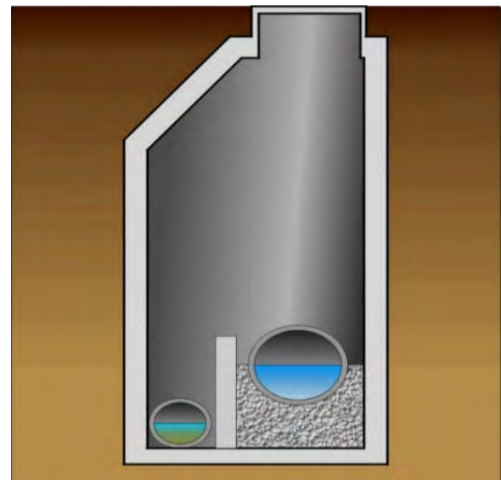
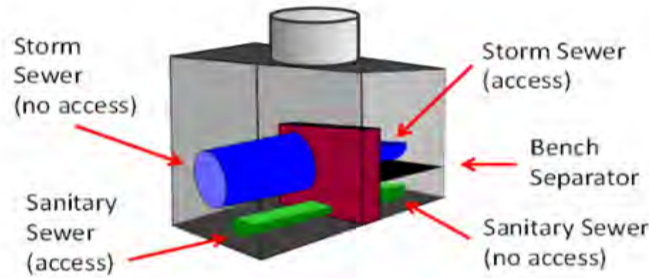
One manhole is used to access both the storm and the sanitary sewers, with a removal invert plate on the storm sewer to provide access to the sanitary sewer.

Some invert plates are found to be damaged, displaced, or missing, resulting in a direct connection between the storm and sanitary sewers.



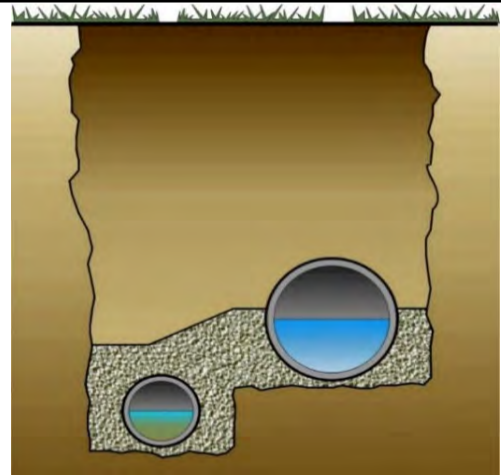
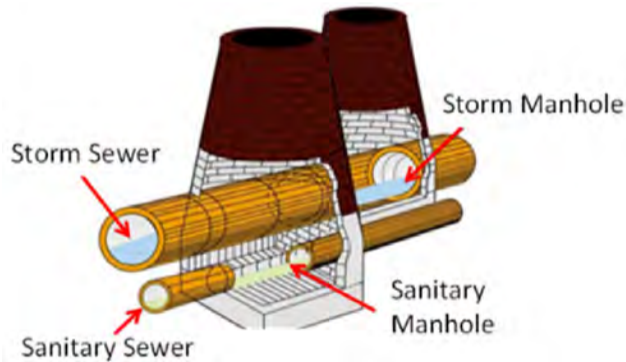
Common Trench Dividing Wall

One manhole is used to access both the storm and sanitary sewers. A vertical wall separates the storm and sanitary sewer access openings, such that flow from one sewer to the other at the manhole requires overtopping the dividing wall.



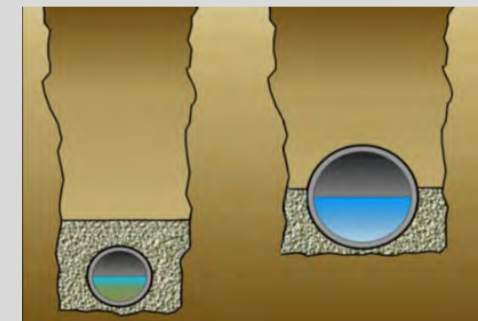
Common Trench Standard Manhole

Two manholes are constructed to allow separate access to each sewer in the common trench, but with no direct connections between the sewers.



Separate Trench

Sanitary and storm sewers in different trenches with separate manholes.



Combined Sewer

A single sewer designed to receive and transport both sanitary sewage and stormwater runoff in the same pipe.

Home Sewage Treatment Systems (HSTS)

Individual domestic wastewater disposal systems often located in areas without public sanitary collection systems.

Project Performance Verification Technical Guidance

The District requests project performance verification to document how a MCIP project is performing. Performance verification may include pre- and post-construction flow monitoring or water quality sampling, and/or desktop or hydraulic/hydrologic modeling depending on the type of project. Table 1 details options for types of performance verification activities suggested for various MCIP project types. This guidance should be considered when developing a performance verification plan and project budget.

Table 1: Suggested Project Performance Verification by Project Type

	Flow Monitoring	RDII evaluation ¹	Dry Weather Water Quality Outfall Sampling	Notes/Comments
Combined Sewer Separation	X	X (post)	X	Post RDII will quantify any private property I/I contribution
Common Trench Sewer Lining or Separation	X	X		Pre- and post-construction flow monitoring and RDII analysis will show reductions in I/I within new/rehabilitated sanitary sewer.
Separate Trench Sewer Lining or Replacement	X	X		
Lateral Repair	X	X		
Private Property I/I Reduction	X	X		
HSTS Removal			X	Sampling will verify elimination of failing HSTS
Illicit Connection Removal			X	Sampling will verify elimination of illicit discharge
SSO/CSO Control²	X			Monitor for activations; can be level or flow monitoring
Relief Sewer/ Parallel Storage	X			Monitor existing sewer level

¹ Applicant is responsible for evaluating any potential downstream or upstream impacts of the proposed work on other users, or on the level of service of the infrastructure.

² Quantification of SSO/CSO volume and/or activation reduction assists in determining the benefit of the project.

Table 1 is not a complete list of all MCIP-eligible project types but is provided for guidance. Questions regarding project eligibility should be directed to a District Watershed Team Leader or discussed during a pre-application meeting. Other project performance verification activities may include dye or smoke testing, Closed-Circuit Televising (CCTV), and/or other methods depending on the project.

Costs relating to performance verification activities should be included in the proposal. Communities must detail their anticipated method(s) of performance verification within the proposal, as well as complete the online District AGOL submittal. Instructions for this submittal can be found later in this instructions document, and a walk-through of the process is included as part of the annual MCIP Workshop, [available in video format on the District's YouTube page](#).

The District will review project performance verification plans and may suggest additional or alternate locations for verification activities to fully capture the impact of the project. Performance verification activities will be the responsibility of the community to complete.

Flow Monitoring and Rainfall Derived Inflow and Infiltration (RDII) Evaluation Guidelines

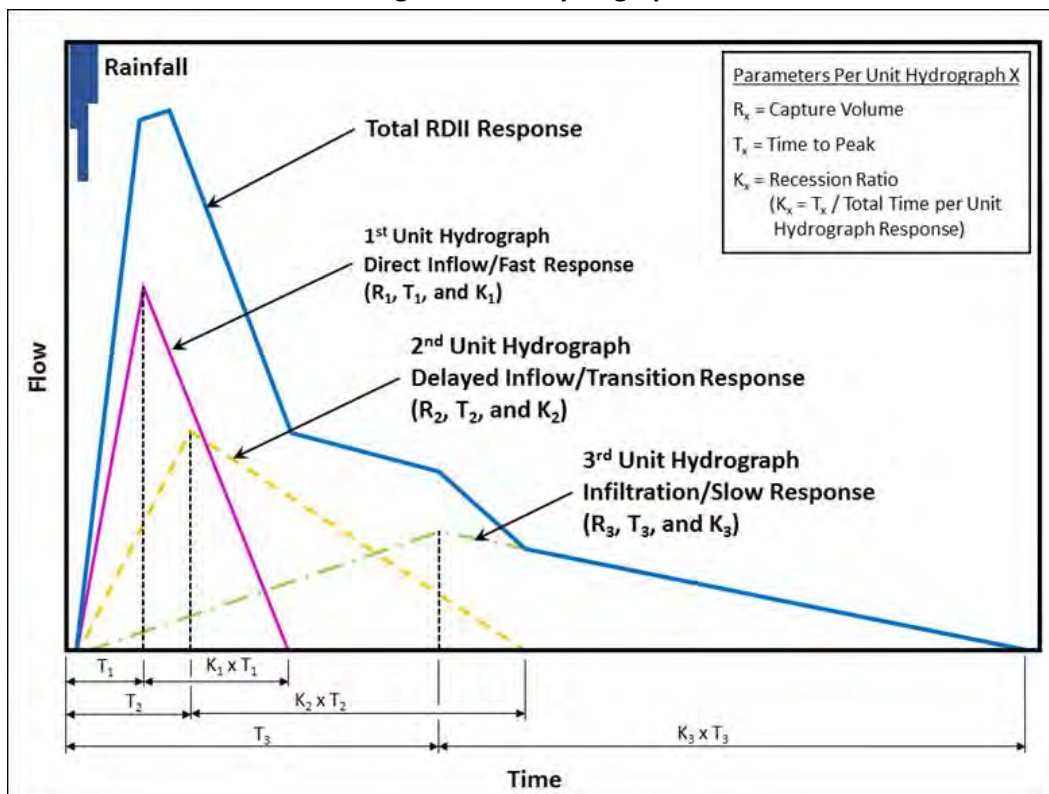
Objective

The objective of flow monitoring and RDII evaluation is to demonstrate sewer rehabilitation/replacement project performance by quantifying the resultant level of I/I reduction. For I/I reduction or elimination projects (including private property work), combined or common trench separation, and separate trench lining or replacement, the District will require pre- and post-construction flow monitoring and RDII evaluation.

RDII Evaluation

Evaluation should follow the “RTK” method for both the pre-construction and post-construction evaluations. The RTK method uses three triangular hydrographs as illustrated in **Figure 1** to estimate the wide range of response times associated with the effect of fast inflow and slower ground water infiltration. For additional information on RDII evaluation following the RTK method please reference Section 3.9 of the District’s [Hydrologic and Hydraulic Modeling for Sewer Systems Standards and Protocols](#).

Figure 1: RTK Hydrographs



The RDII analysis should provide the pre-construction and post-construction RTK values for each of the three unit hydrographs for each qualifying event in both monitoring periods. Minimum deliverables are outlined in the corresponding section below. USEPA offers a free "SSOAP Toolbox" software which can be used for this analysis. Other available modeling tools may be used as desired by the member community.

Monitoring Duration and Siting

A minimum four-week duration is recommended for both pre- and post-construction flow monitoring (total 8-week monitoring program). Monitoring can end sooner if three storms that meet either of the following criteria are captured:

- Rain event meets or exceeds a depth of 0.2 inches AND an intensity of 0.25 inches/hour
- 24-hour rainfall is greater than 0.75 inches

Data collected should include, but is not limited to: flow depth, velocity, and flow rate, recorded in 5-minute intervals. The community should identify any alternative monitoring plan (e.g., level monitoring) in their proposal. The data collection over the monitoring periods should be continuous.

In the case where pre-construction flow monitoring has already been completed, the community should input via the District AGOL portal the monitor locations and data collected or summary of findings for review by the District to support the scoring of the project.

In general, flow monitors should be placed to isolate flows within the MCIP project area. Pre- and post-construction monitoring should occur in the same locations and similar seasons (“growing season”/summer vs. “non-growing”/winter). The District will review all proposed monitoring plans submitted during the application process and, if requested, can assist with site selection of flow monitors and rain gauges.

Rain Data

The District owns and maintains a network of rain gauges that may be sufficient for the project’s needs. The community should determine if additional temporary rain gauges are necessary for verification activities. **Figure 2** shows the locations of District rain gauges. Rain gauge data requests should be sent to Matt Fedak, Data Analyst with the NEORS D Systems Integration Department (fedakm@neorsd.org). Gauge-adjusted radar rainfall data is also available for the District service area. Requests for that data should be sent to George Remias (remiasg@neorsd.org).

Figure 2: District Rain Gauge Locations



To view a larger Rain Gauge map, please visit the following link: <http://arcg.is/10KTCr>

Minimum Deliverables (Flow Monitoring)

The following deliverables should be submitted to the District and can be included in quarterly progress updates:

- Site installation forms
- Rain data, 5-minute intervals (tabular data)
- Raw and edited flow monitoring data, 5-minute intervals (tabular data)
- RDII-evaluation report/summary including:
 - Discussion on methodology and findings
 - Drainage area (acres)
 - RTK values (including sub-values for each parameter)
 - Rain data analysis (number of storms, intensity, and volume)
 - Assumed dry weather flow (DWF, tabular data)
 - Assumed base wastewater flow (BWF, tabular data)
 - Assumed groundwater infiltration (GWI)

Dry Weather Water Quality Outfall Sampling Guidelines

For projects focused on illicit discharge and HSTS elimination, or combined sewer separation, the District recommends dry-weather water quality sampling. The objective of this sampling is to obtain data that quantifies the approximate pollutant load reduction resulting from the infrastructure improvement identified in the MCIP project proposal and/or verifies separation. Pre-construction sampling should indicate elevated pollutant levels. Post-construction performance verification should consist of sampling from the same locations used for pre-construction sampling, or representative location, as applicable. Dry weather sampling locations include end of pipe samples from illicit discharges or outfalls. Sampling events should occur at three separate times for each identified outfall, in order to ensure a representative E. coli measurement.

Minimum Deliverables (Water Quality Sampling)

The following deliverables should be submitted to the District and can be included in quarterly progress updates:

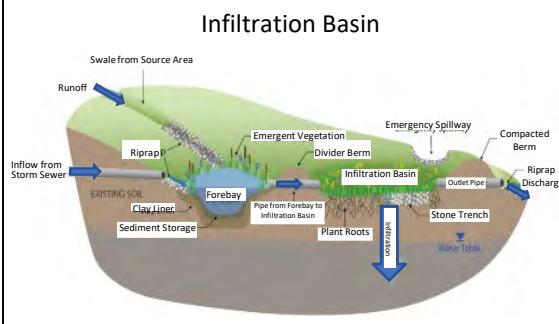
- Field sample collection report
- Sample analysis results

Attachment B

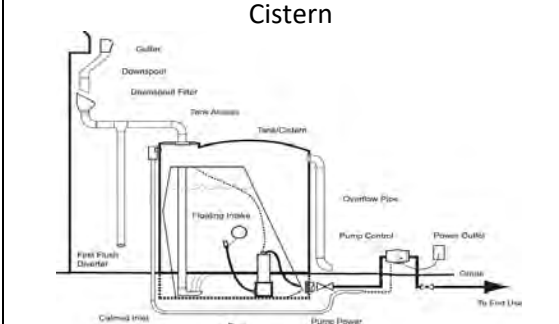
Stormwater Control Measure Guidance

Stormwater Control Measure Examples per Function

Stormwater infiltration is the process by which rainfall and stormwater runoff flows into and through the subsurface soil. Stormwater infiltration occurs when rainfall lands on pervious surfaces, when runoff flows across pervious surfaces, and when runoff is collected and directed to an infiltrating stormwater control measure (SCM).



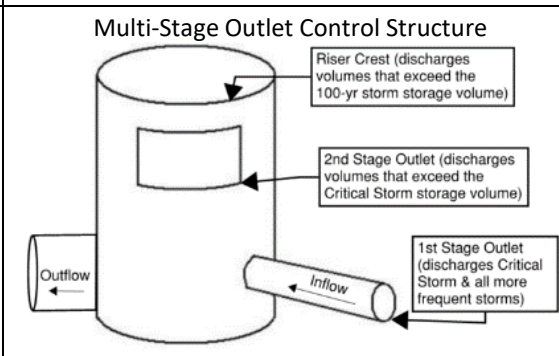
Rainwater harvesting is the practice of collecting and storing rain for reuse, rather than letting the water be channeled into drains, streams, or rivers. To truly be effective, there must be a dedicated need for the harvested rainwater to ensure the storage vessels are consistently emptied and that storage volumes are available to collect and hold the next rain event.



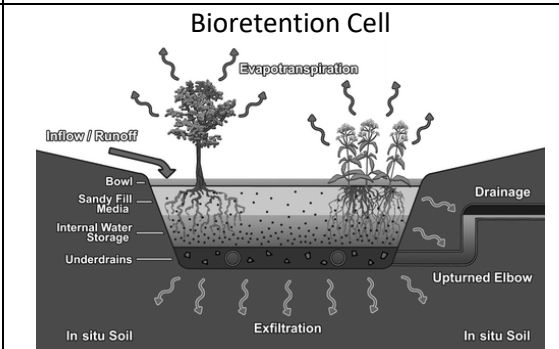
Impervious area reduction is the practice of converting impervious areas (e.g., rooftops & parking lots) into pervious surfaces (e.g., natural vegetation, permeable pavers, green roofs, etc.). This can also be accomplished by disconnecting and conveying impervious surfaces and roof drains to suitable pervious areas.



Peak Rate Control for stormwater runoff (i.e., Critical Storm) is the process of reducing the post-dvl'p peak runoff rate from the critical storm (CS) & all more-frequent storms to the pre-dvl'p peak runoff rate from a 1-yr, 24-hr storm. Storms less frequent than the CS (up to the 100-yr) have peak runoff rates \leq peak runoff rates from equivalent size storms under pre-dvl'p conditions.



Water Quality Volume (WQv) Treatment is accomplished in Ohio via designing post-construction SCMs that store storm water runoff (from developed areas) from rainfall events $\leq 0.90''$ (estimated 80% reduction in total suspended solids on an average annual basis). Ohio EPA feels this precipitation depth will adequately control pollutants in runoff and minimize channel & bank erosion.



Attachment C

Design Only Project Agreement

MEMBER COMMUNITY INFRASTRUCTURE GRANT PROGRAM AGREEMENT

BY AND BETWEEN

NORTHEAST OHIO REGIONAL SEWER DISTRICT

AND CITY OF

FOR PROJECT

THIS AGREEMENT (“Agreement”) is entered into as of the 1st day of January, 2023 (“Effective Date”), by and between the Northeast Ohio Regional Sewer District (“District”), a regional sewer district organized and existing as a political subdivision under Chapter 6119 of the Ohio Revised Code, pursuant to the authority of Resolution No. **XXX**, adopted by the District’s Board of Trustees on XX XX, 2022 (Exhibit “A”), and the _____ (“Member Community”), a _____ of the State of Ohio, acting pursuant to Ordinance No. _____, passed on __, 2022 (Exhibit “B”). The District and the Member Community may be collectively referred to herein as “Parties.”

RECITALS:

WHEREAS, the District is interested in assisting member communities with water quality and quantity issues associated with sewer infrastructure that adversely impact human health and the environment; and

WHEREAS, Ohio law authorizes regional water and sewer districts to enter into grant agreements with political subdivisions for water resource projects; and

WHEREAS, pursuant to Ohio Revised Code Chapter 6119, generally, and Ohio Revised Code Section 6119.06(F), the District established the Member Community Infrastructure Program (“MCIP”) to provide water resource project funding opportunities to member communities for sewer infrastructure projects in the District’s service area; and

WHEREAS, the District issued a Request for MCIP Proposals (Exhibit “C”); and

WHEREAS, in response to the District’s Request for MCIP Proposals, the Member Community, a District member community, submitted an application for _____ (the “Project” or “MCIP Project”), attached hereto as Exhibit “D;”

WHEREAS, the District has determined that the MCIP Project will address water quality and quantity issues associated with sewer infrastructure that adversely impacts human health and the environment.

NOW THEREFORE, in consideration of the foregoing, the grant to be made by the District and the mutual promises contained in this Agreement, the parties agree as follows:

Article 1. The MCIP Project

- 1.1 The MCIP Project. The Member Community will manage a Design, Only MCIP Project, which generally consists of __, as set forth in Exhibit "D."
- 1.2 Compliance with District's Code of Regulations. The MCIP Project shall be designed to ensure compliance with the District's Code of Regulations. The goal of the MCIP is to reduce water quality and quantity issues that impact human health and the environment associated with combined or separate sanitary and/or storm sewer infrastructure problems.
- 1.3 MCIP Project Modifications. The Member Community shall submit requests to modify the budget, deadlines, deliverables, or other components of the Project to the District Representative for approval at least fifteen (15) business days prior to the execution of the modification. Any modification to the MCIP Project must be approved by the District Representative in writing.
- 1.4 Photographs of MCIP Project. The District shall have the right to observe, monitor, inspect, and photograph the MCIP Project at any and all stages of design.

Article 2. Design of the MCIP Project

- 2.1 District Review of Design Work. The Parties agree that the District shall have the right to review and comment on the final MCIP Project design. The Member Community shall submit the final MCIP Project design plans to the District Representative in a timely manner that provides the District with at least fifteen (15) business days to review.
- 2.2 MCIP Project Meetings. The District shall have the right to attend all MCIP Project progress meetings and shall receive at least five (5) business days advance notice of all such meetings.
- 2.3 Final Design. The Member Community shall provide to the District Representative the final stamped design, approved by the Member Community's Engineer, at the closure of the MCIP Project.
- 2.4 District Request for Progress Meetings. The Member Community agrees to meet with the District to review the MCIP project status and progress, as may be requested by the District.

Article 3. Project Costs and Funding

- 3.1 District Funds. The District agrees to pay the Member Community an amount not to exceed Dollars (\$) (the "District Funds") on a reimbursement basis, in accordance with the terms of this Article and Article 4. The anticipated reimbursement amount for calendar year 2023 is \$_____. The District shall withhold five

percent (5%) or
\$_____ of the District Funds until the District receives the final MCIP project design.

3.2 Member Community Funds. The Member Community agrees to pay all MCIP Project costs that exceed the amount of the District Funds ("Member Community Funds"). Under no circumstance, shall the District be responsible for payment of any costs that, in aggregate, exceed the amount of the District Funds. Prior to the Member Community issuing a notice-to-proceed for any MCIP Project related work or service, the Member Community shall provide the District a copy of the certification by the Member Community's Finance Director that the Member Community Funds have been lawfully appropriated by the Member Community for the Project. This certification is attached hereto as Exhibit "E."

3.3 Use of District Funds - Reimbursement Requests and Quarterly Progress Reports. The District Funds must be used for activities and expenses approved by the District that are related to the MCIP Project accrued on or after January 1, 2022 and in accordance with the project schedule requirements set forth in Article 4. In accordance with the provisions of this Agreement, the District shall reimburse the Member Community for eligible MCIP Project expenses based upon paid invoices, prepared, and submitted by the Member Community to the District, in the form prescribed by the District, and including all supporting documentation as required by this Agreement and the MCIP Policy, Process, and Procedures, attached hereto as Exhibit "F."

The Member Community will provide a copy of the award bid with the first reimbursement request.

Quarterly progress reports shall be submitted to the District in accordance with the following:

- First Request: Due April 30, 2023 for work completed January 1, 2023 – March 31, 2023;
- Second Request: Due July 31, 2023 for work completed April 1, 2023 – June 30, 2023;
- Third Request: Due October 31, 2023 for work completed July 1, 2023 – September 30, 2023;
- Fourth Request: Due January 31, 2024 for work completed October 1, 2023 – December 31, 2023;

Failure to submit the quarterly progress report in accordance with these deadlines may result in the revocation of the Agreement by the District.

The Member Community agrees to meet with District staff, as requested, to review MCIP Project progress and to use the reimbursement request and progress report form provided by the District available at:

<http://www.neorsd.org/mcip>.

3.4 Third Party Payments. The Member Community shall bear the risk and remain solely responsible for any payments made by the Member Community to third parties for work not approved for reimbursement by the District.

3.5 Records Retention. The Member Community shall keep all records and documents relevant to the MCIP Project, including but not limited to, an accurate, current, and complete accounting of all financial transactions for the MCIP Project. Such records and documents shall be available at reasonable times and places for inspection and copying by the District or any authorized representative thereof and shall be submitted to the District upon request along with any other compliance information which may be reasonably required.

3.6 District Funds Not Used. Any District Funds that are not used to complete the MCIP Project shall be retained by the District.

3.7 Final Project Costs. If final project costs decrease from the project proposal estimate, then the amount of the District's final contribution shall be adjusted to maintain the same District contribution percentage of the final project cost. (Exhibit C).

Article 4. Project Schedule.

4.1 Project Schedule. The MCIP Project schedule shall be as set forth in the Project Schedule and Budget Section of Exhibit "D." Any change to the Project schedule must be approved in writing by the District Representative.

Article 5. Term.

5.1 Term. This Agreement shall begin on the date first above written and expire upon successful completion of the obligations contained herein.

Article 6. Dispute Resolution.

6.1 Continuation of Obligations. The Parties shall continue the performance of their obligations under this Agreement notwithstanding the existence of a dispute. The District reserves the right to deposit District Funds in an escrow account until the dispute is resolved.

6.2 Designated Representatives. The Parties shall first try to resolve the dispute at the level of the designated representatives as follows:

District Representatives	Member Community Representatives
---------------------------------	---

Director of Watershed Programs	_____
--------------------------------	-------

If the Parties are unable to resolve the dispute at that level within ten (10) working days, the Parties shall escalate the dispute to the following level to resolve the dispute:

District Representatives	Member Community Representatives
District Chief Legal Officer or CLO's designee	_____

6.3 Mediation. If the Parties remain unable to resolve the dispute within an additional ten (10) working days, the Parties shall proceed to mediation upon request by either party. The Parties shall mutually select a mediator who is experienced in public utility infrastructure engagements. The mediator shall review all documents and written statements, in order to accurately and effectively resolve the dispute. The mediator shall call a meeting between the Parties within ten (10) working days after the mediator appointment, which meeting shall be attended by at least the respective representatives in Article 6.2 above. The Parties shall attempt in good faith to resolve the dispute. The Parties agree to follow the Uniform Mediation Act, Chapter 2710 of the Ohio Revised Code. The Parties shall share the cost of the mediator equally.

6.4 Mediation Resolution. Such mediation shall be non-binding between the Parties and, to the extent permitted by law, shall be kept confidential. If the dispute is resolved and settled through the mediation process, the decision will be implemented by a written agreement signed by both Parties. If the dispute is unable to be resolved through mediation, the Parties agree to submit the dispute to the appropriate jurisdiction as per Article 7, Remedies, below.

Article 7. Remedies.

7.1 Remedies and Ohio Law. The Parties agree that, after exhausting the dispute resolution process outlined above, all claims, counterclaims, disputes, and other matters in question between the Parties arising out of or relating to this Agreement, or the breach thereof, will be decided at law. This Agreement shall be governed by and interpreted according to the law of the State of Ohio. A party may file a lawsuit in a court of competent jurisdiction in Cuyahoga County, Ohio.

Article 8. Notifications.

8.1 Points of Contact. The Parties hereby designate the following individuals to serve as the primary points of contact under this Agreement:

District Representative	Member Community Representative
Grant Programs Administrator	_____

Article 9. Release of Liability.

9.1 Release of All Liability. The Parties understand and agree that the District has no responsibilities or interest in the MCIP Project with respect to ownership, operation and maintenance and is acting solely as a funding source. The Member Community hereby releases the District from all liability related to the grant funding provided by the District hereunder. The Member Community further releases the District from all liability for: (i) the design, construction, implementation, operation, maintenance, and inspection of the Member Community's MCIP Project; (ii) any damages to third parties caused by the design, construction, implementation, operation, maintenance, inspection and every other aspect of the Member Community's MCIP Project; (iii) any defective performance of the Member Community's MCIP Project by the Member Community and/or its agents; and (iv) any damages caused by malfeasance or misfeasance of the grant funds by the Member Community.

Article 10. Miscellaneous.

10.1 Limit of Commitment. This grant is made with the understanding that the District has no obligation to provide other or additional support, including maintenance of the Member Community's MCIP Project. This grant does not represent any commitment to, or expectation of, future support, including maintenance of the Member Community's MCIP project from the District.

10.2 Disclaimer of Joint Venture. This Agreement is not intended to create a joint venture, partnership or agency relationship between the Parties, and such joint venture, partnership, or agency relationship is specifically hereby disclaimed.

10.3 Authority to Execute. Each person executing this Agreement represents and warrants that it is duly authorized to execute this Agreement by the party on whose behalf it is so executing.

10.4 Counterpart Signatures. This Agreement may be executed in

counterparts, each of which shall be deemed to be an original, but which counterparts when taken together shall constitute one Agreement.

10.5 Modification of Agreement. This Agreement may only be modified by written instrument executed by each party.

10.6 Merger Clause. This Agreement, along with any exhibits attached hereto, encompasses the entire agreement of the parties, and supersedes all previous understandings and agreements between the parties, whether oral or written.

10.7 Binding on Successors. This Agreement is binding upon, and inures to the benefit of, the parties and their respective permitted successors and assigns.

10.8 Prohibition on Assignment and Subcontracting. The Member Community may not assign or subcontract its rights or duties under this Agreement, in whole in part, whether by operation of law or otherwise, without the prior consent of the District. Consent may be withheld for any reason or no reason. Any assignment or subcontract made in contravention of the foregoing shall be void and of no effect.

10.9 Severability. If any term or provision of this Agreement is determined to be illegal, unenforceable, or invalid, in whole or in part for any reason, such provision shall be stricken from this Agreement and such provision shall not affect the validity of the remainder of this Agreement.

10.10 Headings. The headings in this Agreement are included for convenience only and shall neither affect the construction nor the interpretation of any provision in this Agreement.

10.11 Relationship of Agreement to Exhibits. The exhibits to this Agreement are attached for reference purposes only. Nothing in this Agreement shall be construed to modify, alter, clarify, or give effect to the terms and conditions of the various exhibits attached to this Agreement.

Article 11. Exhibits.

It is mutually understood and agreed that all Exhibits attached hereto are made a part hereof as if fully written herein. In the case of any conflict or variance between the terms of this Agreement and the terms of referenced documents, the terms of this Agreement shall govern. The following Exhibits attached hereto are hereby incorporated with and made a part of this Agreement:

- Exhibit "A" – District Resolution
- Exhibit "B" – Member Community's Authorizing Ordinance
- Exhibit "C" – Request for MCIP Proposals

- Exhibit “D” – Member Community’s MCIP Application
- Exhibit “E” - Member Community’s Certification of Funds
- Exhibit “F” – MCIP Policy, Process, and Procedures

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DRAFT

NORTHEAST OHIO REGIONAL SEWER DISTRICT

By: _____
Kyle Dreyfuss-Wells
Chief Executive Officer

and: _____
Darnell Brown, President
Board of Trustees

MEMBER COMMUNITY

By: _____
Title: _____

The legal form
and correctness
of this
instrument is
approved.

By: _____ Assistant/Director of Law MEMBER COMMUNITY

Date: _____

This Instrument Prepared By:
Katarina Waag
Assistant General Counsel
Northeast Ohio Regional Sewer District

Each party agrees that this Agreement may be executed and distributed for signatures via email, and that the emailed signatures affixed by both parties to this Agreement shall have the same legal effect as if such signatures were in their originally written format.

[FOR DISTRICT USE ONLY]

AGREEMENT NO.

NORTHEAST OHIO REGIONAL
SEWER DISTRICT
WITH

FOR
2023 Member Community
Infrastructure Program PROJECT:

CERTIFICATION

Total Approximate Cost: \$***.00

It is hereby certified that the amount required to meet the contract, agreement, obligation, payment, or expenditure, for the above, has been lawfully appropriated or authorized or directed for such purpose and is in the Treasury or in process of collection to the credit of the fund free from any obligation or certification now outstanding.

The legal form and correctness of the within instrument are hereby approved.

ERIC J. LUCKAGE
CHIEF LEGAL OFFICER

KENNETH J. DUPLAY
CHIEF FINANCIAL OFFICER

Date

Date

Attachment D

Design and Construction Project Agreement

MEMBER COMMUNITY INFRASTRUCTURE GRANT PROGRAM AGREEMENT

BY AND BETWEEN

NORTHEAST OHIO REGIONAL SEWER DISTRICT

AND CITY OF

FOR PROJECT

THIS AGREEMENT (“Agreement”) is entered into as of the 1st day of January, 2022 (“Effective Date”), by and between the Northeast Ohio Regional Sewer District (“District”), a regional sewer district organized and existing as a political subdivision under Chapter 6119 of the Ohio Revised Code, pursuant to the authority of Resolution No. **XXX**, adopted by the District’s Board of Trustees on XX XX, 2022 (Exhibit “A”), and the _____ (“Member Community”), a _____ of the State of Ohio, acting pursuant to Ordinance No. _____, passed on __, 2022 (Exhibit “B”). The District and the Member Community may be collectively referred to herein as “Parties.”

RECITALS:

WHEREAS, the District is interested in assisting member communities with water quality and quantity issues associated with sewer infrastructure that adversely impact human health and the environment; and

WHEREAS, Ohio law authorizes regional water and sewer districts to enter into grant agreements with political subdivisions for water resource projects; and

WHEREAS, pursuant to Ohio Revised Code Chapter 6119, generally, and Ohio Revised Code Section 6119.06(F), the District established the Member Community Infrastructure Program (“MCIP”) to provide water resource project funding opportunities to member communities for sewer infrastructure projects in the District’s service area; and

WHEREAS, the District issued a Request for MCIP Proposals (Exhibit “C”); and

WHEREAS, in response to the District’s Request for MCIP Proposals, the Member Community, a District member community, submitted an application for _____ (the “Project” or “MCIP Project”), attached hereto as Exhibit “D;”

WHEREAS, the District has determined that the MCIP Project will address water quality and quantity issues associated with sewer infrastructure that adversely impacts human health and the environment.

NOW THEREFORE, in consideration of the foregoing, the grant to be made by the District and the mutual promises contained in this Agreement, the parties agree as follows:

Article 1. The MCIP Project

- 1.1 **The MCIP Project.** The Member Community will manage a Design, Only MCIP Project, which generally consists of____, as set forth in Exhibit “D.”
- 1.2 **Performance Goal and Verification.** At the request of the District, the Member Community will provide pre- and post-construction data and analysis relevant to the project performance verification as set forth in Exhibit C. Failure to do so may impact future grant awards.
- 1.3 **Compliance with District’s Code of Regulations.** The MCIP Project shall be designed and constructed to ensure compliance with the District’s Code of Regulations. The goal of the MCIP is to reduce water quality and quantity issues that impact human health and the environment associated with combined or separate sanitary and/or storm sewer infrastructure problems.
- 1.4 **Permits and Approvals.** The Member Community shall obtain and pay the cost of all required federal, state, and local approvals, including permits, necessary to initiate and complete the MCIP Project.
- 1.5 **Affected Property Owners.** The Member Community shall obtain all easements, rights of entry, and other necessary legal agreements with affected property owners to perform construction and to bind any successor in title to maintain compliance as required in this Agreement. The costs of obtaining such legal agreements are eligible for MCIP fund reimbursement if they are part of the proposal and approved by the District.
- 1.6 **MCIP Project Modifications.** The Member Community shall submit requests to modify the budget, deadlines, deliverables, or other components of the Project to the District Representative for approval at least fifteen (15) business days prior to the execution of the modification. Any modification to the MCIP Project must be approved by the District Representative in writing.
- 1.7 **Photographs of MCIP Project.** The District shall have the right to observe, monitor, inspect, and photograph the MCIP Project at any and all stages of design and construction, as well as post-construction.

Article 2. Design and Construction of the MCIP Project

- 2.1 **District Review of Design Work.** The Parties agree that the District shall have the right to review and comment on the final MCIP Project design plans prior to construction. The Member Community shall submit the final MCIP Project design plans to the District Representative in a timely manner that provides the District with at least fifteen (15) business days to review. Any modification to the MCIP Project must be submitted to the District Representative in writing.

- 2.2 MCIP Project Meetings. The District shall have the right to attend all MCIP Project progress meetings and shall receive at least five (5) business days advance notice of all such meetings.
- 2.3 Member Community to Bid and Construct MCIP Project. After the District's review of the MCIP Project design in accordance with Article 2.1 above, the Member Community shall bid and complete the construction work pursuant to the final MCIP Project plans and specifications and in accordance with all applicable laws and regulations. The Member Community shall be responsible for construction procurement, supervision, and inspection in accordance with the terms of this Agreement. The Member Community shall provide the District Representative a copy of the awarded bid.
- 2.4 Construction Schedule. The District shall have the right to review and provide written comments to the proposed MCIP Project construction schedule, prior to the selected contractor beginning field activities.
- 2.5 Pre-Construction and Construction Meetings. The District shall have the right to attend all pre-construction and construction meetings with the MCIP Project contractor. The Member Community shall notify the District Representative, in writing or via e-mail, of such meetings at least five (5) business days prior to the meeting date.
- 2.6 Daily Construction Supervision. The District is not required to and will not provide any daily construction supervision, or inspection and testing services for the MCIP Project.
- 2.7 As-Built Drawings. At the District's request, the Member Community shall provide the District Representative with "as-built" drawings for the MCIP Project.
- 2.8 Record Drawings. The Member Community shall provide to the District Representative record drawings, approved by the Member Community's Engineer, at the closure of the MCIP Project.
- 2.9 District Request for Construction Progress Meetings. The Member Community agrees to meet with the District to review the MCIP construction project status and progress, as may be requested by the District.
- 2.10 Payment of Prevailing Wage. The Member Community shall be responsible for determining whether the payment of prevailing wages, as set forth in Chapter 4115 of the Ohio Revised Code, are required for labor used in constructing the MCIP Project, and shall ensure compliance with any prevailing wage requirements in such Chapter.

Article 3. Ownership, Operation, and Maintenance

- 3.1 Member Community Operation and Maintenance Responsibilities. During construction and after construction, the Member Community shall own, operate, and maintain the MCIP Project. The Member Community shall reimburse the

District in an amount equal to one hundred percent (100%) of the District Funds provided by the District under this Agreement if this provision is violated. In the event that the District determines a violation of this section has occurred, the District shall notify the Member Community in writing. The Parties agree to resolve any dispute relating to such alleged violation in accordance with the procedure set forth in Article 9 of this Agreement.

- 3.2 Post-Construction Operation and Maintenance Plan. The Member Community shall provide the District with a letter referencing the post-construction operation and maintenance plan for the MCIP Project. Operation and maintenance plans shall be updated by the Member Community, as may be necessary, and as may be requested by the District.
- 3.3 Maintenance Inspection Records. The Member Community shall maintain a record of the Member Community's maintenance inspections and overall performance of the MCIP Project for at least three (3) years and shall submit a copy to the District upon reasonable request.

Article 4. Project Costs and Funding

- 4.1 District Funds. The District agrees to pay the Member Community an amount not to exceed _____ Dollars (\$ _____) (the "District Funds") on a reimbursement basis, in accordance with the terms of this Article and Article 6. The anticipated reimbursement amount for calendar year 2023 is \$ _____ and for 2024 is \$ _____. Yearly anticipated reimbursement amounts may only be altered in writing at the discretion of the District's Director of Watershed Programs. The District shall withhold five percent (5%) \$ _____ of the District Funds until the District receives:
- a) final record drawings for the MCIP Project,
 - c) a letter referencing the post-construction operation and maintenance plan.
 - d) post-construction verification data (exceptions may apply, including sewer connection sampling data)
- 4.2 Member Community Funds. The Member Community agrees to pay all MCIP Project costs that exceed the amount of the District Funds ("Member Community Funds"). Under no circumstance, shall the District be responsible for payment of any costs that, in aggregate, exceed the amount of the District Funds, including, but not limited to, differing site conditions or other unforeseen situations. Prior to the Member Community issuing a notice-to-proceed for any MCIP Project related work or service, the Member Community shall provide the District a copy of the certification by the Member Community's Finance Director that the Member Community Funds have been lawfully appropriated by the Member Community for the Project. This certification is attached hereto as Exhibit "E."
- 4.3 Use of District Funds - Reimbursement Requests and Quarterly Progress Reports. The District Funds must be used for activities and expenses approved by the District that are related to the MCIP Project accrued on or after January 1, 2023 and in accordance with the project schedule requirements set forth in

Article 6. In accordance with the provisions of this Agreement, the District shall reimburse the Member Community for eligible MCIP Project expenses based upon paid invoices, prepared, and submitted by the Member Community to the District, in the form prescribed by the District, and including all supporting documentation as required by this Agreement and the MCIP Policy, Process, and Procedures, attached hereto as Exhibit "F."

The Member Community will provide a copy of the award bid with the first reimbursement request.

Quarterly progress reports shall be submitted to the District in accordance with the following:

- First Request: Due April 30, 2023 for work completed January 1, 2023 – March 31, 2023;
- Second Request: Due July 31, 2023 for work completed April 1, 2023 – June 30, 2023;
- Third Request: Due October 31, 2023 for work completed July 1, 2023 – September 30, 2023;
- Fourth Request: Due January 31, 2024 for work completed October 1, 2023 – December 31, 2023;
- Fifth Request: Due April 30, 2024 for work completed January 1, 2024 – March 31, 2024;
- Sixth Request: Due July 31, 2024 for work completed April 1, 2024- June 30, 2024;
- Seventh Request: Due October 31, 2024 for work completed July 1, 2024 – September 30, 2024; and
- Eighth Request: Due January 31, 2025 for work completed October 1, 2024 – December 31, 2024.

Failure to submit the quarterly progress report in accordance with these deadlines may result in the revocation of the Agreement by the District.

The Member Community agrees to meet with District staff, as requested, to review MCIP Project progress and to use the reimbursement request and progress report form provided by the District available at <http://www.neorsd.org/mcip>.

4.4 Third Party Payments. The Member Community shall bear the risk and remain solely responsible for any payments made by the Member Community to third parties for work not approved for reimbursement by the District.

4.5 Records Retention. The Member Community shall keep all records and documents relevant to the MCIP Project, including but not limited to, an accurate, current, and complete accounting of all financial transactions for the MCIP Project. Such records and documents shall be available at reasonable times and places for inspection and copying by the District or any authorized representative thereof and shall be submitted to the District upon request along with any other compliance information which may be

reasonably required.

- 4.6 District Funds Not Used. Any District Funds that are not used to complete the MCIP Project shall be retained by the District.
- 4.7 Final Project Costs. If final project costs decrease from the project proposal estimate, then the amount of the District's final contribution shall be adjusted to maintain the same District contribution percentage of the final project cost. (Exhibit C).

Article 5. Public Participation and Outreach

- 5.1 Educational Signage and Public Outreach. The Member Community shall coordinate any educational signage and any public outreach with the District. The Member Community shall acknowledge the District on MCIP Project related outreach communications and in public meetings that discuss the MCIP Project.
- 5.2 District Right to Reject. The District reserves the right to reject any signage, related to the MCIP Project.

Article 6. Project Schedule and Warranty Period.

- 6.1. Project Schedule. The MCIP Project schedule shall be as set forth in the Project Schedule and Budget Section of Exhibit "D." Any change to the Project schedule must be approved in writing by the District Representative.
- 6.2 MCIP Project Warranty. The Member Community's construction agreement shall require the contractor to provide a minimum of a one (1) year warranty period that commences upon final completion of the MCIP Project construction ("Warranty Period"). Prior to the conclusion of the Warranty Period the Member Community shall perform a CCTV inspection of the installed Project, if applicable, and provide a report to the District.

Article 7. Term.

- 7.1 Term. This Agreement shall begin on the date first above written and expire upon successful completion of the obligations contained herein.

Article 8. Insurance.

- 8.1 Insurance. The Member Community shall require MCIP Project consultants and contractors to name the Northeast Ohio Regional Sewer District as an Additional Insured for general liability, automobile liability, and property liability insurance coverages.

Article 9. Dispute Resolution.

- 9.1 Continuation of Obligations. The Parties shall continue the performance of their

obligations under this Agreement notwithstanding the existence of a dispute. The District reserves the right to deposit District Funds in an escrow account until the dispute is resolved.

9.2 Designated Representatives. The Parties shall first try to resolve the dispute at the level of the designated representatives as follows:

District Representatives	Member Community Representatives
Director of Watershed Programs	_____

If the Parties are unable to resolve the dispute at that level within ten (10) working days, the Parties shall escalate the dispute to the following level to resolve the dispute:

District Representatives	Member Community Representatives
District Chief Legal Officer or CLO's designee	_____

9.3 Mediation. If the Parties remain unable to resolve the dispute within an additional ten (10) working days, the Parties shall proceed to mediation upon request by either party. The Parties shall mutually select a mediator who is experienced in public utility infrastructure engagements. The mediator shall review all documents and written statements, in order to accurately and effectively resolve the dispute. The mediator shall call a meeting between the Parties within ten (10) working days after the mediator appointment, which meeting shall be attended by at least the respective representatives in Article 9.2 above. The Parties shall attempt in good faith to resolve the dispute. The Parties agree to follow the Uniform Mediation Act, Chapter 2710 of the Ohio Revised Code. The Parties shall share the cost of the mediator equally.

9.4 Mediation Resolution. Such mediation shall be non-binding between the Parties and, to the extent permitted by law, shall be kept confidential. If the dispute is resolved and settled through the mediation process, the decision will be implemented by a written agreement signed by both Parties. If the dispute is unable to be resolved through mediation, the Parties agree to submit the dispute to the appropriate jurisdiction as per Article 10, Remedies, below.

Article 10. Remedies.

10.1 Remedies and Ohio Law. The Parties agree that, after exhausting the dispute resolution process outlined above, all claims, counterclaims, disputes, and other matters in question between the Parties arising out of or relating to this Agreement, or the breach thereof, will be decided at law. This Agreement shall be governed

by and interpreted according to the law of the State of Ohio. A party may file a lawsuit in a court of competent jurisdiction in Cuyahoga County, Ohio.

Article 11. Notifications.

11.1 Points of Contact. The Parties hereby designate the following individuals to serve as the primary points of contact under this Agreement:

District Representative	Member Community Representative
Grant Programs Administrator	_____

Article 12. Release of Liability.

12.1 Release of All Liability. The Parties understand and agree that the District has no responsibilities or interest in the MCIP Project with respect to ownership, operation and maintenance and is acting solely as a funding source. The Member Community hereby releases the District from all liability related to the grant funding provided by the District hereunder. The Member Community further releases the District from all liability for: (i) the design, construction, implementation, operation, maintenance, and inspection of the Member Community's MCIP Project; (ii) any damages to third parties caused by the design, construction, implementation, operation, maintenance, inspection and every other aspect of the Member Community's MCIP Project; (iii) any defective performance of the Member Community's MCIP Project by the Member Community and/or its agents; and (iv) any damages caused by malfeasance or misfeasance of the grant funds by the Member Community.

Article 13. Miscellaneous.

13.1 Limit of Commitment. This grant is made with the understanding that the District has no obligation to provide other or additional support, including maintenance of the Member Community's MCIP Project. This grant does not represent any commitment to, or expectation of, future support, including maintenance of the Member Community's MCIP project from the District.

13.2 Disclaimer of Joint Venture. This Agreement is not intended to create a joint venture, partnership or agency relationship between the Parties, and such joint venture, partnership, or agency relationship is specifically hereby disclaimed.

13.3 Authority to Execute. Each person executing this Agreement represents and warrants that it is duly authorized to execute this Agreement by the party on whose behalf it is so executing.

13.4 Counterpart Signatures. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, but which counterparts when taken together shall constitute one Agreement.

- 13.5 Modification of Agreement. This Agreement may only be modified by written instrument executed by each party.
- 13.6 Merger Clause. This Agreement, along with any exhibits attached hereto, encompasses the entire agreement of the parties, and supersedes all previous understandings and agreements between the parties, whether oral or written.
- 13.7 Binding on Successors. This Agreement is binding upon, and inures to the benefit of, the parties and their respective permitted successors and assigns.
- 13.8 Prohibition on Assignment and Subcontracting. The Member Community may not assign or subcontract its rights or duties under this Agreement, in whole in part, whether by operation of law or otherwise, without the prior consent of the District. Consent may be withheld for any reason or no reason. Any assignment or subcontract made in contravention of the foregoing shall be void and of no effect.
- 13.9 Severability. If any term or provision of this Agreement is determined to be illegal, unenforceable, or invalid, in whole or in part for any reason, such provision shall be stricken from this Agreement and such provision shall not affect the validity of the remainder of this Agreement.
- 13.10 Headings. The headings in this Agreement are included for convenience only and shall neither affect the construction nor the interpretation of any provision in this Agreement.
- 13.11 Relationship of Agreement to Exhibits. The exhibits to this Agreement are attached for reference purposes only. Nothing in this Agreement shall be construed to modify, alter, clarify, or give effect to the terms and conditions of the various exhibits attached to this Agreement.

Article 14. Exhibits.

It is mutually understood and agreed that all Exhibits attached hereto are made a part hereof as if fully written herein. In the case of any conflict or variance between the terms of this Agreement and the terms of referenced documents, the terms of this Agreement shall govern. The following Exhibits attached hereto are hereby incorporated with and made a part of this Agreement:

- Exhibit "A" – District Resolution
- Exhibit "B" – Member Community's Authorizing Ordinance
- Exhibit "C" – Request for MCIP Proposals
- Exhibit "D" – Member Community's MCIP Application
- Exhibit "E" - Member Community's Certification of Funds
- Exhibit "F" – MCIP Policy, Process, and Procedures

The parties hereto have executed and delivered this Agreement as of the date first above written.

NORTHEAST OHIO REGIONAL SEWER DISTRICT

By: _____
Kyle Dreyfuss-Wells
Chief Executive Officer

and: _____
Darnell Brown, President
Board of Trustees

MEMBER COMMUNITY

By: _____

The legal form and correctness of this instrument is approved.

By: _____ Assistant/Director of Law MEMBER COMMUNITY

Date: _____

This Instrument Prepared By:
Katarina Waag
Assistant General Counsel
Northeast Ohio Regional Sewer District

Each party agrees that this Agreement may be executed and distributed for signatures via email, and that the emailed signatures affixed by both parties to this Agreement shall have the same legal effect as if such signatures were in their originally written format.

[FOR DISTRICT USE ONLY]

CONTRACT NO.

NORTHEAST OHIO REGIONAL SEWER DISTRICT
WITH

FOR
2023 Member Community Infrastructure
Program PROJECT:

Total Approximate Cost: \$***.00

The legal form and correctness of the within
instrument are hereby approved.

CHIEF LEGAL OFFICER

Date

CERTIFICATION

It is hereby certified that the amount required
to meet the contract, agreement, obligation,
payment, or expenditure, for the above, has
been lawfully appropriated or authorized or
directed for such purpose and is in the
Treasury or in process of collection to the
credit of the fund free from any obligation or
certification now outstanding.

CHIEF FINANCIAL OFFICER

Date

EXHIBIT D

2023 MCIP

Before You Begin

PLEASE READ BEFORE PROCEEDING

- Limit your use of bullets and other formatting.
- Copy and paste as needed.
- Log into your account at https://www.GrantRequest.com/SID_5833?SA=AM to access saved and submitted requests.
- Add mail@grantapplication.com to your safe senders list to ensure you receive all system communications.

Application

Applicant Information

Member Community or Public Agency

City of University Heights

Applicant

Jeffrey Pokorny

Co-Applicant

GPD Group, City Engineer

Co-Applicant Letter of Support

Project Contact Title

Director of Public Works

Project Contact First Name

Jeffrey

Project Contact Last Name

Pokorny

Project Contact Address

2300 Warrensville Center Road, University Heights, OH 44118

Project Contact Phone

216-932-7800

Project Contact E-mail

jpokorny@universityheights.com

Project Information

Project Title

East Scarborough and Canterbury Relief Sewer

Project Location

(Address, cross streets, which streets, etc)

Intersection of East Scarborough and Canterbury near the University Heights and Cleveland Heights border.

Project Type

Design & Construction

Total Project Cost

MCIP Requested Grant Amount

86951.67

EIFA

Non-District Funds

86951.67

% Non-District Funds

50

Project Start Date

January 02, 2023

Project End Date

December 29, 2023

Project Funding Request - Identify what the District funds will support

Project Funding Request - Design Only

Provide documentation that shows non-district funding (match funding) has been secured for project design that funding and when the design will start and be completed.

Project Funding Request - Design and Construction

Provide documentation that shows non-district funding (match funding) has been secured for project construction that funding and when the construction will start and be completed.

Construction only applications require a "shovel-ready" project. Please include a copy of the stamped drawings.

Appendix E - Project Schedule and Funding.pdf

Project Funding Request - Construction Only

Provide documentation that shows non-district funding (match funding) has been secured for project construction that funding and when the construction will start and be completed.

*****IMPORTANT*** Review the 2023 MCIP RFP Project Evaluation section for details and expectations for each section. Multiple documents can be combined into one file prior to uploading. (Maximum upload of 1GB)**

Project Description

Attach reports, plans, and maps as needed to explain the project with a summary of any attachment within the project description. Important information that may assist in characterizing the project includes but is not limited to:

- Project maps displaying the location of any infrastructure being rehabilitated or reconstructed.
- Map of tributary area with approximate tributary area stated in acres.
- Detailed description of the type of infrastructure being rehabilitated or replaced (e.g. common trench over/under, common trench dividing wall, common trench standard manhole, separate trench) and what the infrastructure will be replaced with (if applicable).
- All project evaluation reports, photographs, or other information that may help the District quantify water quality issues.
- In an HSTS project, identify if the failing septic system is also classified as an illicit discharge per Ohio EPA definition.
- If the scope of the project includes illicit discharge elimination or HSTS removal, provide the number of units being eliminated.
- Documentation verifying age of infrastructure, as well as any additional qualitative or historical information that can confirm the current condition.

Attachment - Maps

Appendix A - Location Maps.pdf

Attachment - Documentation

Appendix C - LSRS_District Sewer Profiles_20181219.pdf

Attachment - Documentation

Appendix B - Canterbury and Scarb Signed Est 2022.pdf

Project Description

This project addresses the sanitary sewers overflow connection near the intersection of East Scarborough and Canterbury Road, right at the border of University Heights and Cleveland Heights. The project proposes to eliminate this connection and convey all overflows to the District's Lee Superior ICRS. The project involves:

- Installation of a new 230 LF 8" Sanitary relief sewer
- Connection work for two new manholes
- Disconnection of the existing SSO
- Maintenance of Traffic
- Restoration

The existing sanitary sewer heads through on Canterbury picking up homes from Cleveland Heights and makes a 90 degree turn at the E. Scarborough intersection and heads west down E. Scarborough. The SSO is located in the manhole at the intersection. This connection currently ties directly into the 30-inch brick storm on Canterbury per City Records. This SSO has plugged in the past which has caused basement backups on the home along E.

Scarborough, which led to the removal of the plug. The proposed sanitary sewer will extend from the intersection of East Scarborough and Canterbury Road and will convey all overflows towards the Lee Superior ICRS. Based on our conversation with the District, the ICRS has sufficient capacity to handle the additional flows (see attachments). the extent of the issue is currently unknown, as the project is right at the border between University Heights and Cleveland Heights. The District's HHI-LSSSES project identified the upstream sections within Cleveland Heights are areas with potentially deficient sewers and basement flooding. For the purposes of the data presented in this application, only the data associated with University Heights will be presented.

Infrastructure Condition

Sewer Projects

1. For sewer rehab and replacement projects, provide the condition, trench type, and length that most accurately reflects the current and actual condition of the structure using the condition descriptions defined below.

Condition Rating

None

Age of Sewer

Years

Unknown

Sewer Type

Please indicate length(s) of existing sewer that is being rehabbed/replaced and/or new sewer that is being installed.

Combined Sewer

Linear Feet

0

Common Trench

Over/Under - Linear Feet

0

Dividing Wall - Linear Feet

0

Standard Manhole - Linear Feet

0

Separate Trench

Linear Feet

0

Related Sewer Documentation

For example, document trench type, reports, condition inspection, photographs, studies, field work, etc.

Is CCTV available upon request?

HSTS Projects

1. Select age of HSTS being removed/eliminated.

Select age of HSTS

None

Systems Failing

2. What number of systems are rated by the Board of Health as failing?

Related HSTS Documentation

NOTE: Projects proposing to remove/eliminate failing HSTS must provide documentation that the area the Municipality is

targeting is part of an approved prescription of the Municipality's 208 Plan, or a feasibility study for removal has been completed, or a letter and/or agreement with the residents for the sanitary sewer assessment has been executed.

3. Describe the structural deficiencies of the infrastructure.

Describe the structural deficiencies of the infrastructure

The City of University Heights is currently inspecting the infrastructure to determine condition of local sewers. Closed circuit television (CCTV) was used to inspect this sewer and revealed evidence of various conditions. A NASSCO PACP rating was assigned to each pipe segment inspected as summarized. This information can be provided to the District if requested. Structural and O&M quick ratings, as described in NASSCO's PACP Manual, were also assigned.

Water Quality and Quantity Impacts on Human Health and the Environment

1. How many reported homes/businesses have experienced basement backups in the project area?

Number of Actual Basement Backups

9

Actual Basement Backup Description

Most of the backups within the system are similar. Residents experience backup from the drain in the basement and downspouts. If sump pumps are present, they appear to run frequently during wet weather events. The City has performed inspections multiple times and has found that the and has cleared the lines within the right-of-way on multiple occasions.

Actual Basement Backup documentation

Appendix D - Basement Backup.pdf

2. Please provide documentation of these flooding events (e.g. flooding logs, modeling results, etc.)

Number of Model-Projected Basement Backups

Model-Projected Basement Backup Description

Model-Projected Basement Backup Documentation

3. Indicate the deficiencies the project will mitigate. Check all that apply.

Flooding with structural and/or property damage

Combined sewer overflows, sanitary sewer overflows or illicit discharges

Service capacity issues

Infiltration

Inflow

Demonstrate the effects of the project on water quality/quantity.

- What is the frequency and/or magnitude of the problem?
- What is the direct human health or environmental impact?
- How many verified homes, businesses, or other occupied structures will see a benefit from this project?
- How will the proposed project eliminate or reduce the water quality/quantity impact?
- How will the proposed project mitigate the potential for unregulated release of sewage to the environment?

The water quality/quantity problems that are present contribute to both the overall as well as the localized system. The proposed project area contributes volume of I/I to the District's overall system and the downstream combined sewer system. Water quality will be improved by reducing sewage overflows containing floatable, bacteria, ammonia, phosphorous and other contaminants typically found in untreated sewage.

This project will remove an existing SSO regulator from the local system. The City has indicated numerous base flooding complains with the most recent information provided as an attachment. The project is proposing to convey all sanitary sewer overflows from the existing regulator to the District's LSRS sewer. The existing regulator SWO will be bulkheaded, therefore completely eliminating any existing overflows to the environment. This will result in eliminating basement flooding and conveying all discharge to the WWTP instead of the regional storm system.

By eliminating the existing regulator and constructing the proposed relief sewer, basement flooding along East Scarborough will be eliminated during wet weather events.

Source Control of Stormwater

Source Control of Stormwater

Removal of stormwater from combined or sanitary sewer system and managed for quality and/or quantity

Describe how the project will provide source control stormwater.

The project is focused on providing a relief sewer and eliminating the existing SSO. This will have significant positive benefits to the local water way system by eliminating an existing SSO.

Significant Project Benefit to the District

Describe how the project significantly benefits the District.

The project will benefit the District based on the following items:

- The project will eliminate an existing SSO within the system.
- The project will construct all new infrastructure to convey all SSO's to the WWTP.
- The City will maintain and operate the existing and proposed infrastructure associated with this project.

Inter-Community Benefits

Describe the inter-community benefit(s) and provide supporting documentation.

Description of Inter-Community Benefit

The project is located at the border between University Heights and Cleveland Heights. The immediate known benefits are within University Heights where basement flooding will be eliminated. We anticipate this to also benefit the residents of Cleveland Heights along Canterbury Road (close to the project limits). The benefits of eliminating the SSO extends beyond Cleveland Heights and University Heights as the entire region will benefit from the elimination of an existing SSO.

Attachment

Performance Verification

Use the following link to download instruction regarding input of Project Performance Verification (PPV) to the NEORSD ArcGIS online (AGOL) platform. For technical assistance regarding AGOL please email gis@neorsd.org . [AGOL instructions](#)

AGOL Completed

Yes

Project Schedule and Budget

Provide a project schedule, cash flow, and budget for the project as applicable to the MCIP fund request. The budget should specify items with prices and quantities necessary for the project. Budget may include engineering services such as design, construction, project administration,

construction administration, and performance verification. Do not summarize construction into one item. A construction contingency up to 10% is permitted but inflationary adjustments are not. Provide a detailed Engineer's Estimate and a Useful Life Statement with an engineer's seal or stamp and signature by a registered professional engineer in the State of Ohio.

Design Cost

15000

Design Completion Date

February 28, 2023

Performance Verification Cost

7500

MCIP Construction Cost

*Not applicable for design only

158903.33

MCIP Construction Start Date

*Not applicable for design only

May 01, 2023

MCIP Construction Completion Date

*Not applicable for design only

November 30, 2023

Detailed Engineer's Estimate and a Useful Life Statement

Project Schedule and Budget

See attachment E.

Project Schedule

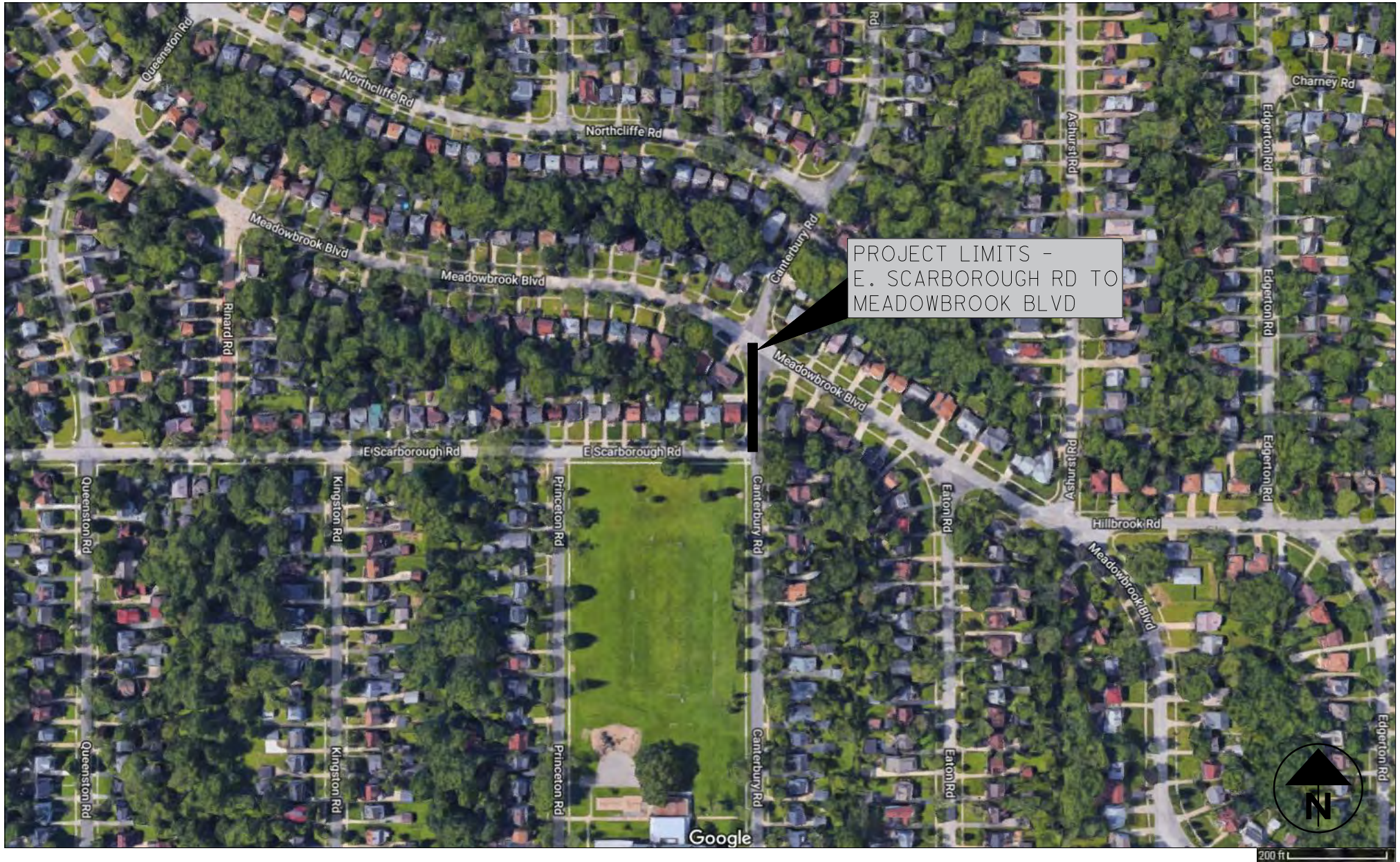
Activity	Proposed Start	Proposed End
Design	December 2022	February 2023
Bidding and Award	February 2023	April 2023
Construction	May 2023	November 2023
Post-construction Monitoring	March 2024	June 2024

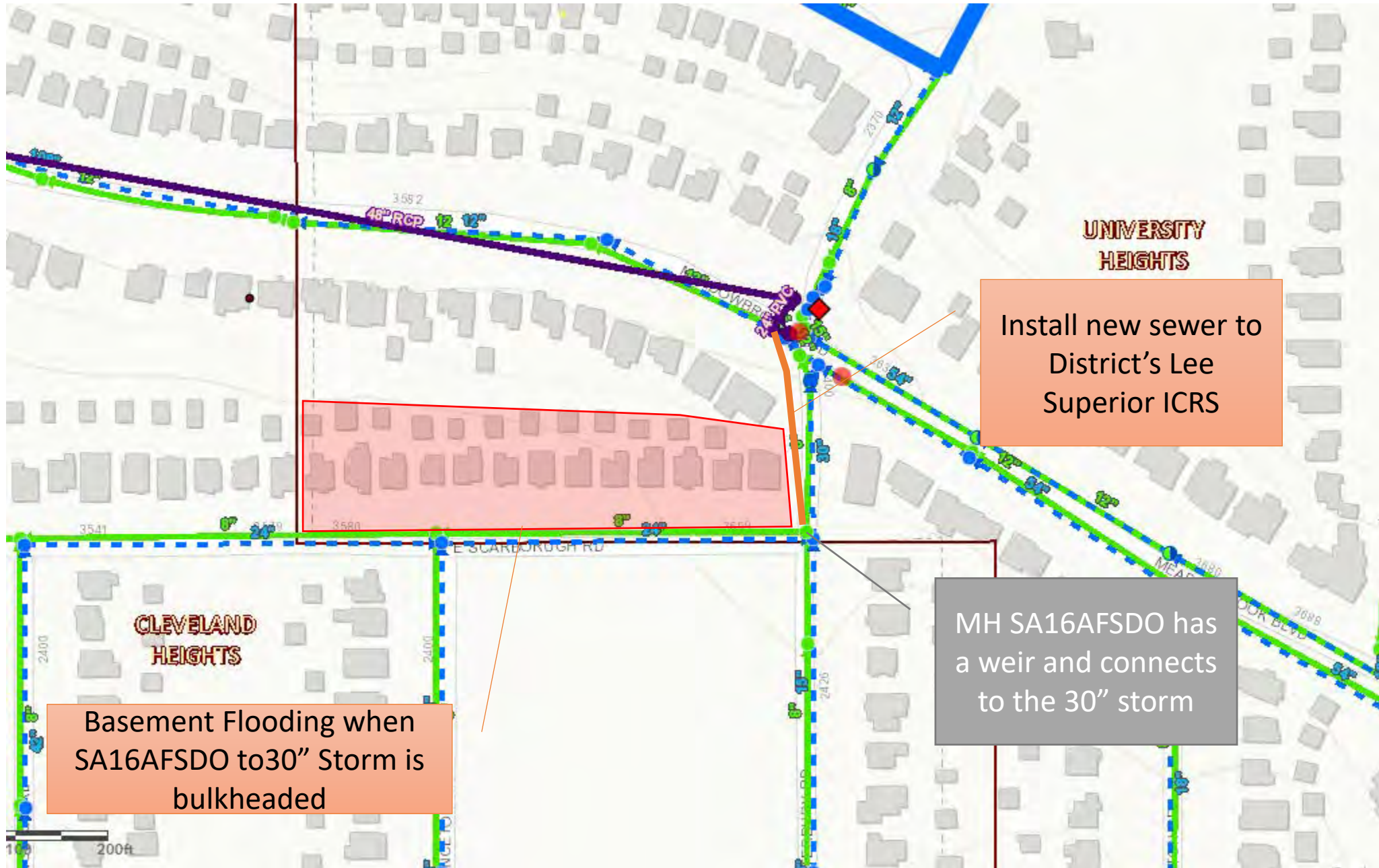
Design activities will be underway with bidding documents scheduled for completion in February 2023. The project will be procured during the February 2023 – April 2023 with construction commencing in March 2023. Construction is anticipated to run through November of 2023 with post-construction flow monitoring and inspection to be completed in the Spring of 2024.

Project Funding

Activity	Total Fee (\$)	University Hts Contribution (50%)
Design	\$15,000	\$7,500
Construction	\$158,903.33	\$79,451.67

CANTERBURY AND EAST SCARBOROUGH RELIEF SEWER
CITY OF UNIVERSITY HEIGHTS





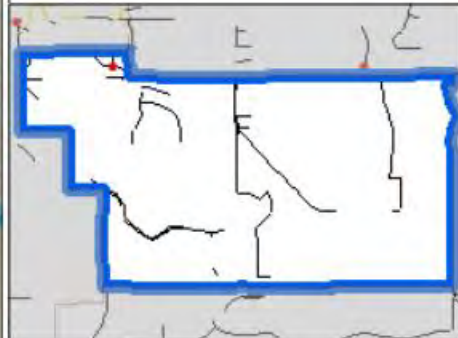
Install new sewer to District's Lee Superior ICRS

MH SA16AFSDO has a weir and connects to the 30" storm


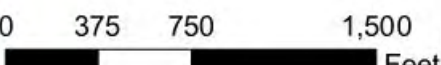
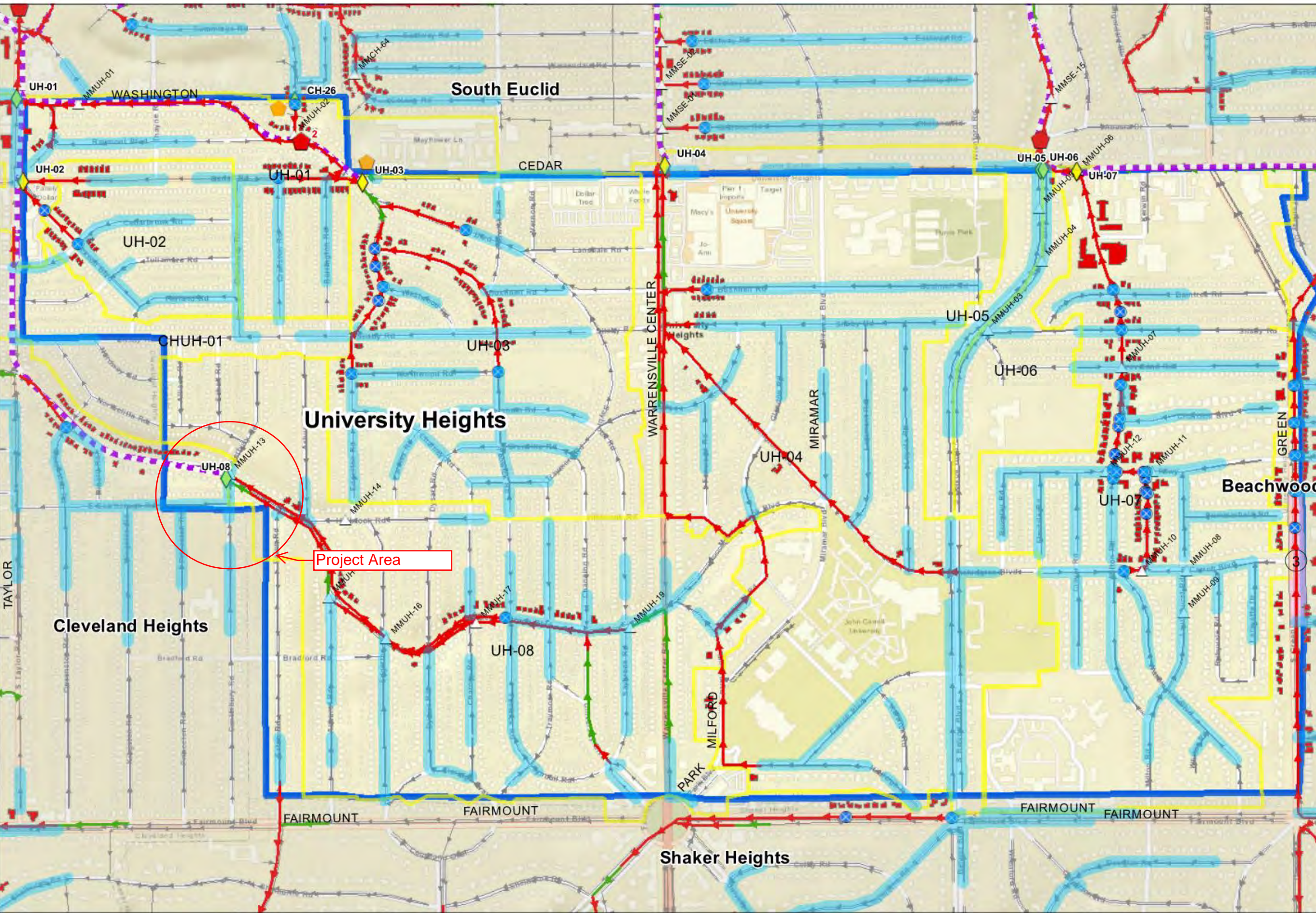
Basement Flooding when SA16AFSDO to 30" Storm is bulkheaded

Legend

-  IDDE Investigation
-  District Sewer
-  Non-Modeled Local Sewer
-  Community Reported Problem Area - None
-  University Heights Boundary
-  PFL Basin Boundary (PFL ID)
-  PFL Connection (PFL ID)
- Model Projected Performance**
 -  Flooded Manhole
 -  SSO - Activated (SSO)
 -  Local Sewer Surcharged
 -  Local Sewer Non-Surcharged
 -  Model Predicted Building at Risk of Basement Flooding
 -  Areas with Potential Deficient Sewers/Basement Flooding



Draft
Date Created: 10/8/2018

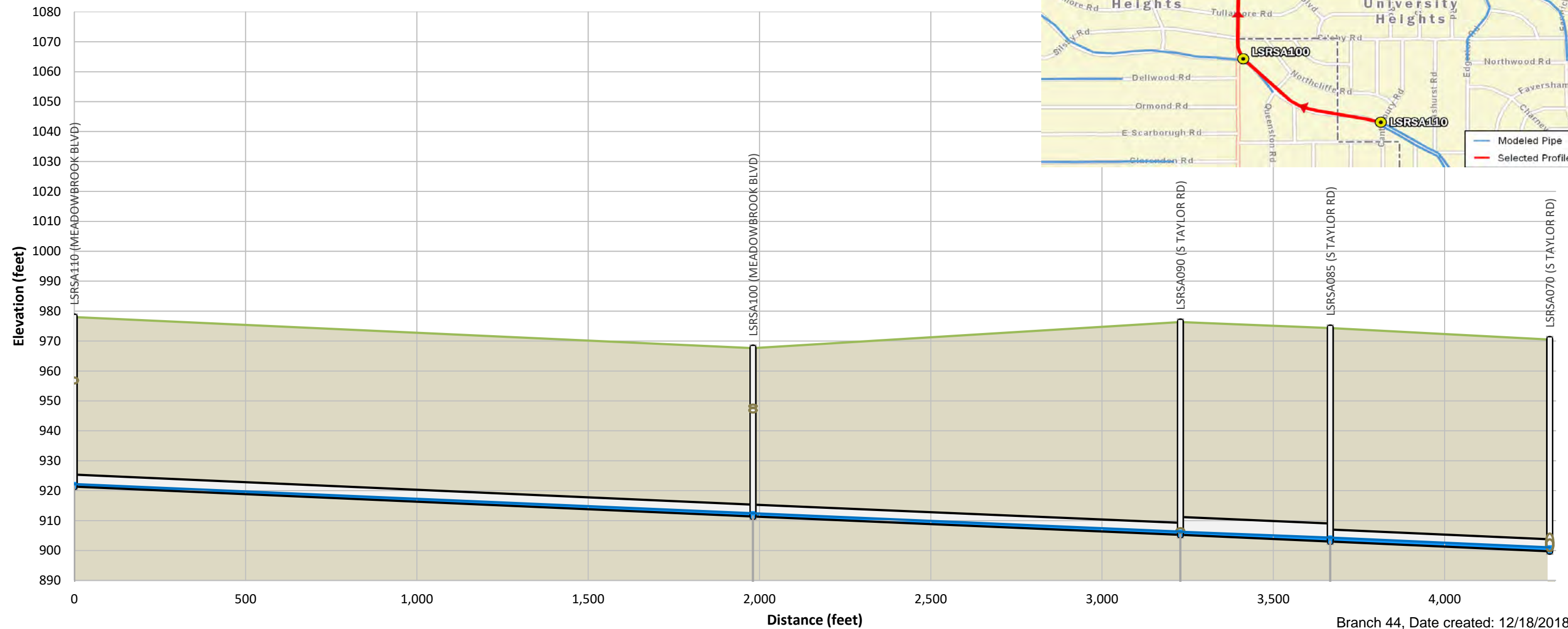




University Heights Model Projected Sanitary Sewer System Performance, Existing Conditions - 5-yr, 1-hr (15-min rainfall)



Figure A4

Pipe
 Ground
 Manhole
 Manhole with HGL at Grade
 Incoming/Outgoing Pipe
 Incoming/Outgoing Structure
 Flow Limiter
 5-Year Existing HGL



Branch 44, Date created: 12/18/2018

Depth to Invert (ft)		56	71	71	
Depth to HGL (ft)		55	70	70	
Diameter (in)	48	48	72	48	
Capacity (mgd)	66	65	194	66	
Max Depth (ft)	0.88	1.1	1.1	1.3	
Dep abv Crown (ft)	-	-	-	-	
Max Flow (mgd)	6.6	11	12	15	



Interceptor: Lee Superior ICRS - 1
Community: Cleveland Heights
MEADOWBROOK BLVD to S TAYLOR RD



Model Projected
 Max HGL for 5-year, 1-Hour Rainfall
 Existing Conditions

**E. SCARBOROUGH & CANTERBURY ROAD RELIEF SEWER
CITY OF UNIVERSITY HEIGHTS
ESTIMATE OF OPINION OF PROBABLE COST
June 7, 2022**

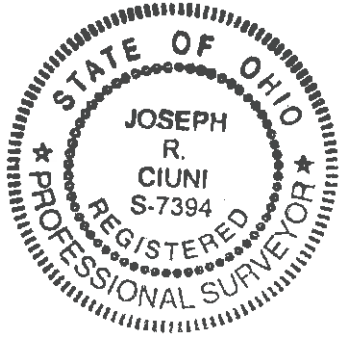
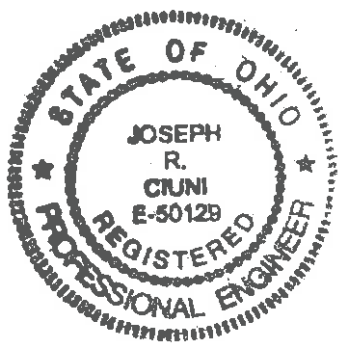
ITEM	REF. NO.	ITEM DESCRIPTION	EACH	ESTIMATED QUANTITY	ENGINEERS ESTIMATE	
					UNIT	TOTAL
1	SPECIAL	PRECONSTRUCTION VIDEO	LUMP	1	\$1,000.00	\$1,000.00
2	442	TRENCH REPAIR INCLUDING SURFACE PAVEMENT RESTORATION	SY	153	\$200.00	\$30,666.67
3	611	8" SANITARY SEWER	FT	230	\$240.00	\$55,200.00
4	611	MANHOLE RECONSTRUCTION	EACH	2	\$8,000.00	\$16,000.00
5	614	MAINTENANCE OF TRAFFIC	LUMP	1	\$10,000.00	\$10,000.00
6	SPECIAL	FLOW MONITORING	MNTH	3	\$7,500.00	\$22,500.00
GRAND TOTAL ESTIMATED =						\$135,366.67

SUBTOTAL CONSTRUCTION	\$135,366.67
10% CONTINGENCY =	\$13,536.67
PROBABLE CONSTRUCTION COST =	\$148,903.33
PRELIMINARY ENGINEERING =	
FINAL ENGINEERING DESIGN = \$	15,000.00
CONSTRUCTION ADMIN = \$	10,000.00
TOTAL PROJECT COST =	\$173,903.33

ENGINEER'S STATEMENT:
I HEREBY CERTIFY THE ABOVE ESTIMATE OF COST TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

Joseph R. Ciuni 06/07/2022

 JOSEPH R. CIUNI, P.E., P.S. DATE



Contact Date: 5/31/2018 Entered By: Rob Marcinick Contact #: 5,273
 Due Date: 6/1/2018
 Close Date: 7/12/2018
 Location: 3587 East Scarborough
 Contact Code: St Storm Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 43
 Comments: She called on 5-4, to report that she needed both of her lines checked out, because she was experiencing both backup from the drain in the basemen, as well as from the downspout. When the city came out, they located and checked the sanitary line, but told her that they had to get to another job, and that they would have to come back out to continue to try to find the storm line. Her contractor tells her that he thinks the storm line is blocked under her treelawn, so she needs them to come back out, to find, and check her storm line.

 Constituent #/Name: 1,951 Mrs. Maureen Redig Source: phone call

Action Date	Description	Notes/Comments
05/31/2018	Work Order Batched	To Service Department
05/31/2018	Work Order Printed	To Service Department
07/12/2018	Contact Closed	

On 6-1-2018, Douglas and Bruno snaked the san line, and it was clear on the city's side. They could not get passed the storm trap. On 6-29-2018, Doug, Bruno, and Jeffrey Pokorny went back over here. The storm tee could not be accessed, but it is taking water. A private contractor jetted around the house, he opened up a blockage in the western downspout. Also, the homeowner was told that the storm tee replacement is her responsibility.

Total Actions: 3

Total Contacts: 1 Total Constituents: 1

Contact Date: 5/4/2018 Entered By: Rob Marcinick Contact #: 5,258
 Due Date: 5/5/2018
 Close Date: 6/29/2018
 Location: 3587 East Scarborough
 Contact Code: San Sanitary Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 57
 Comments: The drain in her basement backed up, and there is a sewer odor coming from it now. Also, the downspouts are overflowing, so she needs the city to check both of her lines.

 Constituent #/Name: 1,951 Mrs. Maureen Redig Source: phone call

Action Date	Description	Notes/Comments
05/04/2018	Work Order Batched	To Service Department
05/04/2018	Work Order Printed	To Service Department
06/29/2018	Contact Closed	

zOn 5-4-2018, Doug and Bruno snaked the sanitary line, and it was ok on city side. They could not find the storm tee, and the resident was home.

Total Actions: 3

Total Contacts: 1 Total Constituents: 1

Contact Date: 9/16/2016 Entered By: Rob Marcinick Contact #: 4,986
 Due Date: 9/17/2016
 Close Date: 10/11/2016
 Location: 3609 East Scarborough
 Contact Code: San Sanitary Sewers
 Resp. Party: SD Service Department Std. Days: 1
 Days Open: 26
 Comments: The drain in the basement has been backing up, then emptying slowly, so he asks that the city checks his sewer lines.

 Constituent #/Name: 3,172 Mr. James Kerber Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
09/16/2016	Work Order Batched	To Service Department
09/16/2016	Work Order Printed	To Service Department
10/11/2016	Contact Closed	

On 9-16-2016, Doug and Bruno snaked out the san line, and it is now ok on the city side
 There was also a blockage in the line, on the house side. The resident was at home.

Total Actions: 3

Total Contacts: 1

Total Constituents: 1

Contact Date: 10/4/2010 Entered By: Rob Marcinick Contact #: 4,026
 Due Date: 10/5/2010
 Close Date: 10/5/2010
 Location: 3593 East Scarborough
 Contact Code: St Storm Sewers
 Resp. Party: SD Service Department Std. Days: 1
 Days Open: 2
 Comments: The driveway drain is backing up, and her plumber told her to have the city check their side of the storm line.

 Constituent #/Name: 1,053 Ms. Amy Hise Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
10/04/2010	Work Order Batched	To Service Department
10/04/2010	Work Order Printed	To Service Department
10/05/2010	Contact Closed	

Joe Giammarco and Dennis Pitts were here from 9:30 till 10:00 this morning. They checked both lines, and they were clear on the city's side. The drain in the driveway needs to be cleaned out. The homeowner was not there, but they spoke to the tenant, who did not want to know anything about the sewer lines.

Total Actions: 3

Total Contacts: 1

Total Constituents: 1

Contact Date: 1/10/2005 Entered By: Rob Marcinick Contact #: 2,065
 Due Date: 1/11/2005
 Close Date: 1/10/2005
 Location: 3629 East Scarborough
 Contact Code: San Sanitary Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 1
 Comments: Her sump pump has been running quite frequently as of late, and everytime it does, she gets a horrible smell of sewer gas in the house. Her contractor suggested that the city come out to check things out, before he does.

 Constituent #/Name: 1,406 Ms. Nora Crayton Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
01/10/2005	Work Order Batched	To Service Department
01/10/2005	Work Order Printed	To Service Department
01/10/2005	Contact Closed	

John Pucella said that she has a problem with her sump pump, and that it just needs to be flushed out. The resident was at home, and advised as to what to do.

Total Actions: 3

Total Contacts: 1

Total Constituents: 1

Contact Date: 7/22/2003 Entered By: Rob Marcinick Contact #: 1,484
 Due Date: 7/23/2003
 Close Date: 7/23/2003
 Location: 3593 East Scarborough
 Contact Code: St Storm Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 2
 Comments: During the past couple of rains, she first noticed that her downspouts were backing up slightly, then yesterday night she had water in her basement. Can you go over there, and check both sides of her sewer lines. Also, during these rainy periods she has noticed that the rain pools up on her treelawn, and then it eventually spills out over the sidewalk, and floods it.

 Constituent #/Name: 1,053 Ms. Amy Hise Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
07/22/2003	Work Order Batched	To Service Department
07/22/2003	Work Order Printed	To Service Department
07/23/2003	Contact Closed	

John and Lou checked both the storm and sanitary lines, and both were okay on the city's side. Nobody was at home.

Total Actions: 3

Total Contacts: 1

Total Constituents: 1

Contact Date: 2/7/2002 Entered By: Rob Marcinick Contact #: 819
 Due Date: 2/8/2002
 Close Date: 2/14/2002
 Location: 3613 East Scarborough
 Contact Code: San Sanitary Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 8
 Comments: Sewer block. The basement drain backs up whenever she uses the washing machine or flushes the toilet.

 Constituent #/Name: 597 Mrs. Julia Mell Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
02/07/2002	Work Order Batched	To Service Department
02/07/2002	Work Order Printed	To Service Department
02/14/2002	Contact Closed	
Total Actions: 3		Triple A attempted to film her sewer line. However, they could not get their equipment through the inspection tee in order to film it.

Total Contacts: 1 Total Constituents: 1

Contact Date: 10/30/2002 Entered By: Rob Marcinick Contact #: 1,191
 Due Date: 10/31/2002
 Close Date: 10/31/2002
 Location: 3613 East Scarborough
 Contact Code: San Sanitary Sewers Std. Days: 1
 Resp. Party: SD Service Department Days Open: 2
 Comments: The drain in the basement backs up when she uses the washing machine.

 Constituent #/Name: 597 Mrs. Julia Mell Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
10/30/2002	Work Order Batched	To Service Department
10/30/2002	Work Order Printed	To Service Department
10/31/2002	Contact Closed	
Total Actions: 3		John Pucella said the sanitary line was blocked on the city's side. He snaked it out, and it is fine now.

Total Contacts: 1 Total Constituents: 1

Contact Date: 2/7/2002 Entered By: Rob Marcinick Contact #: 819
Due Date: 2/8/2002
Close Date: 2/14/2002
Location: 3613 East Scarborough
Contact Code: San Sanitary Sewers Std. Days: 1
Resp. Party: SD Service Department Days Open: 8
Comments: Sewer block. The basement drain backs up whenever she uses the washing machine or flushes the toilet.

Constituent #/Name: 597 Mrs. Julia Mell Source: phone call

<u>Action Date</u>	<u>Description</u>	<u>Notes/Comments</u>
02/07/2002	Work Order Batched	To Service Department
02/07/2002	Work Order Printed	To Service Department
02/14/2002	Contact Closed	

Triple A attempted to film her sewer line. However, they could not get their equipment through the inspection tee in order to film it.

Total Actions: 3

Total Contacts: 1

Total Constituents: 1

EXHIBIT E

EXHIBIT E

(Insert Certification of Funds)

EXHIBIT F

MEMBER COMMUNITY INFRASTRUCTURE PROGRAM POLICY

The Member Community Infrastructure Program (MCIP) is a funding program provided by the Northeast Ohio Regional Sewer District (District) to assist both member communities and other eligible political subdivisions that own, operate, and maintain public sewer infrastructure that is tributary to a District wastewater treatment plant, with cost-effective sewer infrastructure projects to address water quality and quantity issues associated with sewer infrastructure that adversely impact human health and the environment.

The intent of the MCIP is to provide an annual funding opportunity to member communities and eligible political subdivisions for sewer infrastructure repair and rehabilitation that will:

- Continue progress towards environmentally sustainable and healthy communities through protection and improvement of the region's water resources consistent with the vision of the District.
- Support efforts to assist member communities' compliance with the District's Community Discharge Permit Program.
- Improve function and condition of the local sewer system.
- Identify and remove sources of inflow and infiltration (I/I) from the sewer system. This reduction will preserve the hydraulic capacity of the local and District sewer system and alleviate problems such as basement flooding.

Subject to available funding and District Board of Trustee (BOT) approval, the District anticipates funds will be available annually through a competitive process. The District will annually review the terms and conditions of the MCIP and may modify these terms and conditions based on lessons learned from previous funding rounds. There are two mechanisms for funding under the MCIP: (a) MCIP Grant or (b) a Community Operating Lease. The District will determine the appropriate funding mechanism during the application review process. Applicants do not specify a funding preference.

All available MCIP funds will be provided by the District on a reimbursement basis to the member community or other eligible political subdivision for direct project costs, conditioned on the District's prior approval of the project and member community or eligible political subdivision compliance with this Policy and the District approved Project Agreement. Funds must be used in accordance with the authorized amount indicated. Any funds not expended for the purposes agreed to by the member community or eligible political subdivision and the District shall remain with the District.

If the member community or other eligible political subdivision fails to maintain a project funded through the MCIP in accordance with applicable agreements executed with the District, it shall be liable for the full amount of MCIP funds paid for the project.

The District will provide an annual update to the BOT and member communities on MCIP projects.

MEMBER COMMUNITY INFRASTRUCTURE PROGRAM PROCESS OVERVIEW

Project Eligibility

A project must meet all of the following minimum requirements to be eligible for MCIP funding:

- Reduce water quantity issues and address water quality issues that impact human health and the environment associated with combined or separate sanitary infrastructure problems, as determined by the District.
- Located in the District's sanitary sewer service area <http://arcg.is/2bPxzEt>.
- Include a minimum of 25% non-District funds dedicated to the project.
- Meet all applicable District, federal, state, and local regulations and requirements.
- Tributary to a District wastewater treatment plant.
- Owned, operated, and maintained by a member community of the District or by an eligible political subdivision, which shall be a political subdivision of the State of Ohio.
- Not be the subject of a contract which transfers ownership of the project to a private entity.

To be eligible for MCIP funding, eligible public entities submitting proposals must, in addition to all other MCIP program requirements, provide a resolution or ordinance adopted by the member community legislative body in support of the project. Member communities and eligible political subdivisions may use MCIP funds for planning, design, construction, and administrative costs directly associated with approved projects. Eligible projects include, but are not limited to the following:

- Mitigation of sanitary sewer overflows (SSOs) and illicit discharges,
- Mitigation of inflow and infiltration,
- Removal and elimination of failing home sewage treatment systems (HSTS),
- Increases to local sewer system's level of service, and
- Management of stormwater flow that enhance combined/sanitary sewer system level of service.

Application Process Overview

1. For each year of funding the District will issue a RFP to its member communities.
2. The forms for the application process are located at <https://www.neorsd.org/community/member-community-infrastructure-program-mcip/>

3. All proposals will be reviewed based on the scoring criteria found in the RFP.
4. The District's review committee will make the determination if the proposed project will be recommended for a grant or community operating lease contract. If the community operating lease option is selected, the member community or eligible political subdivision will be contacted to discuss the terms of the lease agreement.
5. MCIP recommendations will be presented to the District's BOT for final approval.
6. Upon approval by the BOT, the District will enter into a MCIP Project Agreement for each awarded project with the applicable member community or eligible political subdivision.

Project Agreement

Projects approved by the BOT will be either funded through a MCIP Project Agreement or a Community Operating Lease Agreement, depending on the District funding availability. The District's Legal Department will prepare the appropriate MCIP Project Agreement between the District and the member community or eligible political subdivision.

MCIP Project Agreement

The member community or eligible political subdivision is responsible for the full implementation of the MCIP Project as defined in the annual request for proposal. At a minimum, the MCIP Project Agreement will contain the following provisions requiring the member community or eligible political subdivision to:

- Award and/or bid, design and/or construct, and manage the MCIP Project;
- Obtain all necessary approvals and permits and pay all applicable fees connected with the MCIP Project;
- Obtain all easements, rights of entry, and other legal agreements necessary to complete the MCIP Project;
- Maintain and operate the MCIP Project during construction and after project completion for the life of the project; and
- Any other provision the District determines is necessary to ensure compliance with this Policy and protect the interests of the District.

Community Operating Lease Agreement

The member community or eligible political subdivision will be required to enter into an agreement containing, at a minimum, the following:

- A provision whereby the member community or eligible political subdivision leases the existing or planned sewer asset described in the MCIP Project proposal to the District for a nominal fee for a term to be agreed upon between the District and the member community or eligible political subdivision;

- A provision requiring the District to design, if design has not been finalized, and construct the MCIP Project;
- A provision requiring the member community or eligible political subdivision to waive all permit fees applicable to the MCIP Project during design and construction;
- A provision reverting the MCIP Project back to the member community or eligible political subdivision at the end of the lease term;
- A provision requiring the member community or eligible political subdivision to maintain and operate the MCIP Project for the duration of the lease term; and
- Any other provision that the District determines is necessary to ensure compliance with this Policy and protect the interests of the District.

Budget Modification

If in the event of qualifying unforeseen circumstances, a member community or eligible political subdivision may request additional funding for project eligible cost increases associated with said circumstances. All requests for additional funding will be contingent upon the availability of funds and justification of cost increases subject to District approval. The District is under no obligation to provide additional funds to MCIP awarded projects. The maximum amount of District funding for any approved budget modification will not exceed 75% of the revised MCIP project cost identified in the member community or eligible political subdivision proposal. The District, at its sole discretion, may waive the 25% non-District fund contribution requirement by a member community for a member community identified by the Office of the Auditor of the State of Ohio as being a local government in fiscal distress. This includes a member community in fiscal caution, watch or emergency as defined by the Office of the Auditor of the State of Ohio (<https://ohio.auditor.gov/fiscal/local.html>). The District reserves the right to authorize funding to address public health and water quality improvements.

Requesting Additional Funds

Eligible requests include but are not limited to:

- Costs identified due to unforeseen circumstances during the engineering or construction phase.
- Change orders during construction that are necessary to:
 - a. Complete the project as approved by the District without additional scope or project changes.
 - b. Meet required federal or state regulatory standards that are new or were unforeseen at the time project design was completed.
 - c. Address conditions not reasonably discoverable in the engineering and design phase of the project.

Ineligible requests include but are not limited to:

- Costs resulting from increased scope not needed to complete the original project without justification approved by the District.
- Funding a budget shortfall resulting from the project bids coming in higher than the estimate, without justification or explanation of unforeseen circumstances.
- Funding a budget shortfall in funding from other sources (i.e., local, state, federal and/or other sources).
- Cost overruns incurred during construction that were caused by engineering deficiencies and/or inadequate plan preparation.
- Cost overruns incurred as the result of contractor or project sponsor negligence or misfeasance.

Reimbursement Overview

1. MCIP funded projects are reimbursement only. All requests for reimbursement for the project shall be documented to the District in reasonable satisfaction. All requests shall be submitted in a form sufficient to allow the District to review, inspect and approve materials, labor, and quantities installed for the project.
2. The District's award will represent a percentage of the project cost (the "Award Percentage"), based on the cost estimate provided in the project application.
3. The member community or eligible political subdivision must demonstrate that their percentage of the project (the "MCIP Applicant Percentage"), as identified in the application, has been paid. Throughout the duration of the project, District reimbursements to the member community or eligible political subdivision for each invoice shall follow the established Award Percentages and MCIP Applicant Percentages for the project. In no circumstances shall the District's reimbursements exceed the initial award contribution to the project (the "Award Contribution").
4. If subsequent additional funds are requested and granted pursuant to these policies, then the District's final Award Contribution may represent a higher Award Percentage of the final project costs, but in no event will the District's final total Award Contribution exceed 75% of the final project costs.
5. If final project costs decrease from the project proposal estimate, then the amount of the District's final Award Contribution shall be reduced to maintain the same Award Percentage of the final project cost as the percentage of the original award in relation to the proposal estimate.

6. The member community or eligible political subdivision shall keep all records and documents relevant to the MCIP Project Agreement, including but not limited to, an accurate, current, and complete accounting of all financial transactions for the project. Such records and documents shall be available at reasonable times and places for inspection and copying by the District or any authorized representative thereof and shall be submitted to the District upon request together with any other compliance information which may be reasonably required.
7. The member community or eligible political subdivision shall bear the risk and remain solely responsible for any payments made to third parties for invoicing not approved for MCIP reimbursement by the District.
8. Upon request the member community or eligible political subdivision will provide a copy of any final accounting report prepared in connection with and specific to the project.

MEMBER COMMUNITY INFRASTRUCTURE PROGRAM PROCEDURES

Request for Proposals

The District intends to offer an annual Request for Proposals (RFP) to member communities and eligible public entities for the MCIP. The RFP includes project requirements, evaluation criteria, and schedule of deliverables.

Eligible Projects

Within the annual RFP, the District will list eligible projects. Projects not listed can be discussed with the District for consideration.

Evaluation Criteria, Process, and Recommendations

Proposals must be submitted no later than the specified due date and time in the RFP. Any materials that are not included in the initial submission will not be considered. The proposals are checked for completeness, filed electronically, and disbursed to the selection committee for review.

Final recommendations for funding will be based on the value of the Project Evaluation criteria in the RFP and past performance. The selection of projects is solely at the District's discretion.

The final recommendations to the BOT must be approved by a Chief Executive Officer Committee consisting of the Chief Executive Officer, Chief Financial Officer, Chief Operating Officer, Director of Engineering and Construction, and Director of Watershed Programs.

Project Agreement

The District's Legal Department will send the MCIP Project Agreement to the primary project contact. The project commences under the MCIP when the MCIP Project Agreement is fully executed and a purchase order number has been issued by the District.

Request for Budget Modification

Budget Modifications require the submission of a Request for Budget Modification form to the Watershed Funding Administrator. Budget Modification must be submitted with substantiating documentation. If approved, the Member Community or Political Subdivision will be required to enter into an amendment to the MCIP Grant Agreement or Community Operating Lease Agreement.

A Request for Budget Modification must be fully-executed prior to consideration of further reimbursement requests.

Progress Reports

Progress Reports will provide a summary of the project status with respect to objectives, degree of project completion, difficulties encountered, and next steps toward project completion. The Progress Report is located at <http://www.neorsd.org/mcip>.

Progress Reports will be submitted:

- Within 30 days of written request from the District
- As an attachment to all Reimbursement Requests

Reimbursement Request

For reimbursement, 100% of the MCIP funds must be used for activities and/or expenses directly related to the project, as approved by the District. These activities and expenses may include design, construction, materials, equipment, project performance verification, and signage specifically related to the project. Only project components described in the MCIP Project Agreement and/or approved Budget Modifications are eligible for reimbursement. A Reimbursement Request for project costs cannot be submitted prior to a fully executed MCIP Project Agreement. Any Budget Modification must be documented by written District approval.

1. The Reimbursement Request forms can be found at <http://www.neorsd.org/mcip> or other location designated by the District.
2. A complete Reimbursement Request submission will include:
 - Reimbursement Request – Cover Sheet
 - Progress Report
 - Expenditure and Financing Progress Worksheet
 - Expense Worksheet w/ supporting documentation
3. Itemize all reimbursable project expenses on the Reimbursement Request Expense Worksheet. Include supporting documentation to justify the expenses recorded, such as an itemized bill, receipt, invoice, or timecard. This must be accompanied by proof of payment, such as a credit card receipt, cancelled check, bank verified electronic funds transfer and/or other documentation to substantiate purchase and/or payment by the District.
4. Demonstrate that the MCIP Applicant Percentage (project cost obligation), as identified in the application, has been satisfied, using the Expenditure and Financing Progress Worksheet. Include supporting documentation as needed if not included with the Expense Worksheet.
5. The Reimbursement Request shall be submitted to the Grant Programs Administrator. Send submissions to:

Linda Mayer, Grant Programs Administrator, mayerl@neorsd.org
6. Upon successful review of the submission by Grant Programs Administrator and Deputy Director of Watershed Programs, the District's Director of Watershed Programs will have the final review and approval of the Reimbursement Request for disbursement to occur.

7. The reimbursement can be anticipated within 30 days of the final approval of the Reimbursement Request.

MEMBER COMMUNITY INFRASTRUCTURE GRANT PROGRAM AGREEMENT

BY AND BETWEEN

**NORTHEAST OHIO REGIONAL SEWER DISTRICT
AND**

CITY OF UNIVERSITY HEIGHTS

FOR

EAST SCARBOROUGH AND CANTERBURY RELIEF SEWER PROJECT

THIS AGREEMENT (“Agreement”) is entered into as of the 1st day of January, 2023 (“Effective Date”), by and between the Northeast Ohio Regional Sewer District (“District”), a regional sewer district organized and existing as a political subdivision under Chapter 6119 of the Ohio Revised Code, pursuant to the authority of Resolution No. 251-22, adopted by the District’s Board of Trustees on August 4, 2022 (Exhibit “A”), and the City of University Heights (“Member Community”), a political subdivision of the State of Ohio, acting pursuant to Ordinance No._____, passed on_____, 2022 (Exhibit “B”). The District and the Member Community may be collectively referred to herein as “Parties.”

RECITALS:

WHEREAS, the District is interested in assisting member communities with water quality and quantity issues associated with sewer infrastructure that adversely impact human health and the environment; and

WHEREAS, Ohio law authorizes regional water and sewer districts to enter into grant agreements with political subdivisions for water resource projects; and

WHEREAS, pursuant to Ohio Revised Code Chapter 6119, generally, and Ohio Revised Code Section 6119.06(F), the District established the Member Community Infrastructure Program (“MCIP”) to provide water resource project funding opportunities to member communities for sewer infrastructure projects in the District’s service area; and

WHEREAS, the District issued a Request for MCIP Proposals (Exhibit “C”);
and

WHEREAS, in response to the District's Request for MCIP Proposals, the Member Community, a District member community, submitted an application for the East Scarborough and Canterbury Relief Sewer Project (the "Project" or "MCIP Project"), attached hereto as Exhibit "D;"

WHEREAS, the District has determined that the MCIP Project will address water quality and quantity issues associated with sewer infrastructure that adversely impacts human health and the environment.

NOW THEREFORE, in consideration of the foregoing, the grant to be made by the District and the mutual promises contained in this Agreement, the parties agree as follows:

Article 1. The MCIP Project

- 1.1 The MCIP Project. The Member Community will manage, design, procure and construct the MCIP Project, which generally consists of the installation of a sanitary relief sewer, new manholes, and disconnection of SSO, as set forth in Exhibit "D."
- 1.2 Performance Goal and Verification. The performance goal for the MCIP Project is set forth in Exhibit D. At the request of the District, the Member Community will provide data relevant to the project performance verification as set forth in Exhibit C. The Member Community agrees to provide the District with post-construction verification of the performance goal. Failure to do so may impact future grant awards.
- 1.3 Compliance with District's Code of Regulations. The MCIP Project shall be designed and constructed to ensure compliance with the District's Code of Regulations. The goal of the MCIP is to reduce water quality and quantity issues that impact human health and the environment associated with combined or separate sanitary and/or storm sewer infrastructure problems.
- 1.4 Permits and Approvals. The Member Community shall obtain and pay the cost of all required federal, state, and local approvals, including permits, necessary to initiate and complete the MCIP Project.
- 1.5 Affected Property Owners. The Member Community shall obtain all easements, rights of entry, and other necessary legal agreements with affected property owners to perform construction and to bind any successor in title to maintain compliance as required in this Agreement. The costs of

obtaining such legal agreements are eligible for MCIP fund reimbursement, if they are part of the proposal and approved by the District.

- 1.6 MCIP Project Modifications. The Member Community shall submit requests to modify the budget, deadlines, deliverables, or other components of the Project to the District Representative for approval at least fifteen (15) business days prior to the execution of the modification. Any modification to the MCIP Project must be approved by the District Representative in writing.
- 1.7 Photographs of MCIP Project. The District shall have the right to observe, monitor, inspect, and photograph the MCIP Project at any and all stages of design and construction, as well as post-construction.

Article 2. Design and Construction of the MCIP Project

- 2.1 District Review of Design Work. The Parties agree that the District shall have the right to review and comment on the final MCIP Project design plans prior to construction. The Member Community shall submit the final MCIP Project design plans to the District's Representative, William Fussner, in a timely manner that provides the District with at least fifteen (15) business days to review. Any modification to the MCIP Project must be submitted to the District Representative in writing.
- 2.2 MCIP Project Meetings. The District shall have the right to attend all MCIP Project progress meetings and shall receive at least five (5) business days advance notice of all such meetings.
- 2.3 Member Community to Bid and Construct MCIP Project. After the District's review of the MCIP Project design in accordance with Article 2.1 above, the Member Community shall bid and complete the construction work pursuant to the final MCIP Project plans and specifications and in accordance with all applicable laws and regulations. The Member Community shall be responsible for construction procurement, supervision, and inspection in accordance with the terms of this Agreement. The Member Community shall provide the District Representative a copy of the awarded bid.
- 2.4 Construction Schedule. The District shall have the right to review and provide written comments to the proposed MCIP Project construction schedule, prior to the selected contractor beginning field activities.
- 2.5 Pre-Construction and Construction Meetings. The District shall have the right to attend all pre-construction and construction meetings with the MCIP

Project contractor. The Member Community shall notify the District Representative, in writing or via e-mail, of such meetings at least five (5) business days prior to the meeting date.

- 2.6 Daily Construction Supervision. The District is not required to and will not provide any daily construction supervision, or inspection and testing services for the MCIP Project.
- 2.7 As-Built Drawings. At the District's request, the Member Community shall provide the District Representative with "as-built" drawings for the MCIP Project.
- 2.8 Record Drawings. The Member Community shall provide to the District Representative record drawings, approved by the Member Community's Engineer, at the closure of the MCIP Project.
- 2.9 District Request for Construction Progress Meetings. The Member Community agrees to meet with the District to review the MCIP construction project status and progress, as may be requested by the District.
- 2.10 Payment of Prevailing Wage. The Member Community shall be responsible for determining whether the payment of prevailing wages, as set forth in Chapter 4115 of the Ohio Revised Code, are required for labor used in constructing the MCIP Project, and shall ensure compliance with any prevailing wage requirements in such Chapter.

Article 3. Ownership, Operation, and Maintenance

- 3.1 Member Community Operation and Maintenance Responsibilities. During construction and after construction, the Member Community shall own, operate, and maintain the MCIP Project. The Member Community shall reimburse the District in an amount equal to one hundred percent (100%) of the District Funds provided by the District under this Agreement if this provision is violated. In the event that the District determines a violation of this section has occurred, the District shall notify the Member Community in writing. The Parties agree to resolve any dispute relating to such alleged violation in accordance with the procedure set forth in Article 9 of this Agreement.
- 3.2 Post-Construction Operation and Maintenance Plan. The Member Community shall provide the District with a letter referencing the post-

construction operation and maintenance plan for the MCIP Project. Operation and maintenance plans shall be updated by the Member Community, as may be necessary, and as may be requested by the District.

- 3.3 Maintenance Inspection Records. The Member Community shall maintain a record of the Member Community's maintenance inspections and overall performance of the MCIP Project for at least three (3) years and shall submit a copy to the District upon reasonable request.

Article 4. Project Costs and Funding

- 4.1 District Funds. The District agrees to pay the Member for the construction of the Project an amount not to exceed \$86,951.67 (the "District Funds") on a reimbursement basis, in accordance with the terms of this Article and Article 6. The anticipated reimbursement amount for the calendar year 2023 is \$86,951.67. Yearly anticipated reimbursement amounts may only be altered in writing at the discretion of the District's Director of Watershed Programs. The District shall withhold five percent (5%) or \$4,347.58 of the District Funds until the District receives:
- a) final record drawings for the MCIP Project,
 - b) final report of audit prepared in connection with and specific to the Project,
 - c) a letter referencing the post-construction operation and maintenance plan.
- 4.2 Member Community Funds. The Member Community agrees to pay all MCIP Project costs that exceed the amount of the District Funds ("Member Community Funds"). Under no circumstance, shall the District be responsible for payment of any costs that, in aggregate, exceed the amount of the District Funds, including, but not limited to, differing site conditions or other unforeseen situations. Prior to the Member Community issuing a notice-to-proceed for any MCIP Project related work or service, the Member Community shall provide the District a copy of the certification by the Member Community's Finance Director that the Member Community Funds have been lawfully appropriated by the Member Community for the Project. This certification is attached hereto as Exhibit "E."
- 4.3 Use of District Funds - Reimbursement Requests and Quarterly Progress Reports. The District Funds must be used for activities and expenses approved by the District that are related to the MCIP Project accrued on or after January 1, 2023 and in accordance with the project schedule

requirements set forth in Article 6. In accordance with the provisions of this Agreement, the District shall reimburse the Member Community for eligible MCIP Project expenses based upon paid invoices, prepared and submitted by the Member Community to the District, in the form prescribed by the District, and including all supporting documentation as required by this Agreement and the MCIP Policy, Process, and Procedures, attached hereto as Exhibit “F.”

The Member Community will provide a copy of the award bid with the first reimbursement request.

Quarterly progress reports shall be submitted to the District in accordance with the following:

- First Request: Due April 30, 2023 for work completed January 1, 2023– March 31, 2023;
- Second Request: Due July 31, 2023 for work completed April 1, 2023 - June 30, 2023;
- Third Request: Due October 31, 2023 for work completed July 1, 2023 – September 30, 2023;
- Fourth Request: Due January 31, 2024 for work completed October 1, 2023 – December 31, 2023;
- Fifth Request: Due April 30, 2024 for work completed January 1, 2024 – March 31, 2024;
- Sixth Request: Due July 31, 2024 for work completed April 1, 2024- June 30, 2024;
- Seventh Request: Due October 31, 2024 for work completed July 1, 2024 – September 30, 2024; and
- Eighth Request: Due January 31, 2025 for work completed October 1, 2024 – December 31, 2024.

Failure to submit the quarterly progress report in accordance with these deadlines may result in the revocation of the Agreement by the District.

The Member Community agrees to meet with District staff, as requested, to review MCIP Project progress and to use the reimbursement request and progress report form provided by the District available at: <http://www.neorsd.org/mcip.php>.

- 4.4 Third Party Payments. The Member Community shall bear the risk and remain solely responsible for any payments made by the Member Community to third parties for work not approved for reimbursement by the District.

- 4.5 Records Retention. The Member Community shall keep all records and documents relevant to the MCIP Project, including but not limited to, an accurate, current, and complete accounting of all financial transactions for the MCIP Project. Such records and documents shall be available at reasonable times and places for inspection and copying by the District or any authorized representative thereof and shall be submitted to the District upon request along with any other compliance information which may be reasonably required.
- 4.6 District Funds Not Used. Any District Funds that are not used to complete the MCIP Project shall be retained by the District.
- 4.7 Final Project Costs. If final project costs decrease from the project proposal estimate, then the amount of the District's final contribution shall be adjusted to maintain the same District contribution percentage of the final project cost. (Exhibit C).

Article 5. Public Participation and Outreach

- 5.1 Educational Signage and Public Outreach. The Member Community shall coordinate any educational signage and any public outreach with the District. The Member Community shall acknowledge the District on MCIP Project related outreach communications and in public meetings that discuss the MCIP Project.
- 5.2 District Right to Reject. The District reserves the right to reject any signage, related to the MCIP Project.

Article 6. Project Schedule and Warranty Period.

- 6.1. Project Schedule. The MCIP Project schedule shall be as set forth in the Project Schedule and Budget Section of Exhibit "D." Any change to the Project schedule must be approved in writing by the District Representative.
- 6.2 MCIP Project Warranty. The Member Community's construction agreement shall require the contractor to provide a minimum of a one (1) year warranty period that commences upon final completion of the MCIP Project construction ("Warranty Period"). Prior to the conclusion of the Warranty Period the Member Community shall perform a CCTV inspection of the installed Project, if applicable, and provide a report to the District.

Article 7. Term.

7.1 Term. This Agreement shall begin on the date first above written and expire upon successful completion of the obligations contained herein.

Article 8. Insurance.

8.1 Insurance. The Member Community shall require MCIP Project consultants and contractors to name the Northeast Ohio Regional Sewer District as an Additional Insured for general liability, automobile liability, and property liability insurance coverages.

Article 9. Dispute Resolution.

9.1 Continuation of Obligations. The Parties shall continue the performance of their obligations under this Agreement notwithstanding the existence of a dispute. The District reserves the right to deposit District Funds in an escrow account until the dispute is resolved.

9.2 Designated Representatives. The Parties shall first try to resolve the dispute at the level of the designated representatives as follows:

District Representatives	Member Community Representatives
Director of Watershed Programs	City Engineer

If the Parties are unable to resolve the dispute at that level within ten (10) working days, the Parties shall escalate the dispute to the following level to resolve the dispute:

District Representatives	Member Community Representatives
District Chief Legal Officer or CLO's designee	Mayor

9.3 Mediation. If the Parties remain unable to resolve the dispute within an additional ten (10) working days, the Parties shall proceed to mediation upon request by either party. The Parties shall mutually select a mediator who is

experienced in public utility infrastructure engagements. The mediator shall review all documents and written statements, in order to accurately and effectively resolve the dispute. The mediator shall call a meeting between the Parties within ten (10) working days after the mediator appointment, which meeting shall be attended by at least the respective representatives in Article 9.2 above. The Parties shall attempt in good faith to resolve the dispute. The Parties agree to follow the Uniform Mediation Act, Chapter 2710 of the Ohio Revised Code. The Parties shall share the cost of the mediator equally.

9.4 Mediation Resolution. Such mediation shall be non-binding between the Parties and, to the extent permitted by law, shall be kept confidential. If the dispute is resolved and settled through the mediation process, the decision will be implemented by a written agreement signed by both Parties. If the dispute is unable to be resolved through mediation, the Parties agree to submit the dispute to the appropriate jurisdiction as per Article 10, Remedies, below.

Article 10. Remedies.

10.1 Remedies and Ohio Law. The Parties agree that, after exhausting the dispute resolution process outlined above, all claims, counterclaims, disputes and other matters in question between the Parties arising out of or relating to this Agreement, or the breach thereof, will be decided at law. This Agreement shall be governed by and interpreted according to the law of the State of Ohio. A party may file a lawsuit in a court of competent jurisdiction in Cuyahoga County, Ohio.

Article 11. Notifications.

11.1 Points of Contact. The Parties hereby designate the following individuals to serve as the primary points of contact under this Agreement:

District Representative	Member Community Representative
Grant Programs Administrator	City Engineer

Article 12. Release of Liability.

12.1 Release of All Liability. The Parties understand and agree that the District has no responsibilities or interest in the MCIP Project with respect to

ownership, operation and maintenance and is acting solely as a funding source. The Member Community hereby releases the District from all liability related to the grant funding provided by the District hereunder. The Member Community further releases the District from all liability for: (i) the design, construction, implementation, operation, maintenance, and inspection of the Member Community's MCIP Project; (ii) any damages to third parties caused by the design, construction, implementation, operation, maintenance, inspection and every other aspect of the Member Community's MCIP Project; (iii) any defective performance of the Member Community's MCIP Project by the Member Community and/or its agents; and (iv) any damages caused by malfeasance or misfeasance of the grant funds by the Member Community.

Article 13. Miscellaneous.

- 13.1 Limit of Commitment. This grant is made with the understanding that the District has no obligation to provide other or additional support, including maintenance of the Member Community's MCIP Project. This grant does not represent any commitment to, or expectation of, future support, including maintenance of the Member Community's MCIP project from the District.
- 13.2 Disclaimer of Joint Venture. This Agreement is not intended to create a joint venture, partnership or agency relationship between the Parties, and such joint venture, partnership, or agency relationship is specifically hereby disclaimed.
- 13.3 Authority to Execute. Each person executing this Agreement represents and warrants that it is duly authorized to execute this Agreement by the party on whose behalf it is so executing.
- 13.4 Counterpart Signatures. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, but which counterparts when taken together shall constitute one Agreement.
- 13.5 Modification of Agreement. This Agreement may only be modified by written instrument executed by each party.
- 13.6 Merger Clause. This Agreement, along with any exhibits attached hereto, encompasses the entire agreement of the parties, and supersedes all previous understandings and agreements between the parties, whether oral or written.

- 13.7 Binding on Successors. This Agreement is binding upon, and inures to the benefit of, the parties and their respective permitted successors and assigns.
- 13.8 Prohibition on Assignment and Subcontracting. The Member Community may not assign or subcontract its rights or duties under this Agreement, in whole in part, whether by operation of law or otherwise, without the prior consent of the District. Consent may be withheld for any reason or no reason. Any assignment or subcontract made in contravention of the foregoing shall be void and of no effect.
- 13.9 Severability. If any term or provision of this Agreement is determined to be illegal, unenforceable, or invalid, in whole or in part for any reason, such provision shall be stricken from this Agreement and such provision shall not affect the validity of the remainder of this Agreement.
- 13.10 Headings. The headings in this Agreement are included for convenience only and shall neither affect the construction nor the interpretation of any provision in this Agreement.
- 13.11 Relationship of Agreement to Exhibits. The exhibits to this Agreement are attached for reference purposes only. Nothing in this Agreement shall be construed to modify, alter, clarify, or give effect to the terms and conditions of the various exhibits attached to this Agreement.

Article 14. Exhibits.

It is mutually understood and agreed that all Exhibits attached hereto are made a part hereof as if fully written herein. In the case of any conflict or variance between the terms of this Agreement and the terms of referenced documents, the terms of this Agreement shall govern. The following Exhibits attached hereto are hereby incorporated with and made a part of this Agreement:

- Exhibit "A" – District Resolution
- Exhibit "B" – Member Community's Authorizing Ordinance
- Exhibit "C" – Request for MCIP Proposals
- Exhibit "D" – Member Community's MCIP Application
- Exhibit "E" - Member Community's Certification of Funds
- Exhibit "F" – MCIP Policy, Process, and Procedures

<< INTENTIONALLY LEFT BLANK >>

The parties hereto have executed and delivered this Agreement as of the date first above written.

NORTHEAST OHIO REGIONAL SEWER DISTRICT

By: _____
Kyle Dreyfuss-Wells
Chief Executive Officer

and: _____
Darnell Brown, President
Board of Trustees

CITY OF UNIVERSITY HEIGHTS

By: _____

The legal form and correctness of this instrument is approved.

By: Assistant/Director of Law
City of University Heights

Date: _____, 2022

This Instrument Prepared By:

Anka M. Davis
Assistant General Counsel
Northeast Ohio Regional Sewer District

Each party agrees that this Agreement may be executed and distributed for signatures via email, and that the emailed signatures affixed by both parties to this Agreement shall have the same legal effect as if such signatures were in their originally written format.

[FOR DISTRICT USE ONLY]

AGREEMENT NO.

NORTHEAST OHIO REGIONAL SEWER
DISTRICT
WITH
CITY OF UNIVERSITY HEIGHTS
FOR
2023 MEMBER COMMUNITY
INFRASTRUCTURE PROGRAM PROJECT:
EAST SCARBOROUGH AND CANTERBURY RELIEF
SEWER

Total Approximate Cost: \$86,951.67

The legal form and correctness of the within
instrument are hereby approved.

ERIC J. LUCKAGE
CHIEF LEGAL OFFICER

Date

CERTIFICATION

It is hereby certified that the amount
required to meet the contract, agreement,
obligation, payment or expenditure, for the
above, has been lawfully appropriated or
authorized or directed for such purpose and
is in the Treasury or in process of collection
to the credit of the fund free from any
obligation or certification now outstanding.

KENNETH J. DUPLAY
CHIEF FINANCIAL OFFICER

Date



CITY OF UNIVERSITY HEIGHTS
SERVICE DEPARTMENT
MEMORANDUM

To: City Council
Mayor Michael Dylan Brennan

From: Jeffrey Pokorny, Service Director

Date: October 10, 2022

Re: Request for Authorization to Bid Emergency Sewer Repairs for 2023 -2026

The City of University Heights Service Department provides sanitary and storm sewer repair services throughout the City. When sewers or catch basins require repair and the repair exceeds the capability of internal resources the Emergency Repair Contract is utilized to perform the repair.

The Emergency Sewer Repair service contract is bid, awarded and performed based upon estimated quantities and is performed on an as needed basis utilizing quantities bid.

The current contract will expire January 1, 2023. I anticipate bidding during this October and presenting the results to City Council in November. With Council approval a contract could be in place by January 2023.

With your approval, I request City Council authorize bidding for Emergency Sewer Repairs for 2023-2026.

The estimated cost is \$160,000 annually and funds are available in the 201 Sewer & Water Maintenance Fund under line item 201-1440-55350.

Should you have any questions or require additional information, please contact me.

Cc: Dennis Kennedy, Finance Director



CITY OF UNIVERSITY HEIGHTS
SERVICE DEPARTMENT
MEMORANDUM

To: City Council
Mayor Michael Dylan Brennan

From: Jeffrey Pokorny, Service Director

Date: October 10, 2022

Re: Request for Authorization to Bid the 2023-2026 Catch Basin Inlet, Sewer Cleaning & Television Inspection Program.

The City of University Heights Service Department oversees street catch basin cleaning, sanitary and storm sewer cleaning and inspection services through a service contract. The contract will be a three-year contract to clean approximately 1100 catch basins and clean & television inspect approximately 225,000 liner feet of storm and sanitary sewers. The service contract work is bid, awarded and performed based upon plan quantities and performed on an as needed basis.

The current contract will expire January 1, 2023. I anticipate bidding during this October and presenting the results to City Council in November. With Council approval a contract could be in place by January 2023.

I request City Council authorize bidding for 2023-2026 Catch Basin, Sewer Cleaning & Television Inspection Program.

The estimated cost is \$280,000 annually and funds are available in the 201 Sewer Maintenance Fund under line items 201-1440-55370 & 201-1440-55375.

Should you have any questions or require additional information, please contact me.

Cc: Dennis Kennedy, Finance Director



CITY OF UNIVERSITY HEIGHTS
SERVICE DEPARTMENT
MEMORANDUM

To: City Council
Mayor Michael D. Brennan

From: Jeffrey Pokorny, Service Director

Date: October 7, 2022

Re: Bid Tabulation and Recommendation of Award for the 2022-1 Fall Tree Pruning and Removal Contract.

Bids for the 2022-1 Fall Tree Pruning and Removal Contract were opened Friday October 7, 2022.

There were two bids received as follows:

Parks Tree Inc. of Eastlake, Ohio bid \$ 129,900.

VanCuren Services, Inc. of Newbury, Ohio bid \$105,785

VanCuren Services, Inc. has satisfactorily performed pruning and removal services on previous City of University Heights projects.

As the lowest and best bid received for the 2022-1 Fall Tree Pruning and Removal Contract, I recommend award of the Contract to VanCuren Services, Inc. of Newbury, Ohio in the amount of \$ 105,785.

Funds for this program are available in the Tree Improvement Fund 205-4407-55240.

Should you require any additional information please contact me.

Cc: Dennis Kennedy, Finance Director

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
1	2303	Allison Rd	Allison Rd	1	Honeylocust	18		x		x						
2	2307	Allison Rd	Allison Rd	1	Honeylocust	14		x		x					200	180
3	2312	Allison Rd	Allison Rd	1	Norway Maple	23									125	140
4	2323	Allison Rd	Allison Rd	1	Silver Maple	27						x	x		875	1,000
5	2332	Allison Rd	Allison Rd	1	Littleleaf Linden	13						x	x		1,050	1,000
6	2336	Allison Rd	Allison Rd	1	Pin Oak	24		x		x					125	130
7	2295	Ashurst Rd	Ashurst Rd	1	Pin Oak	37					x				225	378
8	2299	Ashurst Rd	Ashurst Rd	1	Silver Maple	30		x		x					350	378
9	2579	Ashurst Rd	Ashurst Rd	1	Basswood	37							x	x	350	300
10	3701	Hillbrook Rd	Ashurst Rd	2	Red Maple	25		x		x					1,300	2,000
11	2172	Barrington Rd	Barrington Rd	1	Siberian Elm	30				x					150	250
12	2180	Barrington Rd	Barrington Rd	1	Siberian Elm	30		x		x					200	300
13	2191	Barrington Rd	Barrington Rd	1	Pin Oak	33					x				200	300
14	2192	Barrington Rd	Barrington Rd	1	Silver Maple	26							x	x	300	378
15	2224	Barrington Rd	Barrington Rd	1	Honeylocust	11		x							700	1,000
16	2228	Barrington Rd	Barrington Rd	1	Siberian Elm	11		x							70	110
17	2228	Barrington Rd	Barrington Rd	1	Siberian Elm	28		x		x					225	280
18	2228	Barrington Rd	Barrington Rd	1	Siberian Elm	25		x		x					300	250
19	2235	Barrington Rd	Barrington Rd	1	Siberian Elm	29		x		x					200	290
20	2252	Barrington Rd	Barrington Rd	1	Littleleaf Linden	16		x		x					100	160
21	2260	Barrington Rd	Barrington Rd	1	Siberian Elm	23							x	x	500	1,000
22	3837	Bethany Rd	Bethany Rd	1	Pear	13		x							70	130
23	3857	Bethany Rd	Bethany Rd	1	Pin Oak	48					x				350	378
24	3866	Bethany Rd	Bethany Rd	1	London Planetree	28		x		x					225	280
25	3866	Bethany Rd	Bethany Rd	2	Littleleaf Linden	19		x		x					150	190
26	3877	Bethany Rd	Bethany Rd	1	Honeylocust	7		x							45	40

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.	
26	3881	Bethany Rd	Bethany Rd	1	Pin Oak	27			x							
27	2175	Brockway Rd	Brockway Rd	1	Elm	10		x	x	x					275	378
28	2179	Brockway Rd	Brockway Rd	1	Littleleaf Linden	15		x	x	x					65	150
29	2187	Brockway Rd	Brockway Rd	1	Silver Maple	28					x	x			75	225
30	2207	Brockway Rd	Brockway Rd	1	Littleleaf Linden	14					x		removal request	400	336	
31	3777	Bushnell Rd	Bushnell Rd	1	Elm	4					x	x		175	100	
32	3789	Bushnell Rd	Bushnell Rd	1	Elm	5					x	x		175	100	
33	3793	Bushnell Rd	Bushnell Rd	1	Red Oak	14		x	x	x				125	140	
34	3802	Bushnell Rd	Bushnell Rd	1	Littleleaf Linden	17		x	x					150	170	
35	3824	Bushnell Rd	Bushnell Rd	1	Elm	5					x	x		175	100	
36	3826	Bushnell Rd	Bushnell Rd	1	Elm	5					x	x		175	100	
37	3848	Bushnell Rd	Bushnell Rd	1	Littleleaf Linden	13		x	x					100	130	
38	3882	Bushnell Rd	Bushnell Rd	1	Stump	15						x		150	225	
39	3908	Washington Blvd	Bushnell Rd	2	Norway Maple	13					x	x	removal request	400	299	
40	2292	Canterbury Rd	Canterbury Rd	1	Pin Oak	22			x					225	378	
41	2296	Canterbury Rd	Canterbury Rd	1	Pin Oak	32		x	x					300	378	
42	2307	Canterbury Rd	Canterbury Rd	1	Crabapple	6		x						50	25	
43	2307	Canterbury Rd	Canterbury Rd	2	Bur Oak	5		x						50	25	
44	2312	Canterbury Rd	Canterbury Rd	1	Honeylocust	14		x	x					100	140	
45	2316	Canterbury Rd	Canterbury Rd	1	Pin Oak	37		x	x					325	378	
46	2335	Canterbury Rd	Canterbury Rd	1	River Birch	12		x	x					75	120	
47	2336	Canterbury Rd	Canterbury Rd	1	Honeylocust	14		x	x					100	140	
48	2340	Canterbury Rd	Canterbury Rd	1	Elm	10		x	x					50	100	
49	3650	Canterbury Rd	Canterbury Rd	1	Pin Oak	27		x	x					325	378	
50	3650	Canterbury Rd	Canterbury Rd	2	Pin Oak	29			x					325	378	

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
51	3641	Northcliffe Rd	Canterbury Rd	1	Silver Maple	32						x	x		850	1,144
52	3486	Cedarbrook Rd	Cedarbrook Rd	1	Red Oak	30				x					300	378
53	3541	Cedarbrook Rd	Cedarbrook Rd	1	Silver Maple	23						x	x		675	759
54	3542	Cedarbrook Rd	Cedarbrook Rd	1	Silver Linden	12	x		x					prune request	75	120
55	3582	Cedarbrook Rd	Cedarbrook Rd	1	Maple	4						x	x	removal request	150	100
56	3598	Cedarbrook Rd	Cedarbrook Rd	1	Pear	9						x	x	removal request	150	100
57	3633	Cedarbrook Rd	Cedarbrook Rd	1	Elm	9	x								60	45
58	3635	Cedarbrook Rd	Cedarbrook Rd	1	Silver Maple	25						x	x		650	875
59	3675	Cedarbrook Rd	Cedarbrook Rd	1	Silver Maple	28				x					160	280
60	2191	Jackson Blvd	Cedarbrook Rd	1	Norway Maple	6						x	x		175	100
61	2387	Channing Rd	Channing Rd	1	Pin Oak	37	x		x						325	378
62	2391	Channing Rd	Channing Rd	1	Silver Maple	22						x	x		700	704
63	2393	Channing Rd	Channing Rd	1	Honeylocust	11	x		x						75	110
64	2404	Channing Rd	Channing Rd	1	Silver Maple	29						x	x		1,100	1,131
65	2409	Channing Rd	Channing Rd	1	Elm	8	x	x							75	65
66	2423	Channing Rd	Channing Rd	1	Littleleaf Linden	11						x	x		375	110
67	2424	Channing Rd	Channing Rd	1	Red Maple	17	x							girdling roots	85	85
68	2375	Traymore Rd	Channing Rd	1	Pin Oak	41	x								325	153
69	2342	Charney Rd	Charney Rd	1	Pin Oak	43	x		x						325	378
70	2352	Charney Rd	Charney Rd	1	Crabapple	8						x	x		250	100
71	3741	Northwood Rd	Charney Rd	1	Pin Oak	32				x					325	378
72	13678	Cedar Rd	Cranston Rd	1	Pin Oak	27	x		x						275	378
73	2195	Cranston Rd	Cranston Rd	1	Norway Maple	17	x		x						140	170
74	2199	Cranston Rd	Cranston Rd	1	Siberian Elm	25	x		x						190	250
75	2200	Cranston Rd	Cranston Rd	1	Siberian Elm	33	x		x						225	330

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
76	2203	Cranston Rd	Cranston Rd	1	Silver Maple	25		x		x						
77	2208	Cranston Rd	Cranston Rd	1	Silver Maple	26						x	x		150	250
78	2208	Cranston Rd	Cranston Rd	2	Silver Maple	33				x					775	1,000
79	2216	Cranston Rd	Cranston Rd	1	Norway Maple	4						x	x		200	330
80	3681	Silsby Rd	Cranston Rd	1	Siberian Elm	36						x	x		150	100
81	3681	Silsby Rd	Cranston Rd	2	Siberian Elm	27						x	x		875	1,656
82	3581	E Scarborough Rd	E Scarborough Rd	1	Pin Oak	32						x	x	prune request	875	1,000
83	3581	E Scarborough Rd	E Scarborough Rd	2	Pin Oak	39				x				prune request	1,600	3,000
84	2224	Edgerton Rd	Edgerton Rd	1	Crabapple	12	x			x					350	378
85	2227	Edgerton Rd	Edgerton Rd	1	Silver Maple	36				x					70	120
86	2243	Edgerton Rd	Edgerton Rd	1	Oak	9	x								275	360
87	2632	Edgerton Rd	Edgerton Rd	1	Turkish Filbert	15						x	x		65	45
88	3741	Northwood Rd	Edgerton Rd	2	Pin Oak	32				x					125	375
89	3558	Farland Rd	Farland Rd	1	Silver Maple	31				x					325	378
90	3585	Farland Rd	Farland Rd	1	Ash	24						x	x	EAB and roots cut	200	310
91	3598	Farland Rd	Farland Rd	1	Norway Maple	20						x	x		700	816
92	3601	Farland Rd	Farland Rd	1	Norway Maple	17				x					75	170
93	3605	Farland Rd	Farland Rd	1	Norway Maple	16				x					50	160
94	2243	Jackson Blvd	Farland Rd	1	Elm	11						x	x		275	231
95	3805	Faversham Rd	Faversham Rd	1	Silver Maple	18						x	x		600	504
96	3830	Faversham Rd	Faversham Rd	1	Littleleaf Linden	14			x	x					80	200
97	3838	Faversham Rd	Faversham Rd	1	Pin Oak	37		x		x					325	378
98	3854	Faversham Rd	Faversham Rd	1	Elm	7		x							50	40
99	3854	Faversham Rd	Faversham Rd	2	Elm	4		x							50	25
100	2348	Saybrook Rd	Faversham Rd	1	Littleleaf Linden	12		x		x					80	120

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
101	2348	Saybrook Rd	Faversham Rd	2	Littleleaf Linden	12		x		x						
102	2220	Fenwick Rd	Fenwick Rd	1	Kentucky Coffeetree	6	x								80	120
103	2220	Fenwick Rd	Fenwick Rd	2	Pin Oak	13	x		x						50	25
104	2231	Fenwick Rd	Fenwick Rd	2	Goldenraintree	8						x	x		80	130
105	2252	Fenwick Rd	Fenwick Rd	1	Red Maple	18	x		x						150	100
106	2260	Fenwick Rd	Fenwick Rd	3	Poplar	9	x		x						150	180
107	2263	Fenwick Rd	Fenwick Rd	1	Littleleaf Linden	9	x		x						60	90
108	2267	Fenwick Rd	Fenwick Rd	1	Silver Maple	16	x		x						70	90
109	2419	Fenwick Rd	Fenwick Rd	1	Honeylocust	14	x		x						150	160
110	2420	Fenwick Rd	Fenwick Rd	1	Red Maple	25	x		x						75	140
111	3854	Grenville Rd	Fenwick Rd	1	Littleleaf Linden	11	x								200	250
112	3854	Grenville Rd	Fenwick Rd	2	Pear	11	x								60	65
113	3854	Washington Blvd	Fenwick Rd	1	Pin Oak	17	x		x						60	65
114	3854	Washington Blvd	Fenwick Rd	2	Pin Oak	14	x		x						200	300
115	3854	Grenville Rd	Grenville Rd	1	Pear	15	x								150	300
116	3865	Grenville Rd	Grenville Rd	1	Hedge maple	7	x	x							70	75
117	3877	Grenville Rd	Grenville Rd	1	Honeylocust	18	x		x						50	70
118	3813	Hillbrook Rd	Hillbrook Rd	1	Norway Maple	7						x	x	removal request	85	180
119	2176	Jackson Blvd	Jackson Blvd	1	Crabapple	17	x		x						150	100
120	2183	Jackson Blvd	Jackson Blvd	1	Silver Maple	24						x	x		65	170
121	2200	Jackson Blvd	Jackson Blvd	1	Red Oak	10	x								1,000	1,000
122	2213	Jackson Blvd	Jackson Blvd	1	Silver Maple	29						x	x		75	50
123	2215	Jackson Blvd	Jackson Blvd	1	Silver Maple	27						x	x		1,000	1,131
124	2235	Jackson Blvd	Jackson Blvd	1	Silver Maple	27						x	x		600	1,000
125	2244	Jackson Blvd	Jackson Blvd	1	Silver Maple	27						x	x		700	1,000
												x	x		900	1,000

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
126	3901	Lansdale Rd	Lansdale Rd	1	Pin Oak	36		x		x						
127	3905	Lansdale Rd	Lansdale Rd	1	Pin Oak	37		x		x					325	378
128	3909	Lansdale Rd	Lansdale Rd	1	Pin Oak	35		x		x	x				325	378
129	3925	Lansdale Rd	Lansdale Rd	1	Pin Oak	36		x		x					325	378
130	3926	Lansdale Rd	Lansdale Rd	1	Honeylocust	5	x								50	25
131	3930	Lansdale Rd	Lansdale Rd	1	Pin Oak	46		x		x					325	378
132	3933	Lansdale Rd	Lansdale Rd	1	Pin Oak	34		x		x					325	378
133	3934	Lansdale Rd	Lansdale Rd	1	Littleleaf Linden	4	x								50	25
134	3937	Lansdale Rd	Lansdale Rd	1	Pin Oak	31		x		x					275	378
135	3938	Lansdale Rd	Lansdale Rd	1	Pear	12		x		x					70	120
136	3942	Lansdale Rd	Lansdale Rd	1	Turkish Filbert	9		x		x					60	90
137	3945	Lansdale Rd	Lansdale Rd	1	Pin Oak	39		x		x					325	378
138	3946	Lansdale Rd	Lansdale Rd	1	Red Maple	15		x		x					150	150
139	3950	Lansdale Rd	Lansdale Rd	1	Norway Maple	2	x								45	25
140	3953	Lansdale Rd	Lansdale Rd	1	Pin Oak	39				x					325	378
141	3954	Lansdale Rd	Lansdale Rd	1	Norway Maple	9		x		x					55	90
142	3957	Lansdale Rd	Lansdale Rd	1	Pin Oak	25		x		x					275	378
143	3958	Lansdale Rd	Lansdale Rd	1	Pin Oak	40				x					325	378
144	3961	Lansdale Rd	Lansdale Rd	1	Pin Oak	35		x		x					325	378
145	3963	Lansdale Rd	Lansdale Rd	1	Pin Oak	26		x		x					325	378
146	3965	Lansdale Rd	Lansdale Rd	1	Pin Oak	32		x		x					325	378
147	3966	Lansdale Rd	Lansdale Rd	1	Honeylocust	13				x					100	130
148	3970	Lansdale Rd	Lansdale Rd	1	Freeman Maple	7		x		x					50	70
149	2200	Warrensville Center Rd	Lansdale Rd	1	Littleleaf Linden	6	x								50	25
150	2200	Warrensville Center Rd	Lansdale Rd	2	Hackberry	4	x								45	25

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
151	2200	Warrensville Center Rd	Lansdale Rd	3	Hackberry	2	x									
152	2200	Warrensville Center Rd	Lansdale Rd	4	Elm	6	x								45	25
153	3893	Washington Blvd	Lansdale Rd	1	Honeylocust	20		x	x						45	25
154	3893	Washington Blvd	Lansdale Rd	2	Honeylocust	11		x	x						150	200
155	3893	Washington Blvd	Lansdale Rd	3	Honeylocust	9		x	x						70	110
156	3893	Washington Blvd	Lansdale Rd	4	Freeman Maple	7		x	x						75	90
157	2567	Lafayette Dr	Lafayette Dr	1	Crabapple	20						x	x		60	70
158	2505	Laurelhurst Rd	Laurelhurst Rd	1	Pin Oak	22		x	x					prune request	350	600
159	2515	Laurelhurst Rd	Laurelhurst Rd	1	Maple	5						x	x	prune request	200	278
160	3594	Meadowbrook Blvd	Meadowbrook Blvd	1	Silver Maple	27						x	x		175	100
161	3594	Meadowbrook Blvd	Meadowbrook Blvd	2	Silver Maple	34						x	x		800	1,000
162	3602	Meadowbrook Blvd	Meadowbrook Blvd	1	Silver Maple	34						x	x		800	1,496
163	3618	Meadowbrook Blvd	Meadowbrook Blvd	1	Red Maple	26						x	x		1,200	1,496
164	3664	Meadowbrook Blvd	Meadowbrook Blvd	1	Silver Maple	15		x	x						575	1,000
165	3664	Meadowbrook Blvd	Meadowbrook Blvd	2	Silver Maple	13		x	x					Subordinate one lead	70	150
166	3676	Meadowbrook Blvd	Meadowbrook Blvd	1	Silver Maple	18		x	x						70	200
167	4110	Meadowbrook Blvd	Meadowbrook Blvd	1	Red Maple	13						x	x	removal request	50	180
168	2505	Milford Rd	Milford Rd	1	Crabapple	12						x	x		325	299
169	2505	Milford Rd	Milford Rd	1	Crabapple	14						x	x		275	264
170	2548	Milford Rd	Milford Rd	1	Honeylocust	11		x	x					prune request	275	336
171	2548	Milford Rd	Milford Rd	2	Honeylocust	26		x	x					prune request	100	110
172	2556	Milton Rd	Milton Rd	1	Sugar Maple	27						x	x		200	260
173	2631	Milton Rd	Milton Rd	1	Pin Oak	38				x				resident requested	725	1,000
174	2631	Milton Rd	Milton Rd	2	Pin Oak	31				x				resident requested	325	378
175	2655	Milton Rd	Milton Rd	1	Pin Oak	30				x					325	378

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
176	2655	Milton Rd	Milton Rd	2	Pin Oak	30				x						
177	2308	Allison Rd	Nordway Rd	1	Norway Maple	23				x					325	378
178	2312	Allison Rd	Nordway Rd	2	White ash	13									275	230
179	3742	Northwood Rd	Northwood Rd	1	Amur Corktree	6	x							broken top	350	300
180	3745	Northwood Rd	Northwood Rd	1	Tuliptree	7		x		x					45	25
181	3745	Northwood Rd	Northwood Rd	2	Ginkgo	2	x								45	70
182	3746	Northwood Rd	Northwood Rd	1	Pear	21				x					45	25
183	3749	Northwood Rd	Northwood Rd	1	Pin Oak	40		x		x					100	210
184	3750	Northwood Rd	Northwood Rd	1	Honeylocust	19				x					325	378
185	3753	Northwood Rd	Northwood Rd	1	Pin Oak	34				x					140	190
186	3754	Northwood Rd	Northwood Rd	1	Turkish Filbert	8		x		x					300	378
187	3757	Northwood Rd	Northwood Rd	1	Maple	2	x								45	80
188	3758	Northwood Rd	Northwood Rd	1	Red Maple	3	x								45	25
189	3761	Northwood Rd	Northwood Rd	1	Red Maple	3	x								45	25
190	3762	Northwood Rd	Northwood Rd	1	Red Maple	3	x								45	25
191	3765	Northwood Rd	Northwood Rd	1	Silver Maple	21		x		x					125	210
192	3766	Northwood Rd	Northwood Rd	1	Honeylocust	14		x		x					80	140
193	3769	Northwood Rd	Northwood Rd	1	Freeman Maple	3	x								45	25
194	3770	Northwood Rd	Northwood Rd	1	Red Oak	37				x					325	378
195	3773	Northwood Rd	Northwood Rd	1	Zelkova	3	x								45	25
196	3777	Northwood Rd	Northwood Rd	1	Red Maple	2	x								45	25
197	3778	Northwood Rd	Northwood Rd	1	Silver Maple	19						x	x		575	551
198	3781	Northwood Rd	Northwood Rd	1	Silver Maple	29						x	x		1,050	1,131
199	3785	Northwood Rd	Northwood Rd	1	Silver Maple	18						x	x		650	504
200	3785	Northwood Rd	Northwood Rd	2	Silver Maple	26						x	x		600	1,000

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
201	3786	Northwood Rd	Northwood Rd	1	Red Maple	8	x		x							
202	3789	Northwood Rd	Northwood Rd	1	Pin Oak	31	x		x						50	80
203	3790	Northwood Rd	Northwood Rd	1	Red Maple	13	x		x						250	378
204	3790	Northwood Rd	Northwood Rd	2	Japanese Tree lilac	7	x		x						45	130
205	3793	Northwood Rd	Northwood Rd	1	Pin Oak	29	x		x						45	70
206	3793	Northwood Rd	Northwood Rd	2	Pin Oak	36	x		x						250	378
207	3794	Northwood Rd	Northwood Rd	1	Honeylocust	12	x		x						300	378
208	3798	Northwood Rd	Northwood Rd	1	London Planetree	9	x		x						65	120
209	3801	Northwood Rd	Northwood Rd	1	Littleleaf Linden	11	x		x						50	90
210	3802	Northwood Rd	Northwood Rd	1	Freeman Maple	3	x								50	110
211	3805	Northwood Rd	Northwood Rd	1	Amur Corktree	6	x								55	25
212	3806	Northwood Rd	Northwood Rd	1	Littleleaf Linden	22	x		x						55	25
213	3809	Northwood Rd	Northwood Rd	1	Red Maple	6	x								140	220
214	3810	Northwood Rd	Northwood Rd	1	Red Maple	3	x								50	25
215	3813	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								50	25
216	3817	Northwood Rd	Northwood Rd	1	Red Maple	18	x		x						45	25
217	3818	Northwood Rd	Northwood Rd	1	Pear	9	x		x						100	180
218	3821	Northwood Rd	Northwood Rd	1	Littleleaf Linden	12	x		x						65	90
219	3822	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								75	120
220	3825	Northwood Rd	Northwood Rd	1	Honeylocust	23	x		x						45	25
221	3826	Northwood Rd	Northwood Rd	1	Crabapple	4						x	x		200	230
222	3829	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								225	100
223	3830	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								45	25
224	3833	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								45	25
225	3834	Northwood Rd	Northwood Rd	1	Elm	11	x		x						45	25

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Rake	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
226	3837	Northwood Rd	Northwood Rd	1	Hornbeam	3	x									
227	3838	Northwood Rd	Northwood Rd	1	Hornbeam	2	x								45	25
228	3841	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								45	25
229	3842	Northwood Rd	Northwood Rd	1	Crabapple	10		x	x						45	25
230	3842	Northwood Rd	Northwood Rd	2	Crabapple	7		x	x						50	110
231	3845	Northwood Rd	Northwood Rd	1	Norway Maple	17						x	x		50	70
232	3846	Northwood Rd	Northwood Rd	1	Red Maple	9						x	x		300	459
233	3846	Northwood Rd	Northwood Rd	2	Red Maple	16		x	x						250	171
234	3849	Northwood Rd	Northwood Rd	1	Hornbeam	3	x								90	160
235	3853	Northwood Rd	Northwood Rd	1	Red Oak	4	x								45	25
236	3853	Northwood Rd	Northwood Rd	2	Littleleaf Linden	6	x								55	25
237	3854	Northwood Rd	Northwood Rd	1	Red Oak	4	x								45	25
238	3470	Raymont Blvd	Raymont Blvd	1	Silver Maple	19		x	x						50	25
239	3478	Raymont Blvd	Raymont Blvd	1	Silver Maple	18		x	x						175	190
240	3482	Raymont Blvd	Raymont Blvd	1	Honeylocust	11		x	x						125	180
241	3494	Raymont Blvd	Raymont Blvd	1	Hackberry	7	x								125	110
242	3497	Raymont Blvd	Raymont Blvd	1	Silver Maple	19			x						70	70
243	3497	Raymont Blvd	Raymont Blvd	2	Silver Maple	21		x	x						125	190
244	3502	Raymont Blvd	Raymont Blvd	1	Silver Maple	29			x						125	210
245	3505	Raymont Blvd	Raymont Blvd	1	Silver Maple	28						x	x		150	290
246	3534	Raymont Blvd	Raymont Blvd	1	Turkish Filbert	20		x	x	x					1,150	1,064
247	3545	Raymont Blvd	Raymont Blvd	1	Turkish Filbert	9						x	x	removal request	100	200
248	3553	Raymont Blvd	Raymont Blvd	1	Honeylocust	16		x	x						200	171
249	3590	Raymont Blvd	Raymont Blvd	1	Maple	12		x	x	x					100	160
250	3606	Raymont Blvd	Raymont Blvd	1	Silver Maple	28						x	x		60	180
															800	1,064

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
251	3643	Raymont Blvd	Raymont Blvd	1	Siberian Elm	24		x	x						150	240
252	3650	Raymont Blvd	Raymont Blvd	1	Littleleaf Linden	11		x							75	60
253	3658	Raymont Blvd	Raymont Blvd	1	Elm	7		x							60	35
254	2464	S Belvoir Blvd	S Belvoir Blvd	1	Norway Maple	15						x	x	removal request	400	375
255	2337	Saybrook Rd	Saybrook Rd	1	Pin Oak	28		x	x						300	378
256	2371	Saybrook Rd	Saybrook Rd	1	Pin Oak	26		x	x	x					275	378
257	2371	Saybrook Rd	Saybrook Rd	2	Pin Oak	36		x	x						275	378
258	2372	Saybrook Rd	Saybrook Rd	1	Pin Oak	3	x								45	25
259	2375	Saybrook Rd	Saybrook Rd	1	Pin Oak	31		x	x	x					275	378
260	2376	Saybrook Rd	Saybrook Rd	1	Pin Oak	31		x	x	x				hollow	275	378
261	2379	Saybrook Rd	Saybrook Rd	1	Pin Oak	34		x	x	x					300	378
262	2380	Saybrook Rd	Saybrook Rd	1	Pin Oak	31		x	x						325	378
263	2380	Saybrook Rd	Saybrook Rd	2	Pin Oak	33		x	x						325	378
264	2383	Saybrook Rd	Saybrook Rd	1	Pin Oak	23		x	x						250	378
265	2392	Saybrook Rd	Saybrook Rd	1	Pin Oak	33		x	x						325	378
266	2393	Saybrook Rd	Saybrook Rd	1	Pin Oak	25		x	x						275	378
267	2394	Saybrook Rd	Saybrook Rd	1	Pin Oak	33		x	x						325	378
268	2395	Saybrook Rd	Saybrook Rd	1	Pin Oak	32		x	x	x					325	378
269	2396	Saybrook Rd	Saybrook Rd	1	Pin Oak	29		x	x						325	378
270	2399	Saybrook Rd	Saybrook Rd	1	Pin Oak	36		x	x	x				lots of lower dead	325	378
271	2400	Saybrook Rd	Saybrook Rd	1	Norway Maple	13		x	x						125	130
272	2403	Saybrook Rd	Saybrook Rd	1	Pin Oak	35		x	x						300	378
273	2404	Saybrook Rd	Saybrook Rd	1	Pin Oak	34		x	x						325	378
274	2407	Saybrook Rd	Saybrook Rd	1	Pin Oak	26		x	x						250	378
275	2411	Saybrook Rd	Saybrook Rd	1	Littleleaf Linden	19		x	x						150	190

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
276	2416	Saybrook Rd	Saybrook Rd	1	Honeylocust	13		x		x					70	130
277	2416	Saybrook Rd	Saybrook Rd	2	Pin Oak	24		x		x					175	378
278	2423	Saybrook Rd	Saybrook Rd	1	Hedge maple	13		x		x					100	130
279	2345	Traymore Rd	Saybrook Rd	1	Littleleaf Linden	29		x		x					150	290
280	2292	Scholl Rd	Scholl Rd	1	Pin Oak	32		x		x					275	378
281	2295	Scholl Rd	Scholl Rd	1	Pin Oak	29				x					275	378
282	2299	Scholl Rd	Scholl Rd	1	Pin Oak	38				x					325	378
283	2311	Scholl Rd	Scholl Rd	1	Pin Oak	40		x		x					325	378
284	2323	Scholl Rd	Scholl Rd	1	Pin Oak	36		x		x					325	378
285	2331	Scholl Rd	Scholl Rd	1	Elm	7	x								45	25
286	2335	Scholl Rd	Scholl Rd	1	Littleleaf Linden	27		x		x					175	270
287	3618	Silsby Rd	Scholl Rd	1	Norway Maple	18		x		x					75	180
288	3630	Silsby Rd	Scholl Rd	1	Silver Maple	41		x		x					225	410
289	3614	Silsby Rd	Silsby Rd	1	Pin Oak	45				x	x				350	378
290	3617	Silsby Rd	Silsby Rd	1	Elm	7		x		x					45	70
291	3617	Silsby Rd	Silsby Rd	1	Elm	12		x		x					60	120
292	3618	Silsby Rd	Silsby Rd	1	Freeman Maple	4	x	x							45	65
293	3621	Silsby Rd	Silsby Rd	1	Elm	9		x		x					60	90
294	3621	Silsby Rd	Silsby Rd	1	Elm	9		x		x					60	90
295	3625	Silsby Rd	Silsby Rd	1	Elm	12		x		x					60	120
296	3630	Silsby Rd	Silsby Rd	1	Stump	12							x		150	120
297	3637	Silsby Rd	Silsby Rd	1	Honeylocust	15		x		x					85	150
298	3642	Silsby Rd	Silsby Rd	1	Norway Maple	21						x	x		600	651
299	3646	Silsby Rd	Silsby Rd	1	Pin Oak	34				x					250	378
300	3650	Silsby Rd	Silsby Rd	1	Pin Oak	29				x					275	378

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
301	3661	Silsby Rd	Silsby Rd	1	Elm	8		x								
302	3662	Silsby Rd	Silsby Rd	1	Freeman Maple	3	x	x							45	40
303	3665	Silsby Rd	Silsby Rd	1	Swamp oak	11		x							45	45
304	3665	Silsby Rd	Silsby Rd	2	Swamp oak	9		x	x						45	65
305	3670	Silsby Rd	Silsby Rd	1	Red Maple	13		x		x					50	150
306	3674	Silsby Rd	Silsby Rd	1	Littleleaf Linden	14		x		x					65	130
307	3681	Silsby Rd	Silsby Rd	1	Siberian Elm	23						x	x		50	140
308	3681	Silsby Rd	Silsby Rd	2	Siberian Elm	23						x	x		650	759
309	3705	Silsby Rd	Silsby Rd	1	Pear	21		x		x					60	210
310	3714	Silsby Rd	Silsby Rd	1	Pin Oak	30		x		x					275	378
311	3730	Silsby Rd	Silsby Rd	1	Pin Oak	45		x		x	x				350	378
312	3733	Silsby Rd	Silsby Rd	1	Honeylocust	15		x		x					100	150
313	3746	Silsby Rd	Silsby Rd	1	Pin Oak	43				x					325	378
314	3758	Silsby Rd	Silsby Rd	1	Pin Oak	37				x					325	378
315	3766	Silsby Rd	Silsby Rd	1	Pin Oak	31		x		x					325	378
316	3770	Silsby Rd	Silsby Rd	1	Red Maple	23				x					125	230
317	3790	Silsby Rd	Silsby Rd	1	Crabapple	7						x	x		225	119
318	3797	Silsby Rd	Silsby Rd	1	Norway Maple	10						x	x		225	200
319	3814	Silsby Rd	Silsby Rd	1	Stump	14							x		70	140
320	3822	Silsby Rd	Silsby Rd	1	Turkish Filbert	2						x	x		85	100
321	3826	Silsby Rd	Silsby Rd	1	Honeylocust	26		x		x					130	260
322	3838	Silsby Rd	Silsby Rd	1	Stump	12							x		80	120
323	3841	Silsby Rd	Silsby Rd	1	Red Maple	4						x	x		100	100
324	3850	Silsby Rd	Silsby Rd	1	Stump	11							x		80	110
325	3870	Silsby Rd	Silsby Rd	1	Red Maple	13		x							65	75

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Rake	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
326	3886	Silsby Rd	Silsby Rd	1	Norway Maple	2						x				
327	3902	Silsby Rd	Silsby Rd	1	Swamp oak	4	x	x							45	100
328	3914	Silsby Rd	Silsby Rd	1	Siberian Elm	36						x	x		45	60
329	3918	Silsby Rd	Silsby Rd	1	Littleleaf Linden	15						x	x		1,600	1,656
330	3934	Silsby Rd	Silsby Rd	1	Honeylocust	17									300	375
331	3938	Washington Blvd	Silsby Rd	1	Honeylocust	18		x		x					100	170
332	2627	Fenwick Rd	Traymore Rd	1	Stump	18									150	180
333	2353	Traymore Rd	Traymore Rd	1	Norway Maple	18							x	stump request	150	180
334	2366	Traymore Rd	Traymore Rd	1	Pin Oak	33						x	x		425	504
335	2384	Traymore Rd	Traymore Rd	1	Pin Oak	33									325	378
336	2387	Traymore Rd	Traymore Rd	1	Swamp oak	8	x	x	x						65	120
337	2387	Traymore Rd	Traymore Rd	1	Red Maple	11		x							45	55
338	2387	Traymore Rd	Traymore Rd	2	Norway Maple	9		x							40	45
339	2391	Traymore Rd	Traymore Rd	1	Pin Oak	16		x		x					125	160
340	2393	Traymore Rd	Traymore Rd	1	Pin Oak	48		x		x					375	378
341	2396	Traymore Rd	Traymore Rd	1	Crabapple	14		x		x					50	140
342	2397	Traymore Rd	Traymore Rd	1	Pin Oak	52		x		x					375	378
343	2407	Traymore Rd	Traymore Rd	1	Pin Oak	39		x		x					350	378
344	2416	Traymore Rd	Traymore Rd	1	Red Maple	16		x		x					70	160
345	2421	Traymore Rd	Traymore Rd	1	Red Maple	17		x		x					80	170
346	2424	Traymore Rd	Traymore Rd	1	Littleleaf Linden	13		x		x					70	130
347	2425	Traymore Rd	Traymore Rd	1	Silver Linden	7		x							55	35
348	2219	Jackson Blvd	Tullamore Rd	1	Silver Maple	27		x		x					200	270
349	2219	Jackson Blvd	Tullamore Rd	2	Elm	6	x								50	25
350	2227	Jackson Blvd	Tullamore Rd	1	Silver Maple	22		x		x					170	220
350	2243	S Taylor Rd	Tullamore Rd	1	Red Maple	9		x							50	45

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Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Rake	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
351	2243	S Taylor Rd	Tullamore Rd	1	Pear	2	x									
352	2247	S Taylor Rd	Tullamore Rd	1	Pear	2	x								45	25
353	3469	Tullamore Rd	Tullamore Rd	1	Elm	7		x		x					45	25
354	3470	Tullamore Rd	Tullamore Rd	1	Pear	2	x								45	70
355	3473	Tullamore Rd	Tullamore Rd	1	Pear	2	x								40	25
356	3474	Tullamore Rd	Tullamore Rd	1	Pear	2	x								40	25
357	3477	Tullamore Rd	Tullamore Rd	1	River Birch	13		x							40	25
358	3478	Tullamore Rd	Tullamore Rd	1	Silver Maple	28				x					60	75
359	3481	Tullamore Rd	Tullamore Rd	1	Japanese Tree lilac	5	x								180	280
360	3482	Tullamore Rd	Tullamore Rd	1	Ash	11		x		x				still looks good	45	25
361	3485	Tullamore Rd	Tullamore Rd	1	Freeman Maple	2	x								40	110
362	3486	Tullamore Rd	Tullamore Rd	1	Freeman Maple	2	x								40	25
363	3489	Tullamore Rd	Tullamore Rd	1	Silver Maple	20		x		x				girdling roots	45	25
364	3490	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								125	200
365	3493	Tullamore Rd	Tullamore Rd	1	Elm	12		x		x					40	120
366	3494	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								45	25
367	3497	Tullamore Rd	Tullamore Rd	1	Elm	6	x								45	25
368	3498	Tullamore Rd	Tullamore Rd	1	Turkish Filbert	6	x								45	25
369	3498	Tullamore Rd	Tullamore Rd	1	Turkish Filbert	6	x								45	25
370	3502	Tullamore Rd	Tullamore Rd	1	Littleleaf Linden	11		x		x					60	110
371	3505	Tullamore Rd	Tullamore Rd	1	Silver Maple	16						x	x		300	416
372	3506	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
373	3509	Tullamore Rd	Tullamore Rd	1	Japanese Tree lilac	3	x								45	25
374	3509	Tullamore Rd	Tullamore Rd	2	Japanese Tree lilac	3	x								45	25
375	3510	Tullamore Rd	Tullamore Rd	1	Freeman Maple	2							x		60	100

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
376	3511	Tullamore Rd	Tullamore Rd	1	Maple	2	x									
377	3514	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
378	3515	Tullamore Rd	Tullamore Rd	1	Silver Maple	30		x		x					45	25
379	3522	Tullamore Rd	Tullamore Rd	1	Red Oak	12		x							210	300
380	3524	Tullamore Rd	Tullamore Rd	1	Freeman Maple	2	x								60	60
381	3545	Tullamore Rd	Tullamore Rd	1	Littleleaf Linden	22		x		x					45	25
382	3553	Tullamore Rd	Tullamore Rd	1	Honeylocust	2	x								140	220
383	3557	Tullamore Rd	Tullamore Rd	1	Honeylocust	20		x		x					45	25
384	3562	Tullamore Rd	Tullamore Rd	1	Elm	9		x		x					140	200
385	3565	Tullamore Rd	Tullamore Rd	1	Pear	13						x	x		60	90
386	3569	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								250	300
387	3570	Tullamore Rd	Tullamore Rd	1	Pear	22						x	x		45	25
388	3573	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								400	704
389	3574	Tullamore Rd	Tullamore Rd	1	Pin Oak	19		x		x					45	25
390	3577	Tullamore Rd	Tullamore Rd	1	Silver Maple	50						x	x	Root Problems	140	190
391	3578	Tullamore Rd	Tullamore Rd	1	Pear	7	x								1,400	3,500
392	3581	Tullamore Rd	Tullamore Rd	1	Silver Maple	26						x	x		45	35
393	3581	Tullamore Rd	Tullamore Rd	2	Tuliptree	27				x					900	1,000
394	3582	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								160	270
395	3585	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								45	25
396	3586	Tullamore Rd	Tullamore Rd	1	elm	7		x							45	25
397	3589	Tullamore Rd	Tullamore Rd	1	Littleleaf Linden	9		x		x					50	35
398	3590	Tullamore Rd	Tullamore Rd	1	Freeman Maple	4	x								75	90
399	3593	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								50	25
400	3594	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
															45	25

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
401	3597	Tullamore Rd	Tullamore Rd	1	Silver Maple	33						x	x			
402	3598	Tullamore Rd	Tullamore Rd	1	Freeman Maple	5	x								1,200	1,419
403	3601	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								45	25
404	3602	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
405	3605	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
406	3606	Tullamore Rd	Tullamore Rd	1	elm	12	x		x						45	25
407	3609	Tullamore Rd	Tullamore Rd	1	Norway Maple	7	x								75	120
408	3610	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								45	25
409	3613	Tullamore Rd	Tullamore Rd	1	Littleleaf Linden	17	x			x	x				45	25
410	3617	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								75	170
411	3618	Tullamore Rd	Tullamore Rd	1	Silver Maple	22						x	x		45	25
412	3621	Tullamore Rd	Tullamore Rd	1	Hackberry	7	x								700	704
413	3621	Tullamore Rd	Tullamore Rd	2	Hackberry	8	x								50	35
414	3622	Tullamore Rd	Tullamore Rd	1	Hackberry	7	x		x						50	40
415	3625	Tullamore Rd	Tullamore Rd	1	Norway Maple	9	x								55	70
416	3626	Tullamore Rd	Tullamore Rd	1	Norway Maple	9	x							girdling roots	45	45
417	3629	Tullamore Rd	Tullamore Rd	1	Freeman Maple	3	x								45	25
418	3630	Tullamore Rd	Tullamore Rd	1	Honeylocust	3	x								45	25
419	3633	Tullamore Rd	Tullamore Rd	1	Freeman Maple	6	x								50	35
420	3634	Tullamore Rd	Tullamore Rd	1	Silver Maple	30				x					200	300
421	2616	University Blvd	Universit Blvd	1	Silver Maple	26						x	x	removal request	1,100	936
422	2175	Vernon Rd	Vernon Rd	1	Pin Oak	46	x		x	x					400	378
423	3580	Washington Blvd	Washington Blvd	1	Norway Maple	20						x	x		525	400
424	3635	Washington Blvd	Washington Blvd	1	Silver Maple	32						x	x		850	1,344
425	3653	Washington Blvd	Washington Blvd	1	Silver Maple	20	x		x						150	200

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Relig	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
426	3653	Washington Blvd	Washington Blvd	2	Silver Maple	21						x	x			
427	3659	Washington Blvd	Washington Blvd	1	Silver Maple	26	x		x						585	651
428	3665	Washington Blvd	Washington Blvd	1	Red Maple	21	x		x						200	260
429	3673	Washington Blvd	Washington Blvd	1	Norway Maple	17				x					125	210
430	3686	Washington Blvd	Washington Blvd	1	Norway Maple	11	x		x						100	170
431	3697	Washington Blvd	Washington Blvd	1	Silver Maple	32	x		x						65	110
432	3697	Washington Blvd	Washington Blvd	2	Silver Maple	15				x					240	320
433	3710	Washington Blvd	Washington Blvd	1	Silver Maple	35	x		x						70	150
434	3724	Washington Blvd	Washington Blvd	1	Norway Maple	15						x	x		300	350
435	3724	Washington Blvd	Washington Blvd	2	Littleleaf Linden	18	x		x						450	375
436	3724	Washington Blvd	Washington Blvd	3	Littleleaf Linden	16						x	x		80	180
437	3769	Washington Blvd	Washington Blvd	1	Pin Oak	28	x		x						475	416
438	3785	Washington Blvd	Washington Blvd	1	Norway Maple	15						x	x		300	378
439	3854	Washington Blvd	Washington Blvd	1	Pin Oak	15	x		x						475	375
440	3854	Washington Blvd	Washington Blvd	2	Pin Oak	18	x		x						200	350
441	3878	Washington Blvd	Washington Blvd	1	Norway Maple	19						x	x		225	350
442	3934	Washington Blvd	Washington Blvd	1	Norway Maple	17						x	x		475	551
443	14381	Washington Blvd	Washington Blvd	34			x		x					prune request	425	459
444	3789	Westwood Rd	Westwood Rd	1	Norway Maple	11						x	x		275	378
445	3817	Westwood Rd	Westwood Rd	1	Turkish Filbert	7						x	x		325	231
446	2428	White Rd	White Rd	1	Norway Maple	12						x	x	stump request	200	119
447	3934	Washington Blvd	Washington Blvd	1	Norway Maple	17						x	x		350	264
448	14381	Washington Blvd	Washington Blvd	34			x		x					prune request	350	459
449	3789	Westwood Rd	Westwood Rd	1	Norway Maple	11						x	x		300	378
450	3817	Westwood Rd	Westwood Rd	1	Turkish Filbert	7						x	x		450	231
												x	x		225	119

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Train	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
451	2428	White Rd	White Rd	1	Norway Maple	12						x	x	stump request		
452	14462	Washington Blvd	Whiton Rd	1	English Oak	17		x		x					300	264
453	14462	Washington Blvd	Whiton Rd	2	Silver Linden	6		x							150	170
454	14462	Washington Blvd	Whiton Rd	3	Littleleaf Linden	11						x	x		50	25
455	2610	Whiton Rd	Whiton Rd	1	Honeylocust	21		x		x					250	231
456	2614	Whiton Rd	Whiton Rd	1	Pear	14		x		x					175	210
457	2620	Whiton Rd	Whiton Rd	1	Honeylocust	16		x		x					80	140
458	2624	Whiton Rd	Whiton Rd	1	Littleleaf Linden	17		x		x					125	160
459	2627	Whiton Rd	Whiton Rd	1	Shingle Oak	6						x	x	root problems	175	170
460	2627	Whiton Rd	Whiton Rd	2	Amur Maple	3	x								250	100
461	2627	Whiton Rd	Whiton Rd	3	Oak	16		x		x					45	25
462	2628	Whiton Rd	Whiton Rd	1	White ash	11		x		x					70	160
463	2628	Whiton Rd	Whiton Rd	2	Silver Maple	21						x	x		80	110
464	2632	Whiton Rd	Whiton Rd	1	Silver Maple	14		x		x					600	651
465	2635	Whiton Rd	Whiton Rd	1	Freeman Maple	12		x							70	140
466	2635	Whiton Rd	Whiton Rd	2	Freeman Maple	10		x							80	120
467	2636	Whiton Rd	Whiton Rd	1	Pear	10		x		x					70	50
468	2640	Whiton Rd	Whiton Rd	1	Paperbark Maple	2	x								60	100
469	2644	Whiton Rd	Whiton Rd	1	Pear	15		x		x					45	25
470	2645	Whiton Rd	Whiton Rd	1	Honeylocust	16		x		x					85	150
															100	160

University Heights 2022 Maintenance List

Item No.	ADDRESS	STREET	ON STREET	SITE	SPECIES	DBH	Trim	Raise	Reduce	Clean	Inspect	Remove	Stump	DETAILS & NOTES	BID \$/ UNIT VanCuren Services	BID \$/ UNIT Parks Tree Inc.
471	2648	Whiton Rd	Whiton Rd	1	Pin Oak	15		X		X				cul-de-sac island	125	200
472		Additional Stump				0"-20"								Bid for each additional stump	160	
473		Additional Stump				20"+								Bid for each additional stump	320	
														Submitted Bid Total	105,180	129,903
														Adjusted Total Bid:	\$105,785	\$129,900
														Bidder:		
														Name:		
														Address:		
														City:		
														Phone No.:		



CITY OF UNIVERSITY HEIGHTS
SERVICE DEPARTMENT
MEMORANDUM

To: City Council
Mayor Michael Dylan Brennan

From: Jeffrey Pokorny, Service Director

Date: October 7, 2022

Re: Bid Tabulation and Recommendation of Award for the 2022-2 Fall Tree Planting Contract

Bids for the 2022 Fall Tree Planting were opened Friday October 7, 2022. Attached please find the bid tabulation of results.

There were two bids received as follows:

Parks Tree, Inc. of Eastlake, Ohio bid \$ 27,337.

Johnson's Landscaping, Inc. of Mentor, Ohio bid \$ 17,520.

Johnson's Landscaping, Inc. has professionally performed previous tree planting projects for the City of University Heights and I recommend award of the 2022-2 Fall Tree Planting Contract to Johnson's Landscaping, Inc. of Mentor as the lowest and best bid.

Funds for this program are available in the Shade Tree Maintenance Fund 202-1450-55340.

Should you require any additional information please contact me.

Cc: Dennis Kennedy, Finance Director



CITY OF UNIVERSITY HEIGHTS
2022-2 CITY WIDE FALL TREE PLANTING

2022-2 City Wide Fall Tree Planting Project - BID Tabulation

Item No.	ADDRESS	STREET	SIDE	SITE	SPECIES	DETAILS & NOTES	BID AMOUNT (\$) Johnson's Landscaping, Inc.	BID AMOUNT (\$) Parks Tree Inc.
1	4072	Conover Rd.	F	1	Gleditsia tricanthos 'Draves'- Streetkeeper Honey Locust	Along Gesu parking lot before the stop sign	365	536
2	4072	Conover Rd.	F	2	Gleditsia tricanthos 'Draves'- Streetkeeper Honey Locust	Along Gesu parking lot before the stop sign	365	536
3	2315	Glendon Rd.	F	1	Quercus Palustris- Pin Oak	Request	365	592
4	2343	Glendon Rd.	F	1	Acer Franksred- Red Sunset Maple	Request	365	500
5	2514	Rubyvale Dr.	F	1	Acer Franksred- Red Sunset Maple	Request	365	500
6	14424	East Carroll Blvd.	S	1	Acer Franksred- Red Sunset Maple	F-1 On Laurelhurst (Replacement)	365	500
7	4325	Groveland Rd.	F	1	Acer Franksred- Red Sunset Maple	(Replacement)	365	500
8	4503	Groveland Rd.	F	1	Acer Franksred- Red Sunset Maple	(Replacement)	365	500
9	4521	University Pkwy.	S	3	Acre rubrum- Burgandy Belle Maple	S-3 on South Green Rd.	365	600
10	2203	South Green Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
11	3638	Raymont Blvd.	F	1	Liriodendron Tulipifera- Tulip	(Replacement)	365	610
12	2179	Jackson Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
13	3750	Silsby Rd.	F	1	Acre rubrum- Burgandy Belle Maple	Request	365	600
14	3790	Silsby Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
15	3822	Silsby Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
16	3841	Silsby Rd.	F	1	Malus- Prairifire Crabapple	Request - "EXISTING TREE"	365	592
17	3886	Silsby Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592



CITY OF UNIVERSITY HEIGHTS
2022-2 CITY WIDE FALL TREE PLANTING

2022-2 City Wide Fall Tree Planting Project - BID Tabulation

Item No.	ADDRESS	STREET	SIDE	SITE	SPECIES	DETAILS & NOTES	BID AMOUNT (\$) Johnson's Landscaping, Inc.	BID AMOUNT (\$) Parks Tree Inc.
18	3890	Silsby Rd.	F	1	Corylus colurna- Turkish Filbert	Request - "EXISTING TREE"	365	680
19	4330	Silsby Rd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
20	2328	Scholl Rd.	F	1	Acer miyabei - State Street Maple	(Replacement)	365	610
21	3917	Faversham Rd.	F	1	Acer miyabei - State Street Maple	(Replacement)	365	610
22	2370	Charney Rd.	F	1	Burgundy Hearts Redbud Cercis canadensis 'Greswan'	Request	365	553
23	2370	Charney Rd.	F	1	Burgundy Hearts Redbud Cercis canadensis 'Greswan'	Request	365	553
24	2591	Charney Rd.	F	1	Liriodendron Tulipifera- Tulip	Request	365	597
25	3869	Tyndall Rd.	F	1	Acre rubrum- Burgandy Belle Maple	Request	365	600
26	3914	Tyndall Rd.	F	1	Acer Franksred- Red Sunset Maple	Request	365	500
27	3834	Bushnell Rd.	F	2	Malus- Prairifire Crabapple	(Replacement)	365	592
28	4038	Bushnell Rd.	F	1	Tilia tomentosa - 'Sterling Silver Linden'	(Replacement)	365	540
29	4070	Bushnell Rd.	F	1	Tilia tomentosa - 'Sterling Silver Linden'	(Replacement)	365	540
30	4157	Bushnell Rd.	F	3	Tilia tomentosa - 'Sterling Silver Linden'	(Replacement)	365	540
31	4052	Meadowbrook Blvd.	F	1	Quercus Palustris- Pin Oak	(Replacement)	365	592
32	4110	Meadowbrook Blvd.	F	1	Acre rubrum- Burgandy Belle Maple	(Replacement)	365	600
33	4110	Meadowbrook Blvd.	F	3	Acre rubrum- Burgandy Belle Maple	(Replacement)	365	600



CITY OF UNIVERSITY HEIGHTS
2022-2 CITY WIDE FALL TREE PLANTING

2022-2 City Wide Fall Tree Planting Project - BID Tabulation

Item No.	ADDRESS	STREET	SIDE	SITE	SPECIES	DETAILS & NOTES	BID AMOUNT (\$) Johnson's Landscaping, Inc.	BID AMOUNT (\$) Parks Tree Inc.
34	3630	Northcliffe Rd.	F	2	Gleditsia tricanthos 'Draves'- Streetkeeper Honey Locust	(Replacement)	365	536
35	2220	S. Belvoir Blvd	F	1	Acer miyabei - State Street Maple	Request	365	610
36	2171	S. Belvoir Blvd	F	1	Tilia Tomentosa - 'Sterling Silver Linden'	(Replacement)	365	540
37	4013	Washington Blvd	F	1	Tilia Tomentosa - 'Sterling Silver Linden'	(Replacement)	365	540
38	2648	Eaton Rd.	F	1	Acer Franksred- Red Sunset Maple	(Replacement)	365	500
39	2475	Channing Rd.	F	1	Acre rubrum- Burgandy Belle Maple	(Replacement)	365	600
40	2452	Charney Rd.	F	1	Acer Franksred- Red Sunset Maple	(Replacement)	365	500
41	3813	Hillbrook Rd.	F	1	Acer miyabei - State Street Maple	(Replacement)	365	610
42	3866	Faversham Rd.	F	1	Acer Franksred- Red Sunset Maple	(Replacement)	365	500
43	2179	Cranston Rd.	F	1	Acer miyabei - State Street Maple	(Replacement)	365	610
44	2643	Warrensville Center Rd.	F	1	Gleditsia tricanthos 'Draves'- Streetkeeper Honey Locust	(Replacement)	365	536
45	2292	Ashurst Rd.	F	1	Acer miyabei - State Street Maple	(Replacement)	365	610
46		Community Park			Corylus colurna- Turkish Filbert		365	680
47		Community Park			Tilia Tomentosa - 'Sterling Silver Linden'		365	540
48		Community Park			Acre rubrum- Burgandy Belle Maple		365	600
CONTRACT TOTAL BID AMOUNT:							\$17,520	\$27,337

Bidder: _____
 Name: _____
 Address: _____
 City: _____
 Phone No.: _____