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MEMORANDUM

To: Honorable Michael D. Brennan, Mayor

2022003.01

From: Joseph R. Ciuni, P.E., P.S.
City Engineer

Reference: Planning Commission May 12, 2022

We have reviewed the application for 2325 Milton Road for Planning Commission Meeting on May 12, 2022, and we recommend approval by the Commission.

We also offer the following comments to be resolved before a final permit can be issued:

1. The applicant must submit a house topo site plan prepared by an Ohio Registered Surveyor showing the footprint of the house, the setbacks, the grades, the utility connections and the Storm Water Pollution Protection for erosion control during construction.
2. Cleveland Water Dept. must review and approve the water connection to the new home.



TO: Mayor Brennan and Members of City Council
FROM: Kelly M. Thomas, Clerk of Council
DATE: May 13, 2022
RE: Planning Commission Decision

At its regular meeting held on Thursday, May 12, 2022, the Planning Commission made the following motions to be approved by City Council.

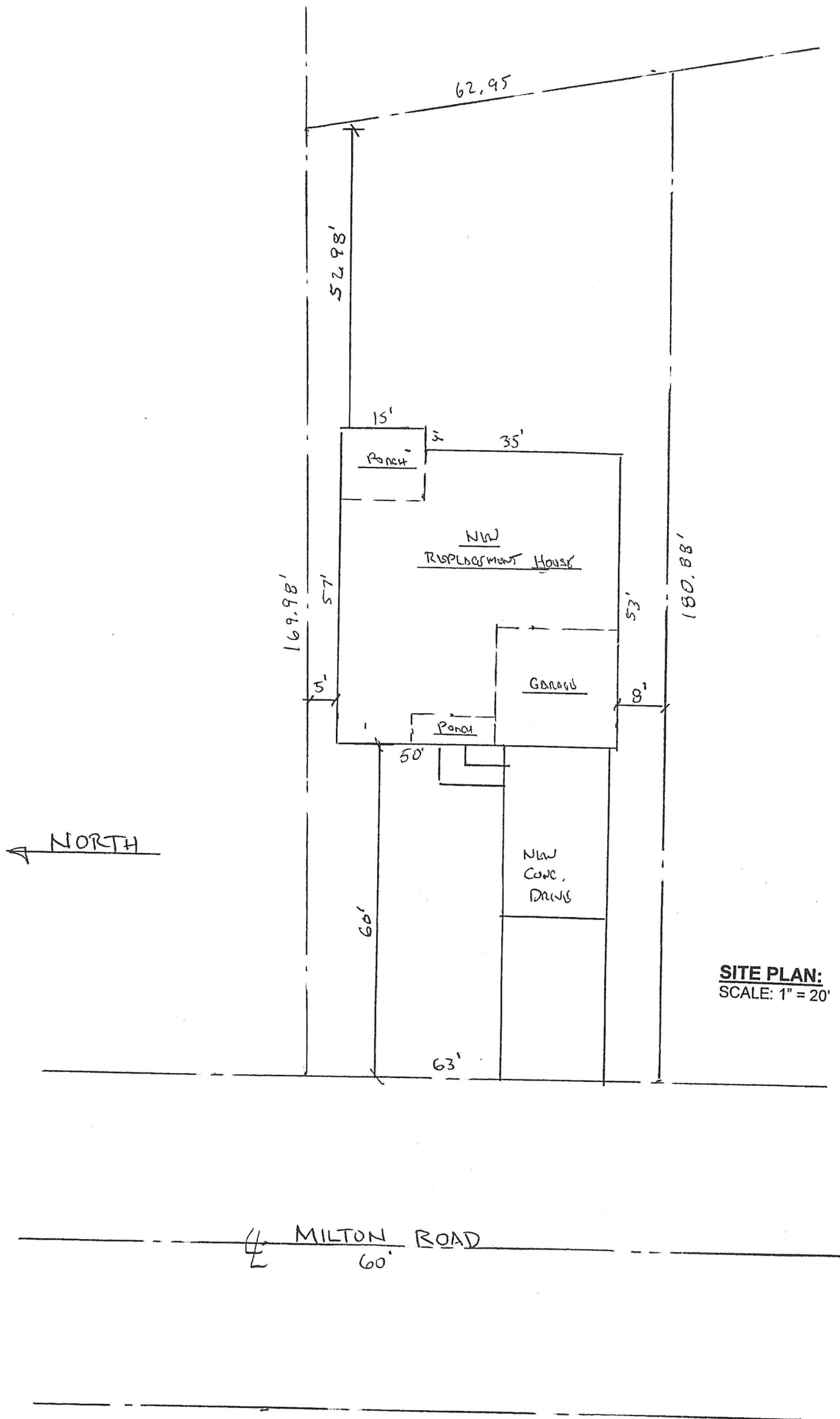
A. Application from Chaim & Penina Kazen for the Demolition of 2325 Milton for new house build.

Mr. Rach noted that the plans show an additional kitchen on the lower level and that it would require a Variance.

Mr. Rach also requested that the applicant brings with them pictures showing all four sides of the existing house, site plan showing the existing footprint of the home and with the proposed new home over top of that in order to make sure that the new house fits within the context of the neighborhood and that it has a similar footprint of the house being demolished.

MOTION BY MAYOR BRENNAN, SECONDED BY MR. REICHEK to Recommend to City Council approval of the demolition of 2325 Milton Road for a new house build, contingent the following: applicant enter into a development agreement with the city that includes a bonding requirement; applicant holds a pre-demolition and pre-construction meetings with the surrounding neighbors; applicant agrees to pays engineering fees that are inquired by the city in relations to this project and that the project is completed within one year of obtaining the demolition permit. Applicant is to also to submit house “topo” site plan that is prepared by an Ohio Registered Surveyor showing the footprint of the house including setbacks, grades, utility connections and Storm Water Pollution Protection for erosion control during construction. All water connections must be reviewed and approved by Cleveland Water Department. On roll call, all voted “aye.”

MOTION BY MR. RACH, SECONDED BY MAYOR BRENNAN that the Planning Commission Recommendation is further contingent upon the approval of a Variance by the Board of Zoning Appeals for a second kitchen on the lower level. On roll call, all voted “aye.”



LAND COVERAGE:

EXISTING LAND AREA: 10,912 SQ.FT.

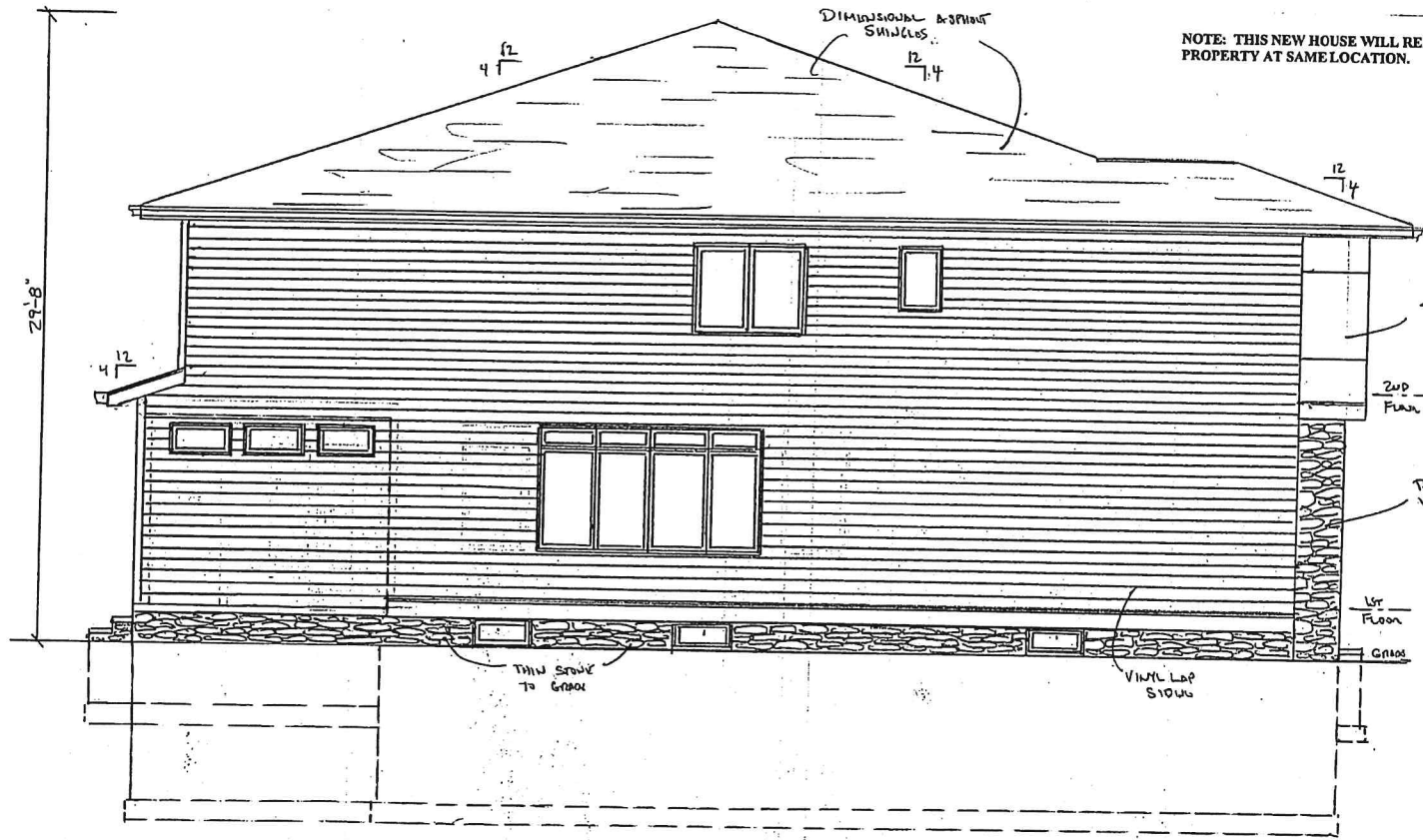
NEW REPLACEMENT BUILDING AREA: 2,710 SQ.FT.

BUILDING LAND COVERAGE: 2,710 S.F./10,912 S.F. = 24.85 SQ.FT.

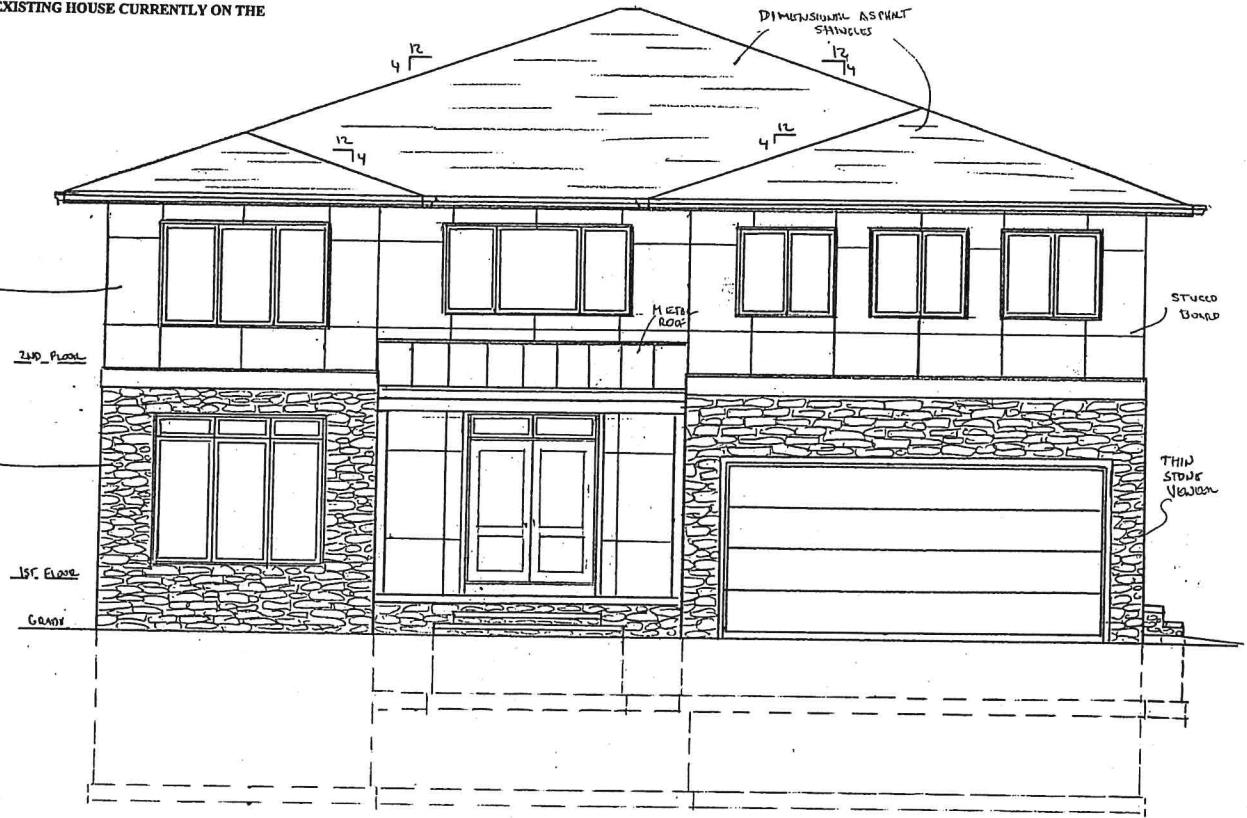
NOTE: THIS SITE PLAN IS ONLY FOR ABR REVIEW ONLY, A FINAL SITE PLAN WILL BE SUBMITTED BY POLARIS ENGINEERING FOR PERMIT AND ENGINEERING REVIEW.

PRELIMINARY SITE PLAN
FOR THE
KAZEN RESIDENCE
2325 MILTON ROAD
UNIVERSITY HEIGHTS, OHIO
3/28/2022
DESIGNED BY
JOSEPH E. CALDERWOOD, DESIGNER
440-429-5164

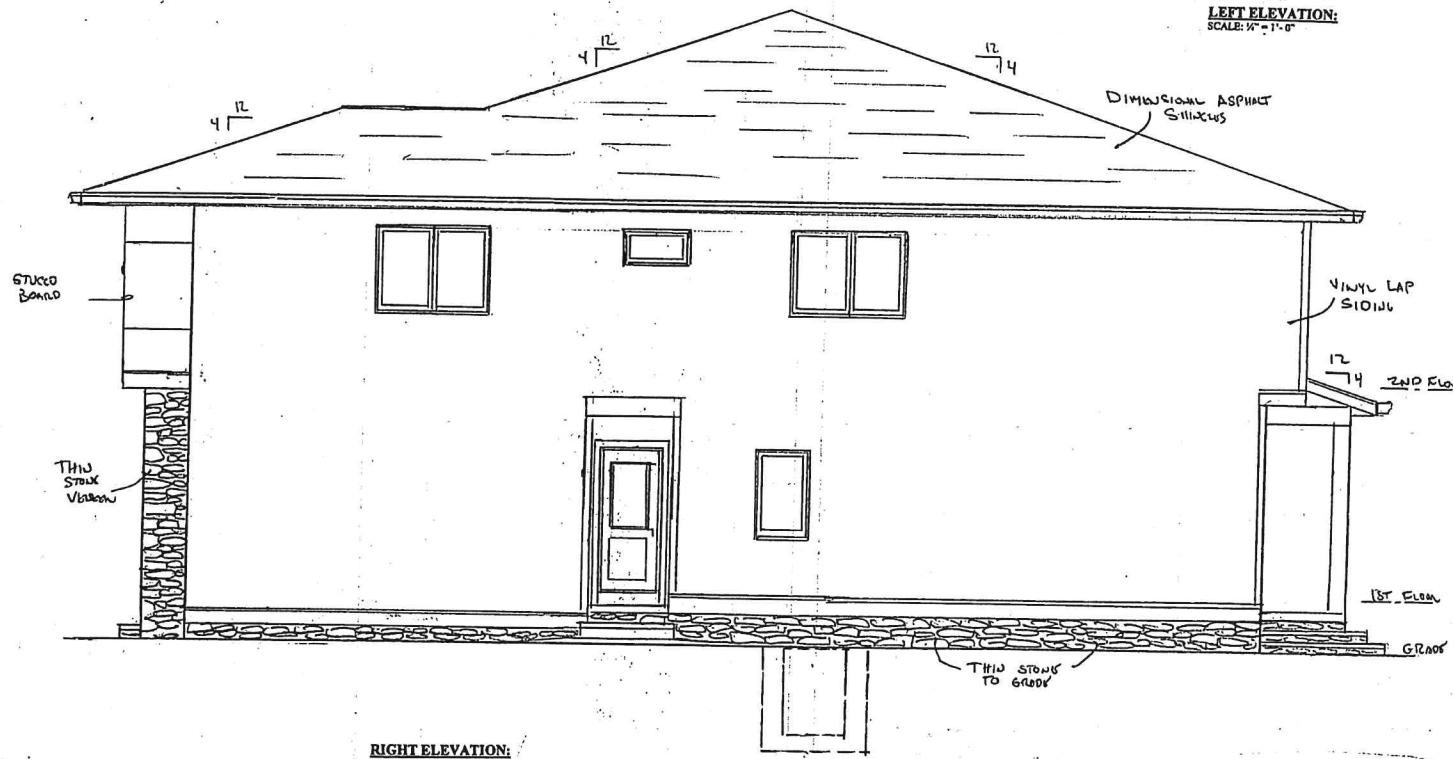
NOTE: THIS NEW HOUSE WILL REPLACE THE EXISTING HOUSE CURRENTLY ON THE PROPERTY AT SAME LOCATION.



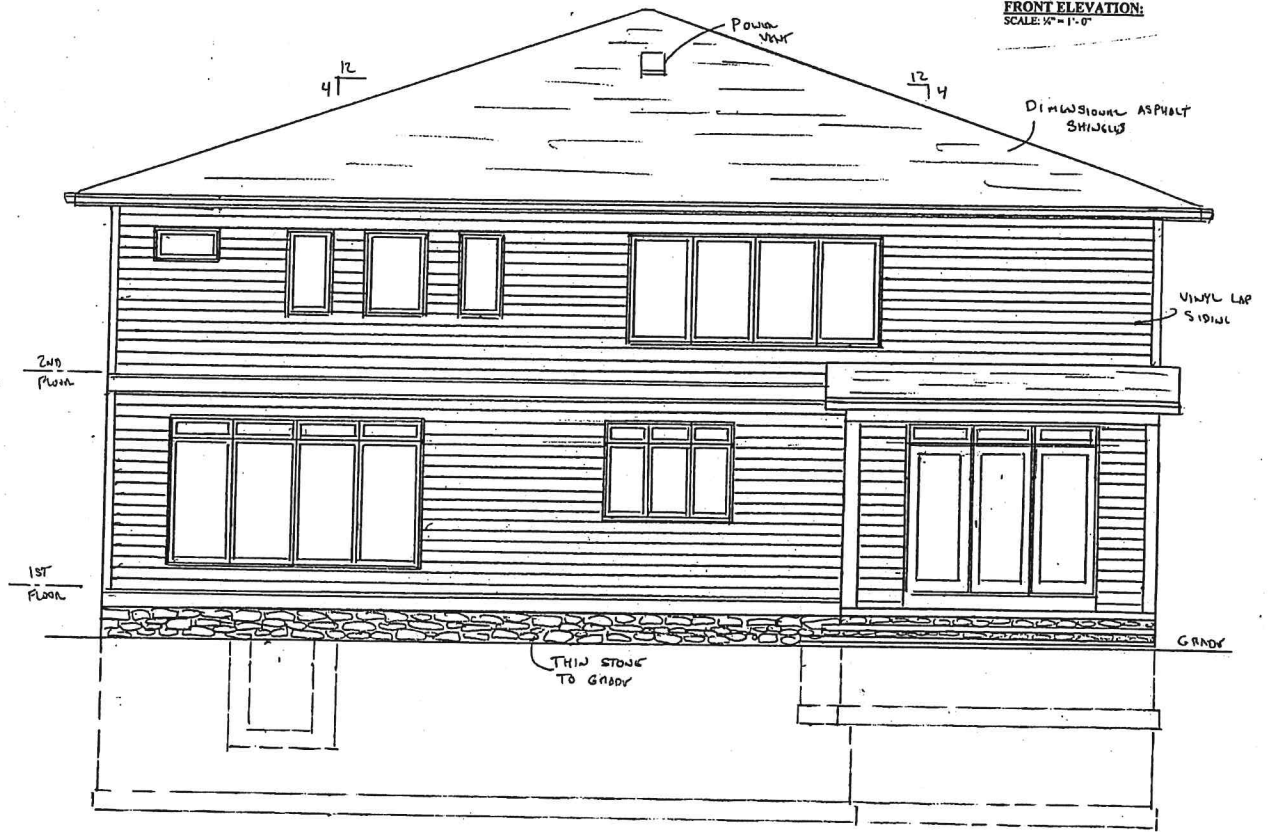
LEFT ELEVATION:
SCALE: 1/4" = 1'-0"



FRONT ELEVATION:
SCALE: 1/4" = 1'-0"



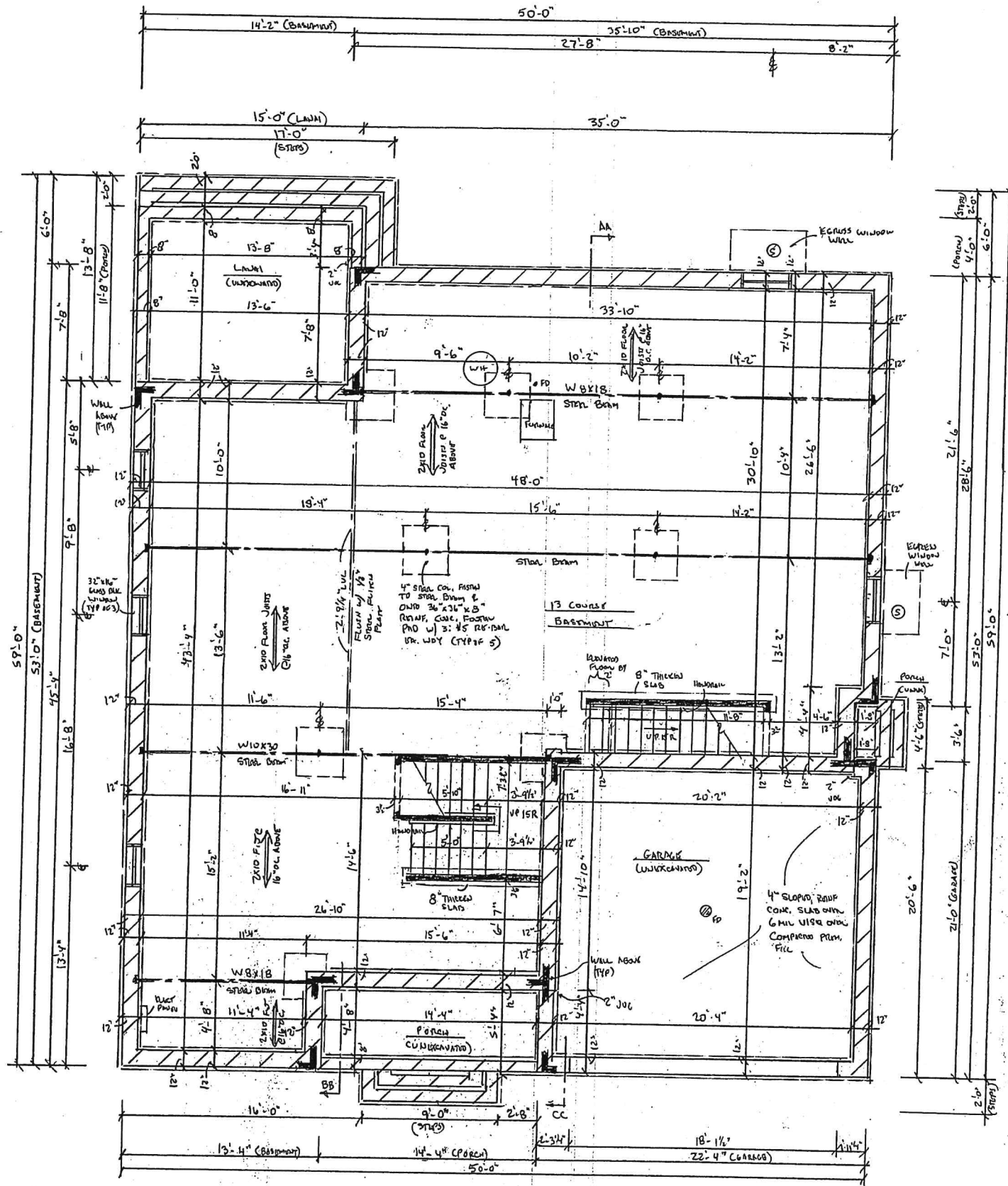
RIGHT ELEVATION:
SCALE: 1/4" = 1'-0"



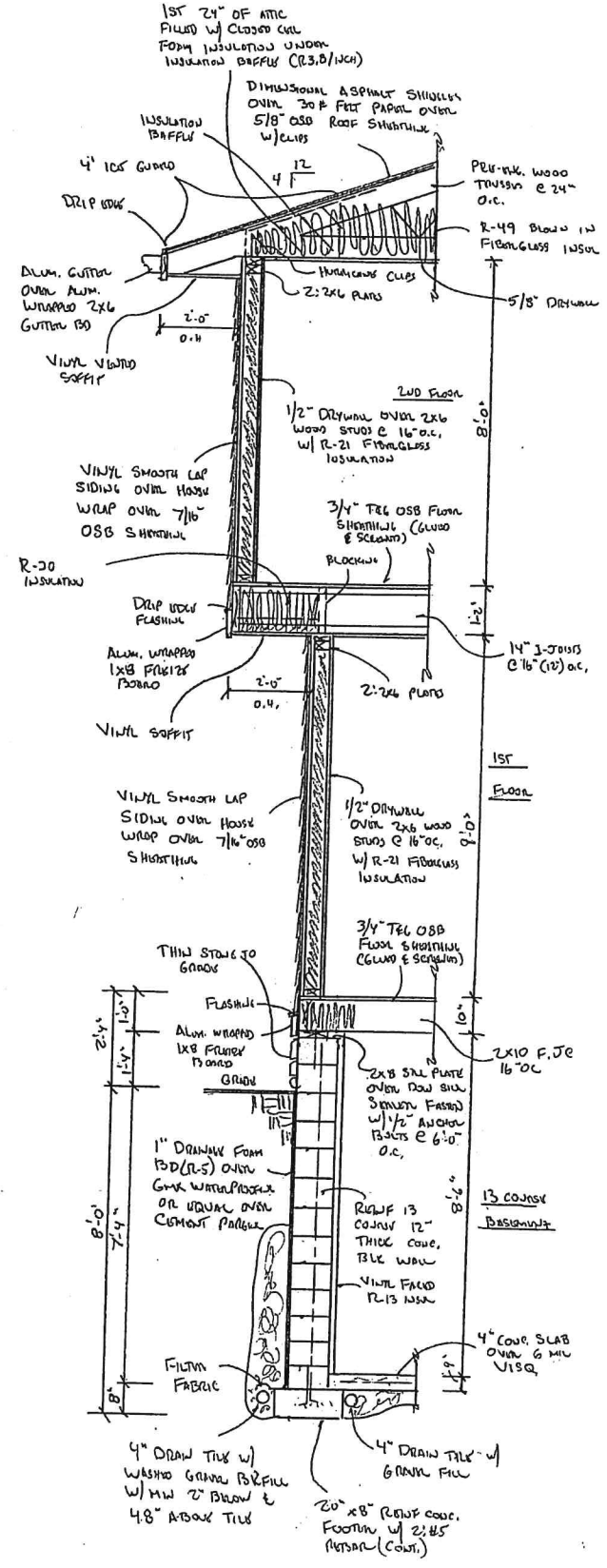
REAR ELEVATION:
SCALE: 1/4" = 1'-0"

COLOR & MATERIAL SELECTIONS:
 STONE VENEER & TO GRADE: CORONADO STONE QUICK STACK ENGLISH GREY (MEDIUM / LITE GREY)
 STUCCO BOARD: MIDNITE BLUE
 VINYL SIDING: MASTIC CARVED WOOD 44 VICTORIAN GREY, (MEDIUM LITE GREY)
 ROOF SHINGLES: CERTAINTED LANMARK MAX DEF. PEWTER, (CHARCOAL)
 METAL ROOF: BLACK
 WINDOWS / REAR FRENCH DOORS: BLACK
 GARAGE DOOR / FRONT DOOR: WOOD STAIN, (WALNUT)
 OVERHANG & PORCH SOFFITS / GUTTERS / TRIM / FLY RAFTERS: DIAMOND KOTE MOUNTAIN LAKE, (MEDIUM GREY)

PROPOSED REPLACEMENT HOUSE
 FOR THE
 KAZEM RESIDENCE
 2325 MILTON ROAD
 UNIVERSITY HEIGHTS, OHIO
 3/28/2022
 DESIGNED BY
 JOSEPH E. CALDERWOOD, DESIGNER
 440-429-8164

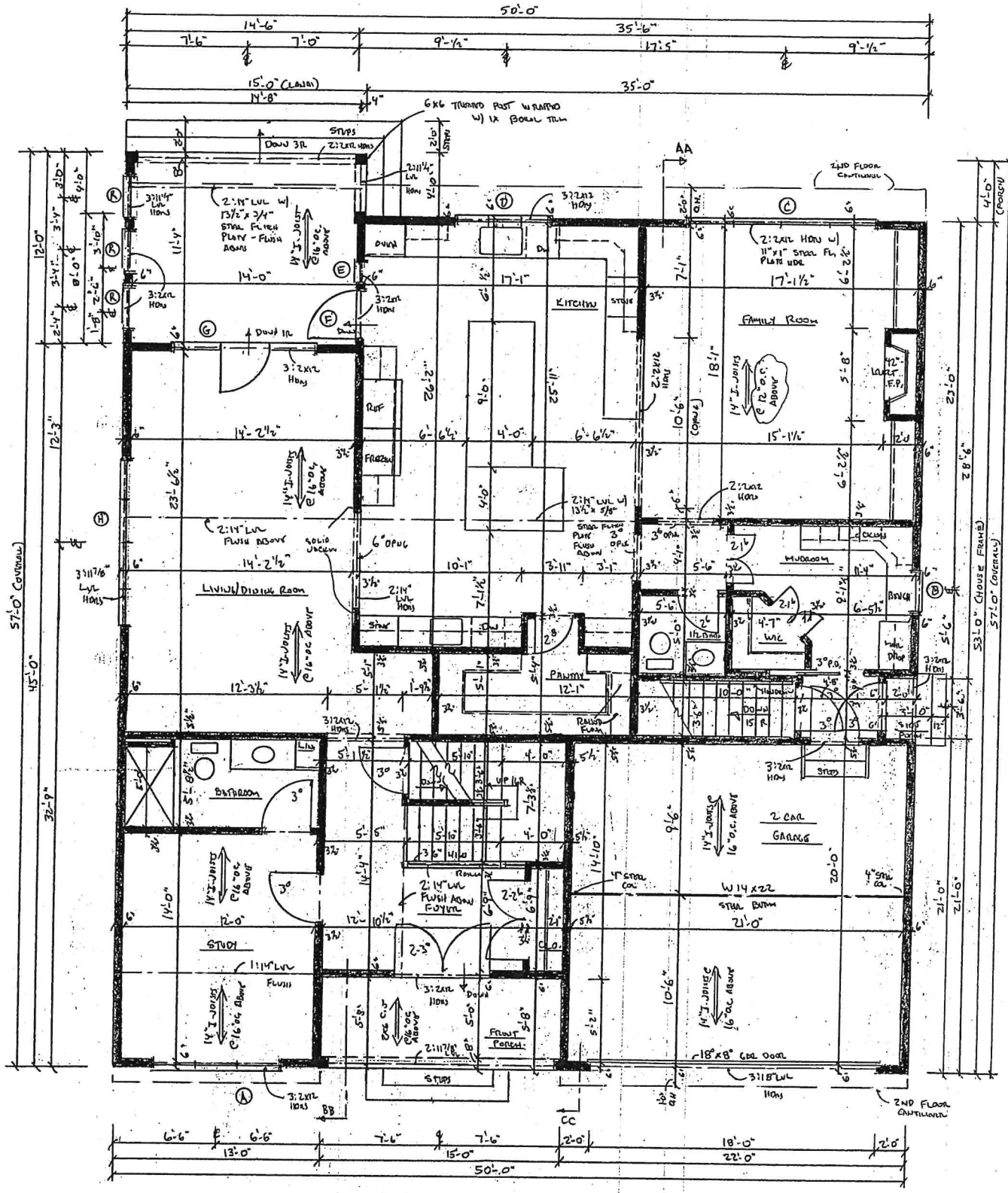


FOUNDATION PLAN:
SCALE: 1/4" = 1'-0"
BASEMENT AREA: 1,000 SQ. FT.



SECTION VIEW AA:
SCALE: 1/4" = 1'-0"

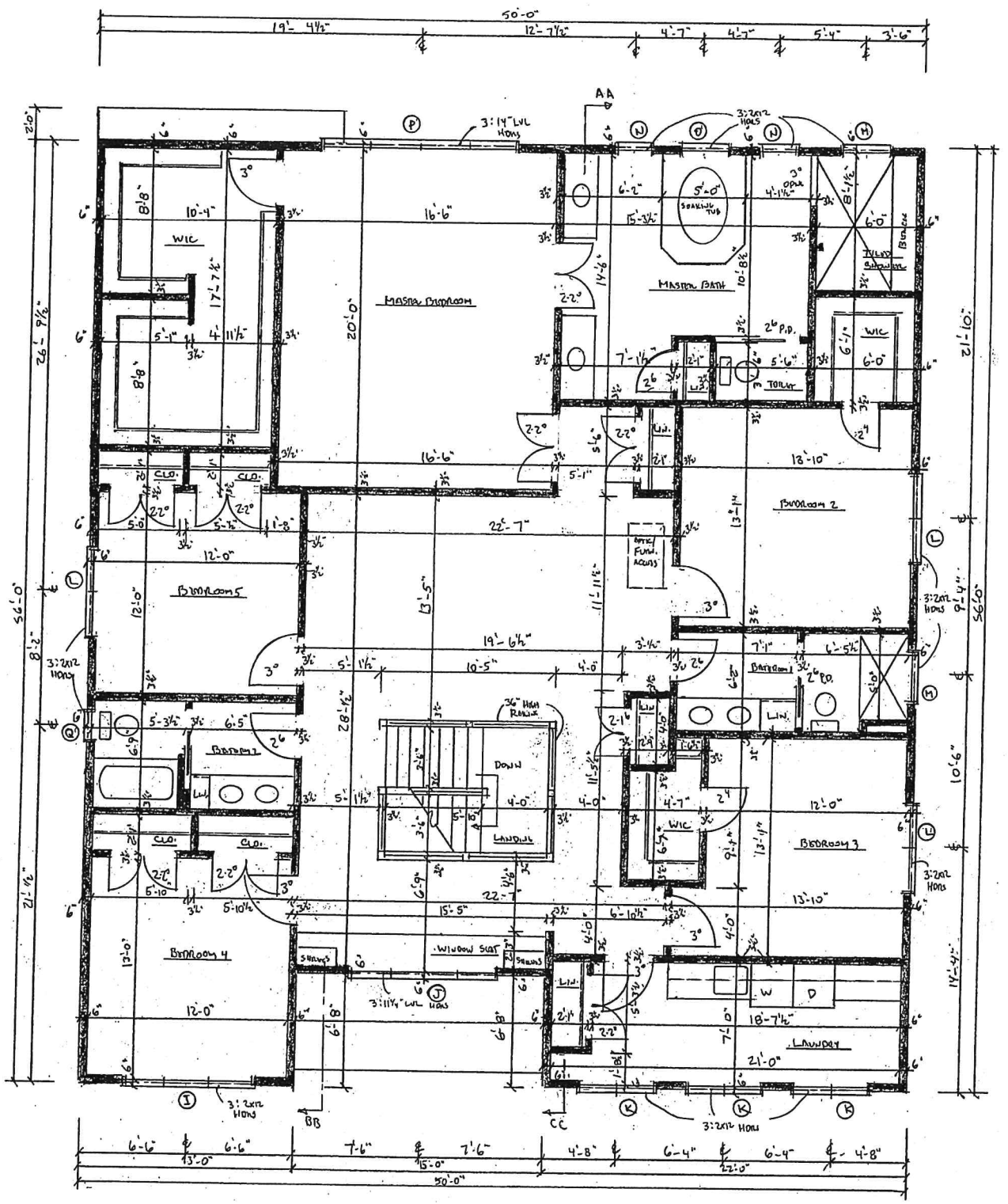
- FOUNDATION NOTES:**
- 13 COURSE 12" THICK REINFORCED BASEMENT BLOCK FOUNDATION WALLS, W/TOP GROUTED TOP COURSE AND #5 VERTICAL RE-BAR @ 48" O.C. WITH 2 COURSES EXPOSED TO GRADE WITH MINIMUM 8" EXPOSED. (SEE ELEVATION) ON TOP OF STD FOOTERS; GARAGE FOUNDATION TO BE 5 COURSE 8 1/2" THICK FOUNDATION WALLS ON STD. FOOTERS W/ 1 COURSE EXPOSED TO GRADE; PORCH FOUNDATIONS TO BE 6 COURSE 8" THICK FOUNDATION WALL ON STD. FOOTER, WITH 2 COURSES EXPOSED TO GRADE.
 - THIN STONE TO GRADE ON SIDES AND REAR OF HOUSE AND GARAGE AS NOTED ON ELEVATION PLAN; THIN STONE VENEER ON FRONT OF ON FRONT HOUSE AND GARAGE WITH 24" RETURNS ON SIDES, AS NOTED ON ELEVATION PLANS. THIN STONE TO GRADE ON FRONT ELEVATION.
 - 8" X 8" BEAM POCKETS W/ 2 #5 VERTICAL REBAR FULL HEIGHT, GROUT SOLID.
 - BASEMENT SLAB: 4" CONCRETE SLAB REINFORCED W/FIBERMESH, 4000 PSI, ON 6 MIL VISQUEEN OVER MIN. 4" THICK POROUS FILL, (#57 STONE), (COMPACTED). OVERLAP VISQUEEN BY MIN. 8". GARAGE SLAB: 4" SLOPED REINFORCED CONCRETE SLAB WITH WIRE MESH, 4000 PSI, ON 6 MIL VISQUEEN OVER COMPACTED PREMIUM FILL. PORCH SLABS: 4" CONCRETE SLAB WITH HAND TROWELLED FINISH OVER COMPACTED PREMIUM FILL.
 - FOOTERS: BASEMENT: 20" X 8", REINFORCED. GARAGE: 20" X 8", REINFORCED. PORCH: 16" X 10", REINFORCED.
- STEP DOWN FOOTERS SUCH AS GARAGE / PORCH TO BASEMENT, PROVIDE A MINIMUM 10" THICK MONOLITHIC CONTINUOUS REINFORCED CONCRETE FOOTER. BOTTOM OF FOOTER MUST SIT ON MIN. 2000 PSI LOAD BEARING SOILS.
- BASEMENT & GARAGE SLAB W/CONTROL JOINTS W/ A MAXIMUM SEPARATION OF 12'.
 - ALL INTEGRAL PILASTERS & PIERS MUST BE REINFORCED AND FILLED SOLID W/2500 PSI GROUT, FULL HEIGHT WITH 2: #5 VERTICAL REBAR.
 - ALL BASEMENT FOUNDATION WALLS BELOW GRADE TO BE WATERPROOFED WITH ASPHALT BITUMINOUS COATING, (OR EQUAL), OVER CEMENT PARGING, OR EQUAL, COVERED WITH 1" RIGID DRAINAGE BOARD INSULATION, (R-5).
 - PROVIDE EXTERIOR AND OPTIONAL INTERIOR DRAIN TILE ALONG ENTIRE PERIMETER OF BASEMENT WALLS W/MIN. 48" OF WASHED GRAVEL BACKFILL ABOVE AND 2" BELOW TILE AND MIN. 12" WIDE. TIE IN DRAIN TO DISCHARGE VIA GRAVITY FED TO STORM SEWERS OR THRU SUMP PUMP, (FIELD VERIFY). PROVIDE POROUS FABRIC ON TOP OF DRAIN TILE.
 - STORM SEWER FOR ALL DOWNSPOUTS TO BE SEPARATE FROM DRAIN TILE PIPES.
 - AT ALL PORCH AREAS, PROVIDE WATERPROOF FLASHING A MINIMUM OF 18" UP FRAME WALL FROM TOP OF BLOCK, WITH FLASHING OVERLAPPING BLOCK BY MIN. 8".
 - ALL DRAIN TILE TO BE PVC PLASTIC PIPE AS APPROVED BY THE CURRENT PLUMBING CODES.
 - ALL STEEL COLUMNS MUST BE PERMANENTLY FASTENED TO BEAM WITH METAL STRAPS AND FOUNDATION. POST TO SIT ON CONCRETE FOOTER PRIOR TO POURING CONCRETE SLAB.
 - FINISH GRADE AND GRADE SLOPE AROUND FOUNDATION WILL BE DETERMINED ON SITE.
 - PREMIUM FILL FOR SUB-BASE OF BASEMENT SLAB TO EQUAL TO ODOT 304. IT MUST BE COMPACTED TO 98% COMPACTION PER ASTM D698.
 - 1/2" ANCHOR BOLTS X 18" LONG TO FASTEN ALL SILL PLATES AT 6'-0" O.C. AND MAXIMUM 12" FROM CORNERS OF ALL FOUNDATION WALLS. AT AREAS WHERE WALL LENGTHS ARE LESS THAN 24" LONG, PROVIDE A MIN. OF 2 ANCHOR BOLTS TO FASTEN SHEAR WALL FRAMING PANEL.
 - APPROVED ABS DRAIN TILE, (PER CURRENT PLUMBING CODES), REQUIRED WITH TWO CLEAN OUTS AT CORNERS AND COVERED WITH MIN. OF 72" OF #57 WASHED GRAVEL.
 - PROVIDE 8" THICKEN SLAB UNDER STAIR WALLS FOR EXTRA SUPPORT AS NOTED ON THE FOUNDATION PLAN.



FIRST FLOOR PLAN:
 SCALE: 1/8" = 1'-0"
 1ST FLOOR AREA: 1,580 SQ.FT.
 GARAGE AREA: 462 SQ.FT.
 FRONT PORCH AREA: 83 SQ.FT.
 SIDE PORCH AREA: 7 SQ.FT.
 REAR COVERED PORCH AREA: 176 SQ.FT.

WINDOW SCHEDULE:

- A: 3'-2-8/6-0 CASEMENT W/3'-2-8/1-0 TRANSOMS; R.O.: 96" X 84"
- B: 2'-6/4-0 CASEMENT; R.O.: 30" X 48"
- C: 4'-3-0/6-0 CASEMENT W/4'-3-0/1-0 TRANSOMS; R.O.: 144" X 84"
- D: 3'-2-0/3-6 CASEMENT W/3'-2-0/1-0 TRANSOMS; R.O.: 72" X 54"
- E: 1'-6/6-0 FIXED CASEMENT; R.O.: 18" X 72"
- F: 3'-0/3-0 INSWING FRENCH DOOR; R.O.: 2'-6 3/4" X 6'-10"
- G: 3'-0/2-8 FIXED INSWING PATIO DOOR; R.O.: 3'-0/2-8 TRANSOMS; R.O.: 9'-0 3/4" X 7'-10"
- H: 4'-2-8/5-0 CASEMENT W/4'-2-8/1-0 TRANSOMS; R.O.: 128" X 72"
- I: 3'-2-8/5-0 CASEMENT; R.O.: 96" X 60"
- J: 2'-6/4-0 CASEMENT// 4'-0/4-0 PICTURE // 2'-6/4-0 CASEMENT; R.O.: 108" X 48"
- K: 2'-2-4/4-0 CASEMENT; R.O.: 56" X 48"
- L: 2'-2-8/4-0 CASEMENT; R.O.: 64" X 48"
- M: 3'-0/1-4 TRANSOM; R.O.: 36" X 18"
- N: 3'-0/4-0 CASEMENT; R.O.: 24" X 48"
- O: 3'-0/4-0 FIXED CASEMENT; R.O.: 36" X 48"
- P: 4'-3-0/5-0 CASEMENT; R.O.: 144" X 60"
- Q: 2'-0/3-0 CASEMENT; R.O.: 24" X 36"
- R: 2'-8/1-6 TRANSOM; R.O.: 32" X 18"
- S: 3'-0/4-0 CASEMENT; R.O.: 36" X 48"



SECOND FLOOR PLAN:
 SCALE: 1/8" = 1'-0"
 2ND FLOOR AREA: 2,700 SQ.FT.

- WINDOW NOTES:**
1. ALL NEW WINDOWS TO BE PELLA IMPERVIA FIBERGLASS CASEMENT AND TRANSOM WINDOWS WITH FIBERGLASS CLADDING.
 2. ALL WINDOWS WITH SCREENS.
 3. ALL WINDOWS BELOW 18" A.F.F.: HAS A LARGER PANE OVER 9 SQ.FT.; OR WITHIN 60" OF A TUB OR SHOWER MUST BE TEMPERED (SAFETY GLAZED), AND LABELED AS SUCH.
 4. GLAZING TO BE HIGH PERFORMANCE DOUBLE INSULATED GLAZING W/LOW E.
 5. FIELD VERIFY COLOR OF WINDOWS WITH HOMEOWNER BEFORE ORDERING.
 6. ALL WINDOWS ON FIRST FLOOR TO BE 6'-10" A.F.F., ALL WINDOWS FOR 2ND FLOOR AND BASEMENT TO BE SET AT 6'-8" A.F.F. WINDOWS WITH TRANSOMS TO BE SET AT 7'-10" A.F.F.
 7. ALL WINDOWS TO BE INSTALLED IN 6" THICK WALLS.
 8. PRIOR TO INSTALLATION OF WINDOWS IN ROUGH OPENINGS, PROVIDE TYVEK WINDOW FLEX WRAP AROUND WINDOW OPENINGS, ALONG WITH TYVEK WINDOW WRAP TAPE.
 9. FRONT DOOR TO BE FIBERGLASS INSULATED 1 PANELED 2-3' DOORS WITH TEMPERED INSULATED GLASS; DOOR BETWEEN GARAGE AND HOUSE TO BE 3' WIDE INSULATED FIBERGLASS 2 PANELED 20 MINUTE RATED DOOR WITH SELF CLOSER. SIDE MAN DOOR TO BE 1 PANELED FIBERGLASS INSULATED DOOR WITH 1/2 LITE TEMPERED INSULATED GLASS. REAR PATIO DOORS TO BE PELLA FIBERGLASS OUT / IN SWING DOORS WITH FULL LITE TEMPERED INSULATED GLASS.

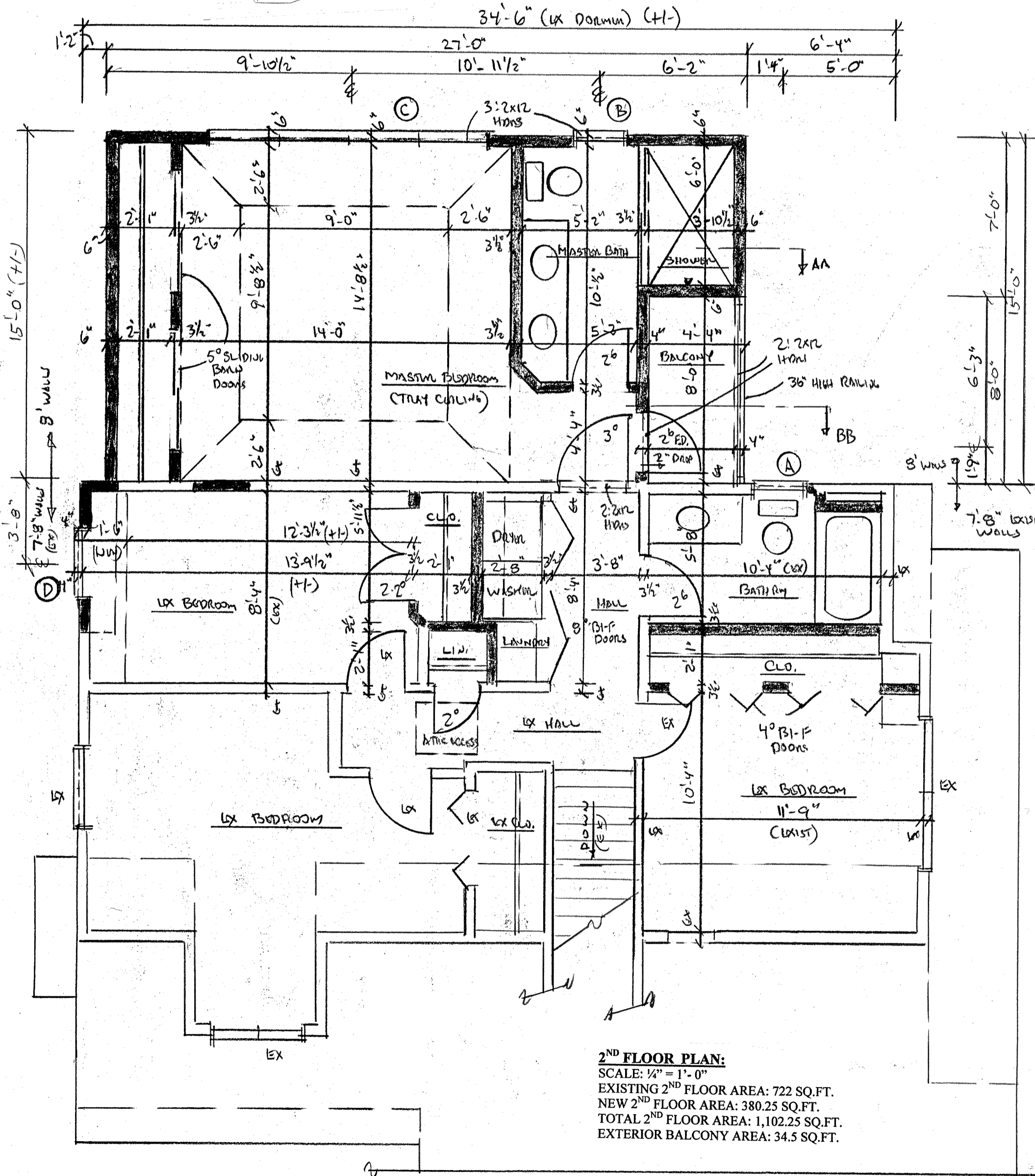
PROPOSED REPLACEMENT HOUSE
 FOR THE
 KAZEM RESIDENCE
 2325 MILTON ROAD
 UNIVERSITY HEIGHTS, OHIO 42132
 DESIGNED BY
 JOSEPH E. CALDERWOOD, DESIGNER
 440-428-6164

WINDOW SCHEDULE:

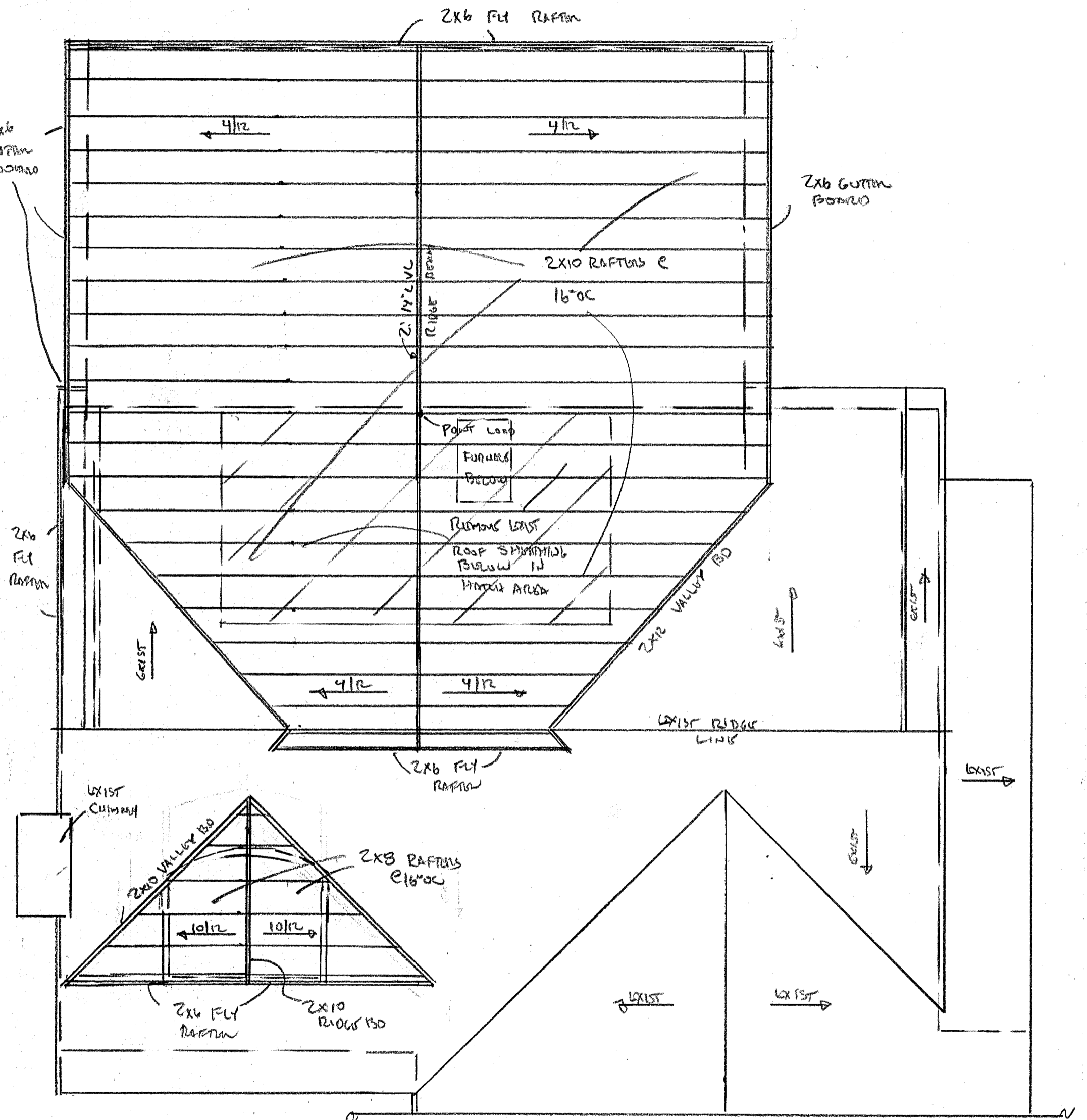
- A: 2030 CASEMENT; R.O.: 24" X 36"
- B: 2040 CASEMENT; R.O.: 24" X 48"
- C: 4: 3060 SLIDERS; R.O.: 144" X 72"
- D: 3053 D.H.; R.O.: 36" X 63"

WINDOW & DOOR NOTES:

1. NEW WINDOWS TO BE SIMONTON (OR EQUAL), VINYL (OR FIBERGLASS) DOUBLE HUNG AND CASEMENT WINDOWS WITH VINYL (FIBERGLASS), EXTERIOR AND INTERIOR.
2. ALL WINDOWS WITH SCREENS.
3. ALL WINDOWS BELOW 18" A.F.F. - OR HAS A LARGER PANE OVER 9 SQ.FT. OR WITHIN 60" OF A TUB OR SHOWER MUST BE TEMPERED, (SAFETY GLAZED), AND LABELED AS SUCH.
4. GLAZING TO BE STD. DOUBLE INSULATED W/ LOW E GLAZING WITH ARGON GAS BETWEEN THE PANES.
5. ALL NEW WINDOWS TO BE SET IN 6" WALLS IN NEW WALLS, (4" FOR EXISTING WALLS).
6. ALL WINDOWS TO BE SET AT 6'- 8" A.F.F.
7. WINDOW FRAME COLOR TO BE WHITE.
8. NEW EXTERIOR BALCONY DOOR TO BE A 2'- 6" WIDE FULL LITE FIBERGLASS INSULATED OUTSWING FRENCH DOOR, WITH DOOR SILL RAISED 2" ABOVE FINISH FLOOR TO ALLOW FOR WATERPROOFING ON EXTERIOR BALONY.

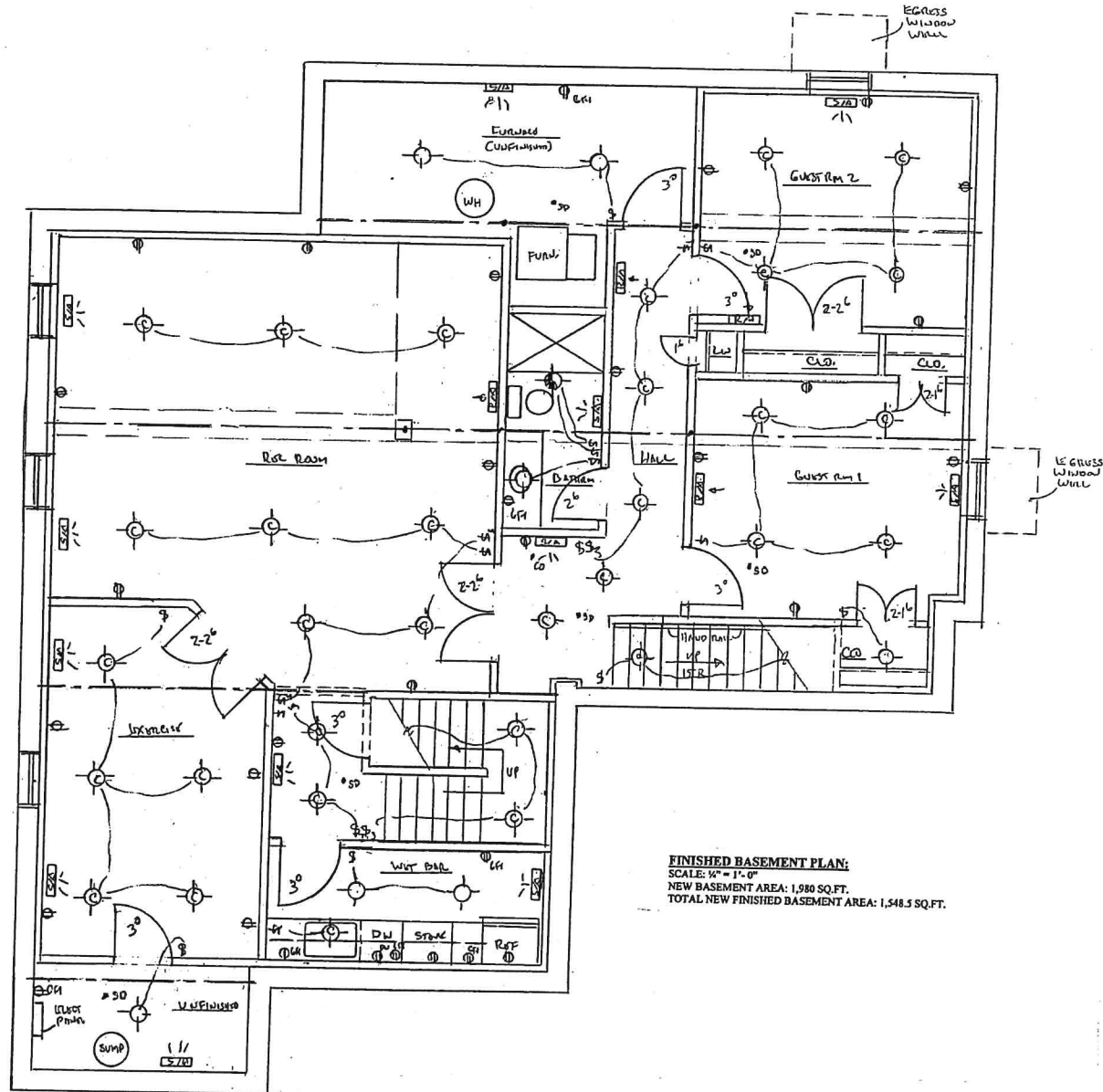


2ND FLOOR PLAN:
 SCALE: 1/4" = 1'- 0"
 EXISTING 2ND FLOOR AREA: 722 SQ.FT.
 NEW 2ND FLOOR AREA: 380.25 SQ.FT.
 TOTAL 2ND FLOOR AREA: 1,102.25 SQ.FT.
 EXTERIOR BALCONY AREA: 34.5 SQ.FT.



ROOF FRAMING PLAN:
 SCALE: 1/4" = 1'- 0"

**PROPOSED 2ND FLOOR REAR ADDITION
 FOR THE
 STEINMETZ RESIDENCE
 2627 WHITON ROAD
 UNIVERSITY HEIGHTS, OHIO
 3/21/2022
 DESIGNED BY
 JOSEPH E. CALDERWOOD, DESIGNER
 440-429-5164**



FINISHED BASEMENT PLAN:
 SCALE: 1/4" = 1'-0"
 NEW BASEMENT AREA: 1,980 SQ.FT.
 TOTAL NEW FINISHED BASEMENT AREA: 1,548.5 SQ.FT.

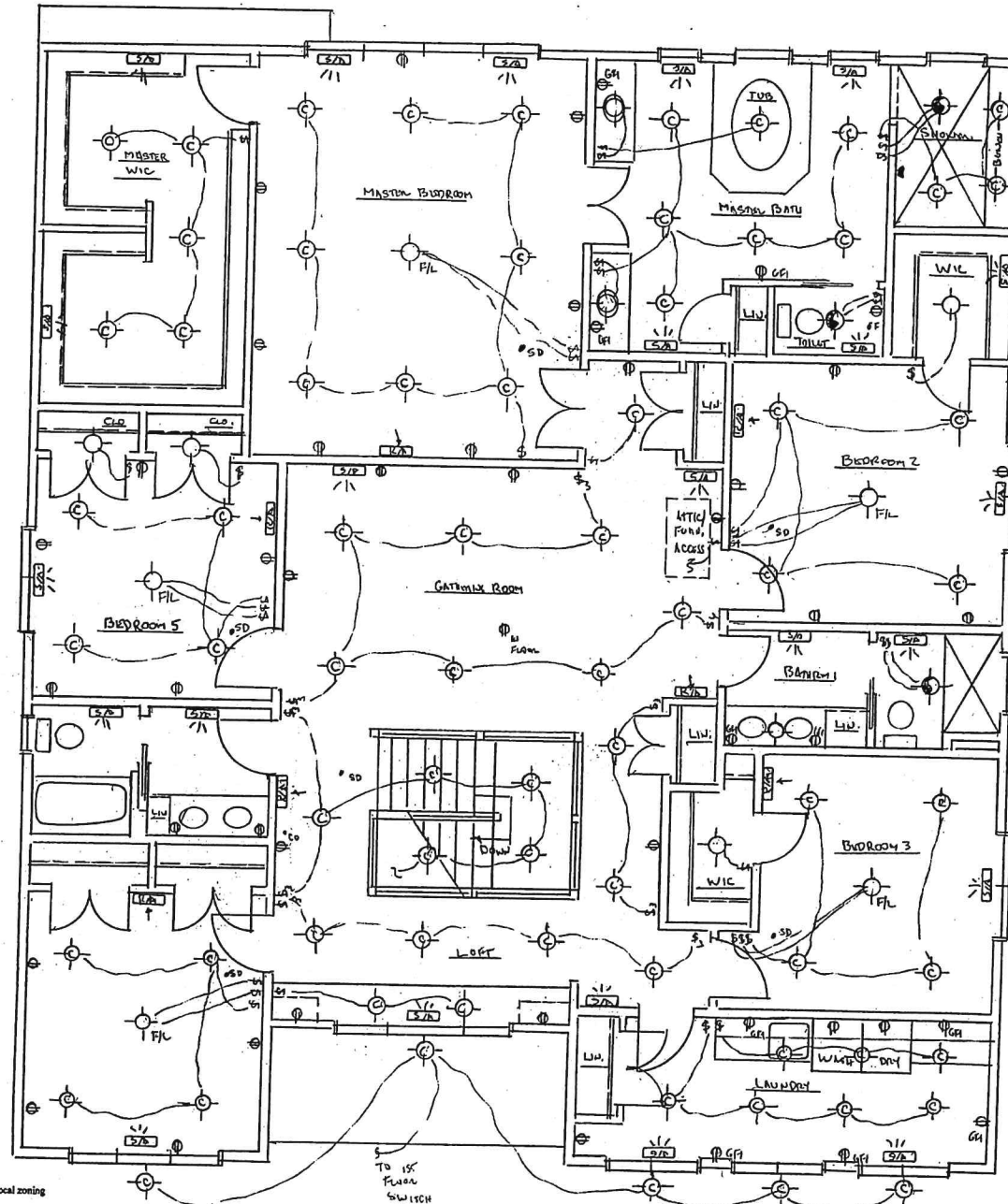
BASEMENT CONSTRUCTION NOTES:

1. ALL NEW ELECTRICAL, MECHANICAL & PLUMBING WORK, ALONG WITH ALL STRUCTURAL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES INCLUDING THE 2017 ELECTRICAL, MECHANICAL AND PLUMBING NATIONAL CODES AND THE 2019 RESIDENTIAL CODES OF OHIO
2. ALL EXTERIOR AND INTERIOR DIMENSIONS RELATED TO THE HOUSE STRUCTURE MUST BE FIELD VERIFY, PRIOR TO STARTING WORK.
3. STRUCTURAL HEADERS: (2) 2" X 12" FLUSH EXCEPT AS OTHERWISE NOTED, (2) 2" X 10" FOR SPANS UNDER 6'. (1) JACK ON EACH SIDE; OVER 8' SPAN: (2) JACKS
4. ALL BATHROOM EXHAUST FANS MUST BE EXHAUSTED TO THE EXTERIOR.
5. ALL SMOKE DETECTORS TO HAVE A BATTERY BACKUP AND ALL TO BE INTERCONNECTED, ONE PER FLOOR AND IN EVERY SLEEPING QUARTERS, ALSO INCLUDE IN FURNACE ROOM.
6. ALL REQUIRED PLUMBING DETAILED DWGS TO BE PROVIDED BY THE PLUMBING CONTRACTOR AT THE TIME THE PERMIT IS PULLED.
7. EXTERIOR WALL STUD FIRING CONSTRUCTION TO BE 2 X 4 WOOD STUDS WITH R-13 FIBERGLASS INSULATION COVERED WITH 1/2" DRYWALL. ALLOW 1/4" GAP BETWEEN STUD AND BLOCK WALL. ALL NEW WALLS AND CEILINGS IN FINISHED AREAS OF BASEMENT TO BE COVERED WITH 1/2" DRYWALL. PROVIDE DRYLOK PAINT SEALER ON ALL NEW CONCRETE BLOCK WALLS PRIOR TO STUD CONSTRUCTION. IN UNFINISHED AREAS, COVER EXISTING BLOCK WALLS WITH DRYLOK PAINT SEALER.
8. ALL CEILING DRYWALL WORK TO BE FINISHED SMOOTH. NO DRYWALL CEILING IN STORAGE, UNFINISHED AND FURNACE ROOMS.
9. ALL TRIM AND DOOR FINISHES TO BE EQUAL TO FIRST FLOOR FINISHES.
10. PROVIDE RECESSED CAN FIXTURES THRU OUT ENTIRE FINISHED AREA, WITH ALL CANS ON DIMMER SWITCHES.
11. ALL NEW INTERIOR DOORS TO BE 2 PANELLED HOLLOW CORE MASONITE DOORS WITH MATCHING HARDWARE FROM 1ST FLOOR.
12. FRAME ALL SOFFITS WITH 2 X 2 AND 2 X 4 FRAMING.
13. PROVIDE FLUSH ACCESS PANELS FOR ALL PLUMBING SHUTOFFS AND DUCTWORK DAMPERS IN NEW CEILINGS AND WALLS.
14. PROVIDE WOOD SILL FOR EGRESS WINDOWS
15. PROVIDE ONE PIECE EGRESS WINDOW WELL FOR NEW BEDROOM WINDOW WITH GRAVEL BASE AND DRAIN.

CONSTRUCTION NOTES:

1. THIS NEW HOUSE IS TO BE A REPLACEMENT HOUSE FOR THE EXISTING HOUSE ON THE PROPERTY. EXISTING HOUSE TO BE COMPLETELY DEMO'D AND REMOVE FROM PROPERTY PRIOR TO THE CONSTRUCTION OF THE NEW REPLACEMENT HOUSE.
2. ALL ELECTRICAL, MECHANICAL & PLUMBING WORK SHALL BE IN COMPLIANCE WITH THE 2017 NATIONAL ELECTRICAL, MECHANICAL & PLUMBING CODES.
3. STRUCTURAL HEADERS: (2) OR (3) 2" X 12" EXCEPT AS OTHERWISE NOTED, (2) OR (3) 2" X 10" FOR SPANS UNDER 4', UNLESS AS OTHERWISE NOTED.
4. ALL FLOOR WINDOW OPENINGS AT FIRST FLOOR TO BE 6'-10" A.F.F., 7'-10" FOR WINDOWS / DOORS WITH TRANSOMS; 6'-8" A.F.F. FOR ALL WINDOWS ON THE SECOND FLOOR AND BASEMENT
5. HEADER BEARING: UNDER 4' SPAN: (1) JACK ON EACH SIDE; OVER 4' SPAN: (2) JACKS. (PROVIDE SOLID 2 X 6 JACKS ON WALL FOR STEEL AND WOOD BEAM SUPPORT).
6. ALL STEEL COLUMNS MUST BE PERMANENTLY FASTENED TO THE FOUNDATION AND STEEL BEAMS.
7. DOOR SIDELITES AND ALL OTHER WINDOWS BELOW 18" A.F.F. OR WITHIN 60" OF A TUB OR SHOWER OR HAS OVER 9 SQ.FT. PER ANY SINGLE PIECE OF GLAZING MUST BE TEMPERED GLASS, AND LABELED AS SUCH PER 2019 RCO.
8. ALL DOORS BETWEEN GARAGE AND LIVING SPACE, MUST BE SELF CLOSING AND HAVE A MINIMUM 20 MINUTE FIRE RATING.
9. ALL SEPARATION WALLS AND CEILING BETWEEN THE LIVING SPACE AND GARAGE, MUST HAVE A MIN. 5/8" FIRE RATED GYPSUM BOARD. 5/8" DRYWALL FOR INTERIOR WALLS. MOISTURE RESISTANT GREEN BOARD FOR ALL BATHROOMS AND WET AREAS.
10. ALL CEILINGS TO BE SMOOTH FINISH, EXCEPT IN GARAGE AND CLOSETS.
11. ALL EXTERIOR AND INTERIOR STEPS AND LANDINGS MUST NOT EXCEED A HEIGHT SEPARATION OF 7 3/4". ALL INTERIOR STAIR TREADS TO BE AT MIN. 10" OR LARGER. EXTERIOR TREADS AT 12" DEEP MIN.
12. STAIRCASE FROM 1ST FLOOR TO 2ND FLOOR, TO BE OPEN END TREADS. (CONSULT WITH HOMEOWNER ON MATERIAL); FROM GARAGE TO 1ST FLOOR TO BE CLOSED END CARPET GRADE, OR EQUAL; FROM 1ST FLOOR TO BASEMENT TO BE CLOSED END STAIRS. (CONSULT WITH HOMEOWNER ON MATERIAL); FROM MUDROOM TO BASEMENT TO BE CLOSED END CARPET GRADE OR EQUAL. EXTERIOR PORCH STEPS TO BE CONCRETE STEPS.
13. ALL EXTERIOR WALL BRACING WILL BE BASED ON CONTINUOUS 7/16" OSB SHEATHING, BASED ON SEC. 602.10.5 OF THE OHIO RESIDENTIAL CODE.
14. ALL EXTERIOR AND INTERIOR SPINDLES TO HAVE A SEPARATION OF NO MORE THAN 4" O.C. PER 2019 RCO.
15. ALL EXTERIOR AND INTERIOR RAILINGS TO BE MINIMUM 36" HIGH.
16. INTERIOR RAILINGS TO BE WOOD / METAL. CONSULT WITH HOMEOWNER ON STYLE OF INTERIOR RAILINGS.
17. FRONT & REAR EXTERIOR PORCH COLUMNS TO BE 6" X 6" TREATED POSTS, WRAPPED WITH 1X BORAL TRIM OR EQUAL.
18. ALL ROOFING TO BE MIN. 40 YEAR DIMENSIONAL ASPHALT (OR EQUAL), SHINGLES OVER 30# FELT, WHERE ROOF MEETS UP TO WALL, INSTALL ICE GUARD UP WALL, MIN. 18" AND IN VALLEYS, AND PERIMETER, ALONG WITH AREAS OF SLOPED ROOFS OF 4/12 OR LESS. METAL STANDING SEAM ROOF OVER ICE GUARD OVER FRONT PORCH.
19. ALL EXTERIOR AND INTERIOR HANDRAILS MUST HAVE RETURNS INTO WALLS AT BOTH ENDS.
20. ALL BATHROOM AND KITCHEN HOOD EXHAUST FANS MUST BE EXHAUSTED TO THE EXTERIOR. ALL BATHROOM EXHAUST FANS TO BE THE QUIET TYPE FANS.
21. ALL SMOKE DETECTORS TO HAVE A BATTERY BACKUP AND ALL TO BE INTERCONNECTED, ONE PER FLOOR, AND IN EVERY SLEEPING QUARTERS. PROVIDE CO DETECTOR IN EGRESS HALLS OUTSIDE OF SLEEPING QUARTERS, ALONG WITH ONE PER FLOOR.
22. PROVIDE ATTIC ACCESS W/ LIGHT ABOVE 2ND FLOOR AREAS WITH MIN. 22" X 30" OPENING WITH MIN. 30" HEAD CLEARANCE AND WITH LIGHT SWITCH AND LIGHT IN ATTIC AREA. THRU SAME ATTIC ACCESS PROVIDE INSULATED FURNACE ROOM FOR HORIZONTAL FURNACE ABOVE 2ND FLOOR.
23. FURNACE ROOM ABOVE 2ND FLOOR TO BE INSULATED AS SIMILAR TO 2ND FLOOR, ALONG WITH 1/2" T & G OSB FLOOR SHEATHING AND 5/8" DRYWALL WALLS AND CEILING.
24. 9' CEILINGS FOR ENTIRE FIRST FLOOR; 9' CEILINGS FOR 2ND FLOOR.
25. PROVIDE ELECTRIC FIREPLACE INSERT ON RIGHT WALL OF FAMILY ROOM. ANY EXTERIOR & INTERIOR FIREPLACES TO BE INSERT INTO WOOD FRAMING PER 2019 ORC. FRAMING REQUIREMENTS. FIREPLACE WALL AND HEARTH TO BE COVERED WITH THIN STONE OR BRICK VENEER UP TO CEILING, VERIFY WITH HOMEOWNER.
26. PROVIDE PREMIUM SOUND INSULATION IN WALLS BETWEEN BEDROOMS AND BATHROOMS, ALONG WITH THE WALL BETWEEN BATHROOM AND GREATROOM. ALSO PROVIDE FOAM WRAP ON ALL COPPER LINES, (OR EQUAL) ON OUTER WALLS.
27. MAIN HOUSE CEILING TO BE INSULATED WITH R-49 BLOWN IN CELLULOSE INSULATION, WITH THE FIRST 24" ALONG THE PERIMETER FILLED WITH CLOSED CELL FOAM INSULATION, (R3.8 / INCH) UNDER THE INSULATION Baffles. EXTERIOR WALLS TO BE INSULATED WITH R-21 FIBERGLASS INSULATION, RIM BOARDS ALONG WITH CANTILEVER OVERHANGS AND FLOORS ABOVE GARAGE TO BE INSULATED WITH R-7.6 CLOSED CELL FOAM INSULATION, (2") AND R-25 FIBERGLASS INSULATION; GARAGE WALLS WITH R-19 FIBERGLASS INSULATION. BASEMENT EXTERIOR MASONRY WALLS TO BE INSULATED WITH R-13 VINYL-FACED INSULATION AT MASONRY LOCATIONS.
28. GARAGE FLOOR DRAIN TO BE MIN. 6" FLOOR DRAIN TIED INTO SANITARY SEWER WITH SAND TRAP, (IF NECESSARY).
29. INSTALL 1 FURNACE, LOCATED IN THE BASEMENT, TO SERVICE THE ENTIRE BASEMENT AND 1ST FLOOR. INSTALL A SECOND FURNACE IN THE ATTIC FURNACE ROOM ABOVE THE 2ND FLOOR.
30. LOCATION OF ALL UTILITY CONNECTIONS AND METER LOCATIONS SHOWN ON THE FOUNDATION PLAN AND TO BE VERIFIED BY BUILDER/HOMEOWNER. PROVIDE OPTION GAS FIRED BACK UP GENERATOR ON LEFT OF HOUSE.
31. TRUSS DESIGN AND CALCULATIONS TO BE DETERMINED BY THE TRUSS MANUFACTURER. THE TRUSS LAYOUT ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY. TRUSSES TO BE DESIGNED WITH MINIMUM TOTAL ROOF LOAD OF 60 LBS. PER SQ.FT. (40 LB LIVE / 20 LB DEAD). ENGINEERED DRAWINGS SUPPLIED BY THE MANUFACTURER MUST BE SUBMITTED AT THE TIME OF PERMITS AND APPROVED BY THE BUILDING DEPT. PRIOR TO STARTING CONSTRUCTION. ANY VARIATION OF THE ABOVE, WITHOUT WRITTEN CONSENT WITH THE AUTHOR OF THESE DOCUMENTS WILL WAIVE ALL LIABILITIES WITH THE AUTHOR OF THESE DOCUMENTS.
32. ALL WINDOW OPENINGS WITH WOOD TRIM RETURNS. ALL WINDOWS IN TO BE SET IN 6" WALLS.
33. ANTI-SYPHON VACUUM BREAKER VALVES ARE REQUIRED FOR ALL HOSE BIBBS AND LAUNDRY TRAY AND FUTURE STUB FOR OPTIONAL SPRINKLER SYSTEM.
34. ALL FIRST FLOOR INTERIOR DOORS TO BE 7'-0" TALL 2 FLAT PANELLED SOLID CORE WOOD OR MASONITE DOORS, (6'-8" FOR 2ND FLOOR AND BASEMENT).
35. MASTER BATH SHOWER TO BE TILED SHOWER, WITH 2" CURB. SHOWER FLOOR, AND WALLS TO INCLUDE TILE OVER WATERPROOF UNDERLAYMENT.
36. ALL PORCH TRIM TO BE BORAL TRIM. SOFFITS WITH PREMIUM VINYL VENTED RIBBED SOFFIT. SOLID VINYL RIBBED SOFFIT FOR FRONT AND REAR PORCH AREAS.
37. ROUGH IN PLUMBING, ELECTRICAL AND HVAC FOR FUTURE BASEMENT FINISH AREA.
38. THIN STONE VENEER ON FRONT AND SIDES OF HOUSE AND GARAGE AS NOTED ON THE ELEVATION PLANS, ALONG WITH THIN STONE TO GRADE ON FRONT, SIDES AND REAR.
39. 4" OR 6" SMOOTH LAP VINYL SIDING OR EQUAL, (VERIFY WITH HOMEOWNER), OVER HOUSE WRAP. CEMENT FIBER STUCCO PANELS FRONT FRONT ELEVATIONS AS NOTED WITH MIN. 2" RETURNS ON THE SIDES.
40. GARAGE OVERHEAD DOOR TO BE FLUSH FIBERGLASS INSULATED DOOR WITH OPERATOR.
41. ONCE AIR SPACE IS CONDITIONED IN BASEMENT, PROVIDE OPTION TO SEAL ALL EXTERIOR BLOCK WALLS WITH DRYLOK SEALER ON INTERIOR SIDE OF EXTERIOR WALLS.
42. PROVIDE OPTION TO FINISH BASEMENT. ALL BASEMENT FINISHES TO BE SIMILAR TO 1ST FLOOR FINISH.
43. PROVIDE ROUGH IN FOR GAS FIRED CEILING MOUNTED UNIT HEATER IN GARAGE AT BACK RIGHT CORNER OF GARAGE. ALSO PROVIDE GAS LINE FOR FUTURE GAS GRILL FOR REAR LANAI.

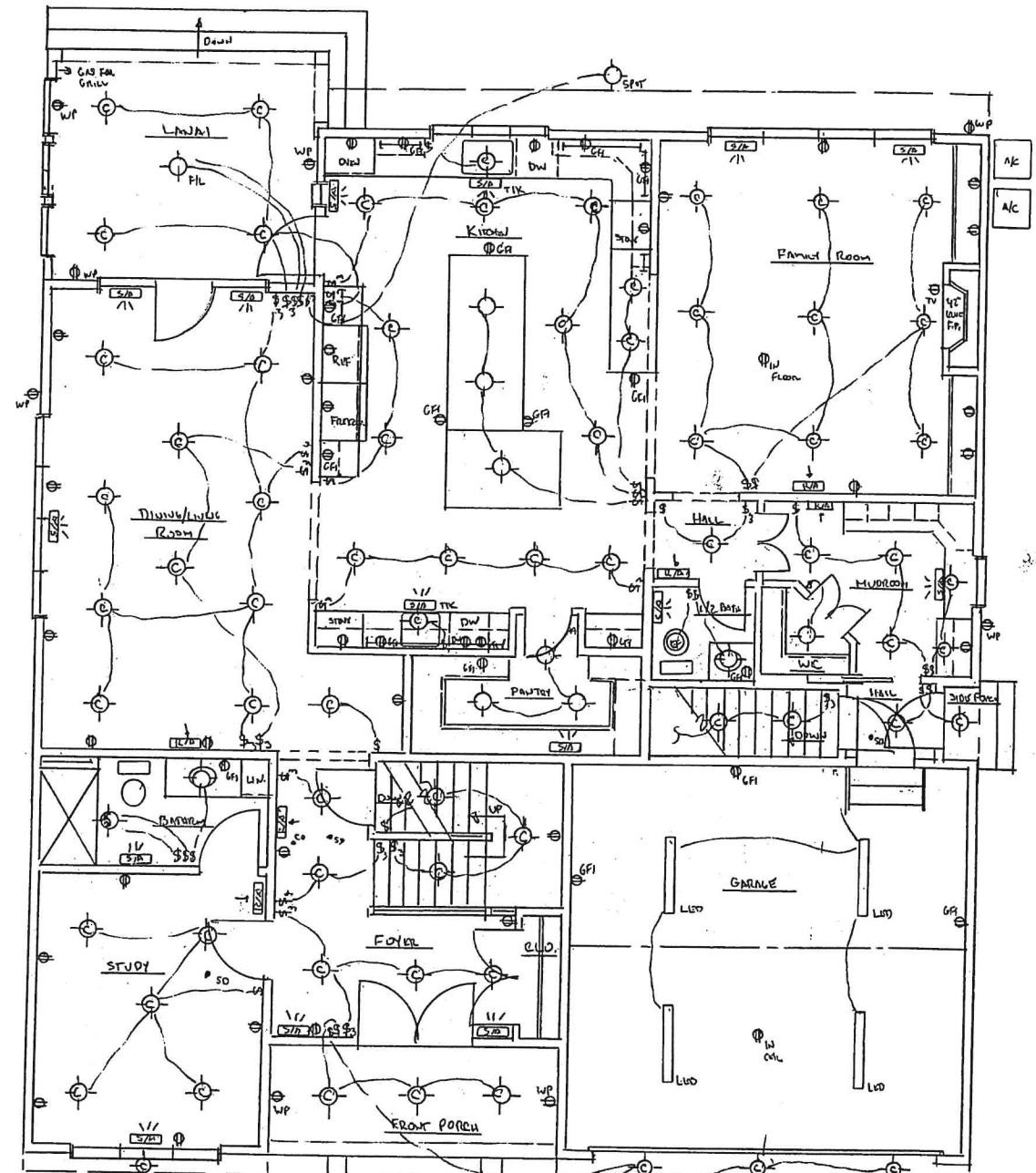
PROPOSED REPLACEMENT HOUSE
 FOR THE
 KAZEN RESIDENCE
 2325 MILTON ROAD
 UNIVERSITY HEIGHTS, OHIO
 43082022
 DESIGNED BY
 JOSEPH E. CALDERWOOD, DESIGNER
 440-429-5164



SECOND FLOOR ELEC/MECH PLAN:
SCALE: 1/4" = 1'-0"

ELECTRICAL KEY:

- : SURFACE MOUNTED LIGHT FIXTURE
- ◐ : RECESSED "CAN" FIXTURE
- ◑ : RECESSED DIRECTIONAL "CAN" FIXTURE
- ⊙ : CEILING FAN, F/L FAN WITH LIGHT FIXTURE
- ⊕ : EXHAUST FAN / LIGHT FIXTURE
- ⊖ : EXPOSED LED LIGHT FIXTURE, P/C PULL CHAIN
- ⊗ : WALL MOUNTED SCONCE LIGHT FIXTURE
- ⊘ : EXTERIOR LED SPOT LIGHT
- ⊙ : 1" LED STRIP LIGHT FIXTURE
- ⊙ : LED STRIP COUNTER LIGHTING
- ⊕ : EXHAUST FAN
- ⊖ : ELECTRICAL PLUG
- ⊙ : "GFI" PROTECTED ELECTRICAL PLUG
- ⊙ : "GFI" PROTECTED ELECT. PLUG IN WEATHERPROOF BOX
- ⊙ : LIGHT SWITCH
- ⊙ : 3 WAY LIGHT SWITCH
- ⊙ : 4 WAY LIGHT SWITCH
- ⊙ : DOOR LIGHT SWITCH
- ⊙ : SMOKE DETECTOR WITH BATTERY BACKUP AND ALL INTERCONNECTED.
- ⊙ : CO DETECTOR WITH BATTERY BACKUP



FIRST FLOOR ELEC/MECH PLAN:
SCALE: 1/4" = 1'-0"

MECHANICAL KEY:

- ⊙ : SUPPLY AIR GRILL, (TRK TOE KICK GRILL)
- ⊙ : RETURN AIR GRILL
- ⊕ : EXHAUST FAN
- ⊕ : EXHAUST FAN WITH LIGHT

General Electrical Notes for New Construction:

1. All electrical work shall be in compliance with all applicable building, 2019 Ohio Residential Codes, local zoning and 2017 National Electrical Codes.
2. All bedrooms, kitchen, garages, laundry & exterior electrical plugs near water sources must be "GFI" protected and provide separate circuits for "GFI" plugs only. All electrical plugs to be installed on AFCI breakers.
3. All receptacles to be tamper resistant, where all branch circuits, except for GFCI circuits, shall be protected by a AFCI combination type circuit breaker.
4. Any light fixture above a shower/tub or hot tub must be damp proof with tempered glass.
5. Provide light source with switch for all attic access openings.
6. All bathroom & kitchen exhaust fans must be vented to the exterior.
7. Photoelectric ionization smoke alarms shall be installed on each floor level. Photoelectric smoke alarms shall be provided inside each bedroom and outside of each separate sleeping area. Every smoke alarm shall have battery back up and all interconnected.
8. Provide labeling of all circuit breakers in all panels and sub-panels.
9. Provide grounding for copper plumbing line.
10. Provide sticker on panels for electrical contractor name & phone # for emergencies.
11. Provide (6) phone box connections with homeruns to phone sources with locations determined by homeowner/builder (CAT 5 or 6 cable)
12. Provide (8) cable boxes with cable homeruns to cable box source with locations by homeowner/builder (CAT 5 or 6 cable) (field verify with homeowner for wireless option)
13. All electrical outlets shall be spaced no more than 12" o.c. along wall space. An electrical outlet shall be placed by no more than 6" from any door or window.
14. In kitchen area, the electrical plugs shall be placed by no more than 3'-0" o.c.
15. Final location of main electrical panel to be located in the left wall of basement, based on site conditions and location of power company transformer box.
16. Provide dedicated circuits for the following: refrigerator; cooking; dishwasher; oven; furnaces and fireplace.
17. Provide minimum 200 amp service, for the main panel located in left wall of main house w/service line from electric company lines via underground cables per electrical utility specs.
18. Main power cables, along with media and phone cables to be underground, from street (or closest power pole), in trench with trace wire and premises backfill per utility trench requirements.
19. All light switches to be rocker style switched. All recessed "can" fixtures to have white trim. All can fixtures to be on dimmer switches. All recessed can fixtures shall be IC type.
20. Provide care and phone cables from street via underground cable, (CAT 5 or 6 cable).
21. If security system to be installed, integrate all smoke detectors with security system.
22. Furnaces to be high efficient natural gas fired furnaces, with one located in basement and one located in 2nd floor attic furnace room, with 13 SEER AC units located on right rear corner of the house. Hot water tank to be high efficient water heater located in basement with exhaust thru left wall.
23. Provide option for Pro-wire for whole house security system.
24. Install CO detectors, with one per floor per 2019 ORC at egress areas.
25. Electrical panel schedule and electrical load calc. to be submitted by the electrical contractor, prior to issuance of permit.
26. All exterior plugs to be set in weather proof box and cover.
27. Field verify style of recessed can fixtures prior to installation.
28. Provide option to pre-wire for surround sound / speakers in family room, study, kitchen, dining room and rear lanai area.
29. Exterior spot lights to be low profile LED fixtures
30. Provide option to install a back up generator on left side of the main house, to be integrated to main electric panel. Back up generator to service furnaces, AC, water heater, refrigerator, stoves and lighting in egress hallways.
31. Provide 240 volt connector for stove in kitchen and for dryer in laundry. (in addition to gas line connections), rear lanai and in garage, for future heater and grill.
32. Provide outdoor recess can fixtures in front exterior overhangs as noted on the plan, wired to timer.
33. Provide option for electric radiant floor heating mats under tile floor in master bathroom and master bath shower.
34. Fireplace in family room to be electric with 240 volt service.

MECHANICAL/PLUMBING NOTES:

1. ALL MECHANICAL & PLUMBING WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CURRENT BUILDING CODES WHICH INCLUDE THE 2019 RCO, 2017 NATIONAL MECHANICAL CODES AND THE 2017 NATIONAL PLUMBING CODES.
2. ALL AC & HEAT DUCTWORK AND AIR DISTRIBUTION TO BE FIELD VERIFIED AND SIZED PROPERLY.
3. ALL AC AND HEAT SUPPLY TRUNK LINES TO BE RECTANGULAR FOR SUPPLY LINES FOR 1ST & 2ND FLOOR AND BASEMENT AREAS.
4. ALL RUNOUTS TO BE ROUND RIGID PIPE, NOT FLEX HOSE.
5. ALL RETURN TRUNK LINES TO BE RECTANGULAR.
6. ALL SUPPLY RUNOUTS TO BE PANNED ACROSS JOISTS OR ROUND PIPE AS NECESSARY FOR FIRST & SECOND FLOOR.
7. ALL SUPPLY AND RETURN DUCTWORK SHALL BE TAPE SEALED AT ALL JOINTS PER 2019 ORC.
8. ALL 1ST FLOOR SUPPLY REGISTERS TO BE FLOOR MODELS, 2ND FLOOR AND BASEMENT SUPPLY REGISTERS TO BE CEILING MODELS AT CEILING LEVEL AT EXTERIOR WALL LOCATIONS. ALL 1ST FLOOR RETURN GRILLS TO BE INSTALLED ON INTERIOR WALLS WITH RETURN GRILLS TO BE INSTALLED ON INTERIOR WALLS CLOSE TO FLOOR. VERIFY STYLE AND COLOR WITH BUILDER/HOMEOWNER PRIOR TO ORDERING THE REGISTERS. REGISTERS UNDER CABINETS TO BE TOE KICK STYLE.
9. DRAIN & VENTING TO PER CURRENT PLUMBING CODES.
10. LINES TO BE SOFT COPPER WITH LONG RADIUS FITTING IF NECESSARY.
11. A/C CONDENSING UNITS TO SIT ON CONCRETE PAD OR EQUAL ON REAR RIGHT CORNER OF HOUSE WITH WEATHERPROOF ELECTRICAL PLUG WITHIN 6' OF UNIT.
12. HVAC SYSTEMS TO BE 92% EFFICIENT GAS FIRED FURNACE WITH 13 SEER A/C. MAIN FUEL SOURCE TO BE NATURAL GAS. 1ST FURNACE TO BE LOCATED IN BASEMENT TO SERVICE ENTIRE 1ST FLOOR AND BASEMENT AREAS. 2ND FURNACE TO BE 92% EFFICIENT GAS FIRED HORIZONTAL FURNACE LOCATED IN ATTIC FURNACE ROOM ABOVE 2ND FLOOR TO SERVICE ENTIRE 2ND FLOOR AREA.
13. PROVIDE PROVISIONS FOR ZONING FOR THE BASEMENT AREA.
14. ALL WATER SUPPLY LINES TO BE COPPER OR APPROVED PEK PIPING, OR EQUIVALENT. PROVIDE 1/2" WATER LINES TO ALL SHOWERS. IF POSSIBLE, PREVENT INSTALLING ANY WATER LINES ON ANY EXTERIOR WALLS, FOR ANY WATER LINES ON EXTERIOR WALLS AND FLOOR, WRAP WITH FOAM INSULATION AND FILL CAVITY FOR CLOSED CELL FOAM INSULATION IF PIPE HAS TO BE ON EXTERIOR WALL. ROUGH IN PLUMBING FOR FULL BATHROOM AND KITCHEN SINK.
15. PROVIDE SHUT OFF VALVES FOR ALL PLUMBING FIXTURES.
16. ALL WASTE LINES TO BE PVC PIPE.
17. PROVIDE #8 GAUGE WIRE TO AIR CONDENSING UNITS.
18. ALL NEW BATHROOM AND KITCHEN HOOD EXHAUST FANS MUST BE VENTED TO THE EXTERIOR.
19. ALL BATHROOM EXHAUST FANS TO BE "QUIET" TYPE FANS.
20. PROVIDE SHUT OFF DAMPERS FOR SUPPLY AIR DUCTS.
21. PROVIDE SHUT OFF DAMPERS FOR NEW FURNACES, STOVES, WATER HEATER, AND DRYER. PROVIDE GAS LINE SHUT OFF TO REAR OF HOUSE FOR FUTURE GAS GRILL AT LANAI AREA AND IN GARAGE FOR FUTURE GAS FIRED WALL OR UNIT HEATER.
22. HOT WATER HEATER TO BE A HIGH EFFICIENT 75 GAL GAS FIRED WATER HEATER.
23. FOR EXHAUST HOOD IN KITCHEN, PROVIDE NECESSARY AIR MAKE UP IF EXHAUST IS OVER 250 CFM.
24. PROVIDE FROST FREE HOT AND COLD WATER SPICKETS IN GARAGE ON REAR WALL OF GARAGE, PROVIDE ONE COLD WATER FROST FREE SPICKET IN FRONT AND REAR OF HOUSE.

PROPOSED REPLACEMENT HOUSE,
FOR THE
KAZEN RESIDENCE
2325 MILTON ROAD
UNIVERSITY HEIGHTS, OHIO
37822021
DESIGNED BY
JOSEPH E. CALDERWOOD, DESIGNER
440-423-5164

Cedar Road

ORDINANCE NO: 2022-29

AN ORDINANCE ENACTED BY THE CITY OF UNIVERSITY HEIGHTS, CUYAHOGA COUNTY, OHIO HEREINAFTER REFERRED TO AS THE MUNICIPALITY, IN THE MATTER OF THE HEREINAFTER DESCRIBED IMPROVEMENTS TO CEDAR ROAD AND REQUESTS THE COOPERATION OF THE COUNTY OF CUYAHOGA, OHIO, HEREINAFTER REFERRED TO AS THE COUNTY, AND DECLARING AN EMERGENCY

WHEREAS, the MUNICIPALITY has recognized the need for and proposes the improvement of a portion of public highway which is described as follows:

The Resurfacing of Resurfacing of Cedar Road from South Taylor Road to South Green Road in the City of University Heights (the “Project”).

NOW, THEREFORE, IN CONSIDERATION OF THE COVENANTS AND AGREEMENTS HEREIN CONTAINED BETWEEN THE PARTIES HERETO, AND THE MUTUAL AGREEMENT OF THE PARTIES, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF UNIVERSITY HEIGHTS, OHIO THAT:

Section 1. Council hereby agrees as follows:

A. CONSENT

1. That it is declared to be in the public interest that the consent of said MUNICIPALITY be and such consent is hereby given to the COUNTY to participate in the cost of construction of the Project.

B. COOPERATION

1. That the COUNTY and the MUNICIPALITY will cooperate in the Project.
2. That the MUNICIPALITY will prepare construction plans and specifications, including necessary engineering reports, which shall conform to generally accepted engineering practices and principles.
3. That the MUNICIPALITY will arrange for the supervision and administration of the construction contract.
4. That the COUNTY will review the construction plans, estimate, specifications and bid proposal for conformance with section B-2 of this Agreement. County approval of these documents are required prior to the advertisement of the construction contract. The COUNTY will make an inspection of the completed Project.
5. That the MUNICIPALITY shall agree to provide the COUNTY with a complete set of as-built plans upon the completion of the Project.

C. FUNDING

1. MUNICIPALITY hereby agrees to participate with the COUNTY in the cost of the Project by using an allocation from the County Motor Vehicle License Tax Fund to pay the COUNTY’s portion of the project.
2. That the COUNTY shall contribute fifty percent (50%) of the actual cost of construction and construction engineering which is determined to be eligible by the Cuyahoga County Engineer’s policies up to a maximum of \$250,000.

3. In the event MUNICIPALITY secures additional funding for the Project, County's financial contribution and the supplemental funding cannot exceed the total actual cost of the Project.
4. The anticipated construction cost for this project is \$1,649,070. To determine funding eligibility, the COUNTY shall be notified immediately of any significant changes to the scope of work and/or construction cost.

D. MAINTENANCE

That upon completion of said resurfacing, said MUNICIPALITY will thereafter keep said highway open to traffic at all times; and

1. Maintain the resurfacing in accordance with the provisions of the statutes relating thereto and make ample financial provisions for such maintenance; and
2. Maintain the right-of-way and keep it free of obstructions in a manner satisfactory to the COUNTY and hold said right-of-way inviolate for public highway purposes and permit no signs, posters, billboards, roadside stands or other private installations within the right-of-way limits; and
3. That the COUNTY shall continue to maintain the structural elements of any bridge (defined as a structure with a span of twenty feet or greater) located within the limits of the Project in accordance with the applicable sections of the Ohio Revised Code.
4. After construction of the project is complete, the Municipality agrees to follow and maintain post-construction Best Management Practices as outlined in the Municipal Storm Water Permit that is filed with the Ohio Environmental Protection Agency (O.E.P.A.).

E. TRAFFIC

1. That upon completion of the Project, MUNICIPALITY will thereafter keep said highway open to traffic at all times; and
2. Place and maintain all traffic control devices conforming to the Ohio Manual of Uniform Traffic Control Devices on the Project in compliance with the provisions of Section 4511.11 and related sections of the Ohio Revised Code; and
3. That the street or highway shall be and hereby is designated a through highway as provided in Section 4511.07(A)(6) Ohio Revised Code; and
4. Stop signs affecting the movement of traffic on said street or highway within the roadway being improved shall be removed, and no stop signs shall be erected on same except at its intersection with another through highway where traffic does not warrant the installation of a traffic control signal but where the warrants for a "Four-way Stop" as provided in the aforesaid Manual are met; and
5. That no rule or regulation shall be enacted restricting the use of the improved road and/or structure by any class of vehicle or vehicle load permitted by the Ohio

Revised Code to use a public highway. Any existing rule or regulation so restricting road usage shall be rescinded; and

6. The MUNICIPALITY shall prohibit parking in accordance with Section 4511.66 of the Ohio Revised Code unless otherwise controlled by local ordinance or resolution.

F. RIGHT-OF-WAY

1. That all existing street and public right-of-way within the MUNICIPALITY which is necessary for the Project shall be made available therefore.
2. That the MUNICIPALITY will arrange for the acquisition of any additional right-of-way which may be required for the construction of the Project.

G. UTILITIES

1. That the MUNICIPALITY will make arrangements with and obtain agreements from privately owned public utility companies whose lines or structures will be affected by the Project, and said companies have agreed to make any and all necessary arrangements in such a manner as to be clear of any construction called for by the plans of Project, and said companies have agreed to make such necessary arrangements immediately after notification by said MUNICIPALITY.
2. That the COUNTY will participate in the cost of alterations of governmentally-owned utility facilities which come within the provisions of Section 8301 (Utility Reimbursement Eligibility) of the Ohio Department of Transportation's Real Estate Policies and Procedures Manual to the same extent that it participates in the other costs of the project, provided, however, that such participation will not extend to any additions or betterments of existing facilities.
3. That it is hereby agreed that the MUNICIPALITY shall, at its own expense, make all rearrangements of governmentally-owned utilities and/or appurtenances thereto which do not comply with the Provisions of Section 8301 (Utility Reimbursement Eligibility) of the Ohio Department of Transportation's Real Estate Policies and Procedures Manual, whether inside or outside the corporate limits, as may be necessary to conform to the Project.
4. That the construction, reconstruction, and/or arrangement of all utilities shall be done in such a manner as not to interfere unduly with the operation of the contractor constructing the Project, and all backfilling of trenches made necessary by such utility rearrangements shall be performed in accordance with the provision of the Ohio Department of Transportation Construction and Material Specifications.

H. MISCELLANEOUS

1. That if the MUNICIPALITY includes the construction of sanitary sewers, waterlines, area sewers (drainage of area surrounding the Project), alternate bid items, or other items in the Project that are in addition to those now existing and not provided for elsewhere in this Agreement, the MUNICIPALITY agrees to pay, or make arrangements for the payment of, the cost of said additional construction, the cost of preliminary and design engineering and construction supervision.
2. That the MUNICIPALITY shall be solely responsible for the certifications or obligations made or agreed to in Sections F-1, F-2, G-1, G-3, and G-4, and hereby agrees that the COUNTY shall be and is hereby released from any and all damages or claims of the MUNICIPALITY arising from or growing out of the certification or obligations made or agreed to in said Sections F-1, F-2, G-1, G-3, and G-4 hereinabove.
3. For matters relating to this Project, the agent for the COUNTY and liaison officer on the matter contained herein shall be the County Engineer of Cuyahoga County, Ohio, and/or such members of his staff as he may designate.

4. MUNICIPALITY agrees to make all pertinent contractual books and records and other documents pertaining to the Project available to the COUNTY and its designated agents for purpose of audit and examination upon reasonable request.
5. By enacting this Ordinance, the MUNICIPALITY agrees to conduct this transaction by electronic means and agrees that all documents requiring County signatures may be executed by electronic means, and that the electronic signatures affixed by the County to said documents shall have the same legal effect as if that signature was manually affixed to a paper version of the document. The MUNICIPALITY also agrees on behalf of the aforementioned entities and persons to be bound by the provisions of Chapters 304 and 1306 of the Ohio Revised Code as they pertain to electronic transactions, and to comply with the electronic signature policy of Cuyahoga County.

I. AUTHORITY TO SIGN

1. That the Mayor of said MUNICIPALITY is hereby empowered and directed on behalf of the MUNICIPALITY to enter into agreements with the COUNTY necessary to complete the planning and construction of this improvement.
2. That the Mayor of said MUNICIPALITY is hereby empowered and directed on behalf of the MUNICIPALITY to make application to the County of Cuyahoga, Ohio, for approval to use County Motor Vehicle License Tax Funds for the improvement.

Section 3. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements.

Section 3. This Ordinance is hereby declared to be an emergency measure by reason of the need for expediting highway improvement to promote highway safety, and provide it receives the affirmative vote of two-thirds of the members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor, otherwise, it shall take effect and be in force from and after the earliest period allowed by law

CITY OF UNIVERSITY HEIGHTS, OHIO

MICHAEL DYLAN BRENNAN, MAYOR

FIRST READING: _____

PASSED: _____

ATTEST:

KELLY M. THOMAS, CLERK OF COUNCIL

APPROVED AS TO FORM:

LUKE F. MCCONVILLE, LAW DIRECTOR

CERTIFICATE OF COPY

State of Ohio)
County of Cuyahoga)
City of University Heights)

I, _____, as Clerk of the City of University Heights Ohio, do hereby certify that the foregoing is a true and correct copy of the Ordinance adopted by the legislative Authority of the said municipality on the _____ day of _____, 20____, that the publication of such Ordinance has been made certified of record according to law; that no proceedings looking to a referendum upon such Ordinance have been taken; and that such Ordinance and certificate of publication thereof are of record in Ordinance Record No. _____, Page _____.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my official seal, this _____ day of _____, 20____.

Clerk of Council
City of University Heights, Ohio

Ord Cedar Road University Heights



GPD GROUP
Glaus, Pyle, Schomer, Burns & DeNavor, Inc.

Cleveland Office

5595 Transportation Blvd
Suite 100
Cleveland, OH 44125

tel 216.518.5544
fax 216.518.5545
www.gpdgroup.com

May 11, 2022
2022003.01

Honorable Michael D. Brennan, Mayor
City of University Heights
2300 Warrensville Center Road
University Heights, Ohio 44118

RE: Washington/Silsby Intersection Improvements

Dear Mayor Brennan:

The bid documents for this project are ready for bidding purposes and we hereby request permission to advertise for contractor bids.

The project proposes to remove approximately 4000 sq. ft. of Asphalt pavement by bumping out the curbs and tightening up the intersection to make shorter crossings for pedestrians. The asphalt removed will be replaced with grass and bio-swales that will provide a filtering of the street runoff water before it enters the storm sewer system.

The City entered into an agreement with the NEORS D for Community Cost Sharing dollars to pay for this improvement. The City's Agreement was for \$170,644. The price of the project has increased since the Agreement was signed in 2019. The new cost estimate is \$225,000 and we have notified NEORS D of the increase in the estimated price. The City has sufficient funds in their Cost Sharing Account; therefore, the price increase will be covered and the project is approved.

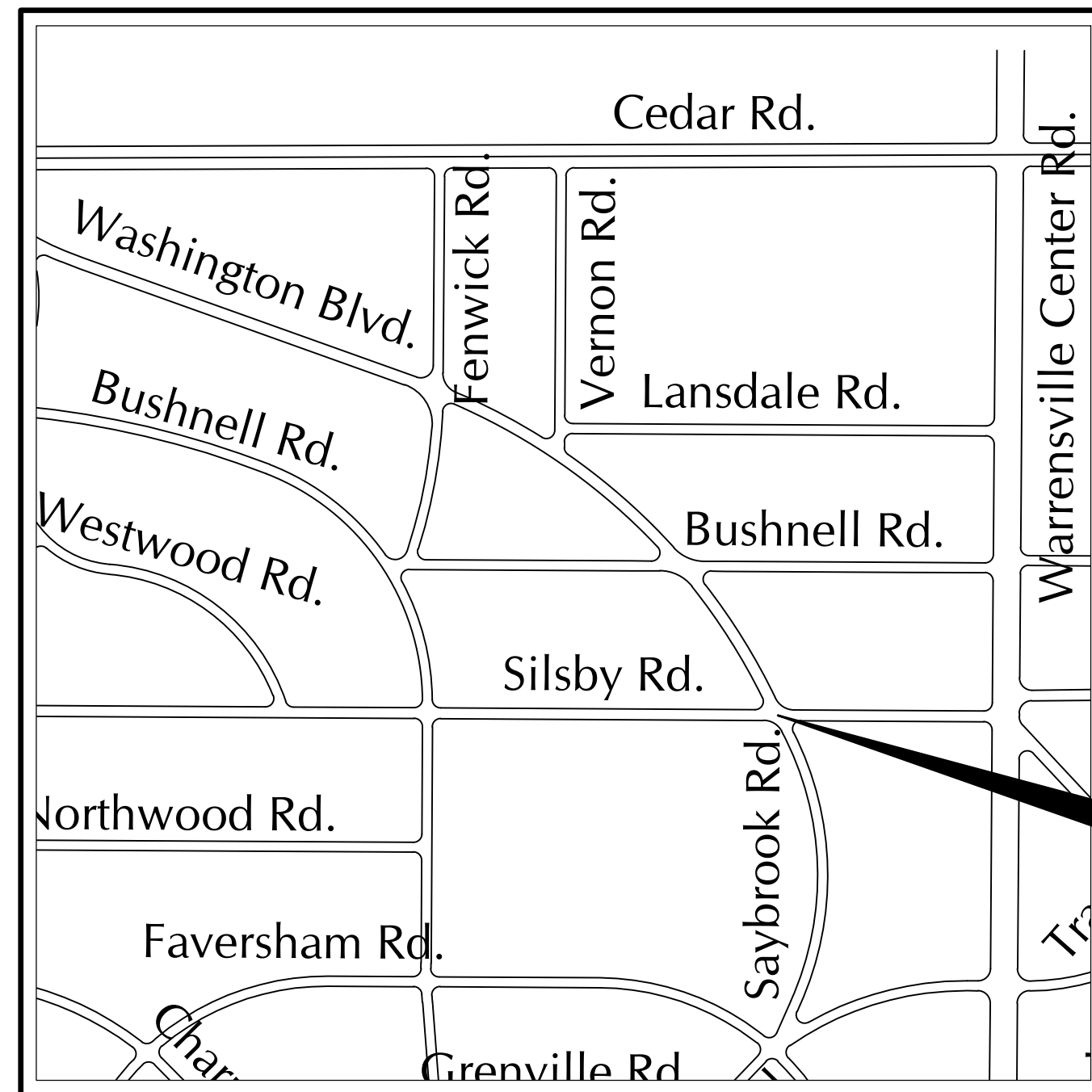
We request permission to advertise for bids.

Very Truly Yours,

Joseph R. Ciuni, P.E., P.S.
City Engineer

Cc: Jeff Pokorny, Service Director
Nick Fini

O:\2020\2020003\02 - Silsby-Washington-Saybrook-Design\Roadway\Sheets\202000302gt001.dwg 18-Dec-20 1:21 PM



LOCATION MAP
NOT TO SCALE

LATITUDE: 41°29'52"N LONGITUDE: 81°32'18"W

WASHINGTON BOULEVARD SILSBY ROAD SAYBROOK ROAD INTERSECTION MODIFICATIONS

CITY OF UNIVERSITY HEIGHTS, OHIO CUYAHOGA COUNTY

PROJECT DESCRIPTION

STORMWATER MANAGEMENT AND STREET BEAUTIFICATION OF WASHINGTON BOULEVARD, SILSBY ROAD, AND SAYBROOK ROAD.

PROJECT EARTH DISTURBED AREA: 0.2452 AC.
ESTIMATED CONTRACTOR EARTH DISTURBED AREA: 0.2452 AC.
NOTICE OF INTENT EARTH DISTURBED AREA: ---- AC.

2019 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

OUPS TICKET NUMBER(S)

A009300632-00A 04-02-2020
A009300634-00A 04-02-2020

INDEX OF SHEETS:

TITLE SHEET	1
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PLAN PREPARED BY:



ENGINEERS SEAL:	STANDARD CONSTRUCTION DRAWINGS						SUPPLEMENTAL SPECIFICATIONS
SIGNED: _____ DATE: _____	BP-5.1	1-18-19	MT-95.31	7-19-19	TC-41.20	10-18-13	
	BP-7.1	7-17-20	MT-97.10	4-19-19	TC-42.20	10-18-13	
			MT-105.10	1-17-20	TC-52.10	10-18-13	
	CB-3CS/T	10-31-13	MT-110.10	7-19-13	TC-52.20	7-20-18	
					TC-71.10	1-19-18	

PROJECT NO.
2020003.02

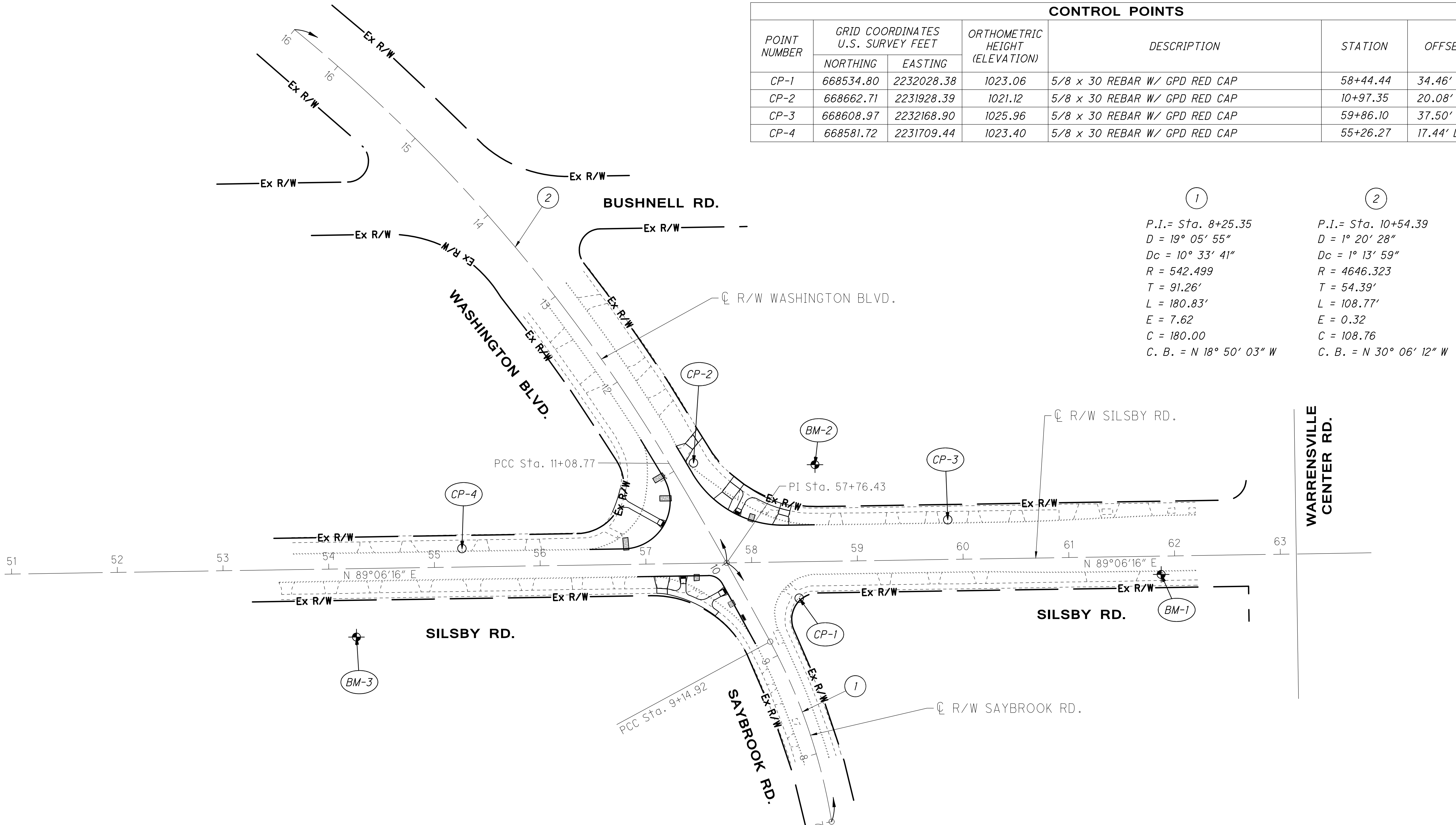
WASHINGTON BLVD., SILSBY RD., & SAYBROOK RD.
UNIVERSITY HEIGHTS

INTERSECTION
MODIFICATIONS

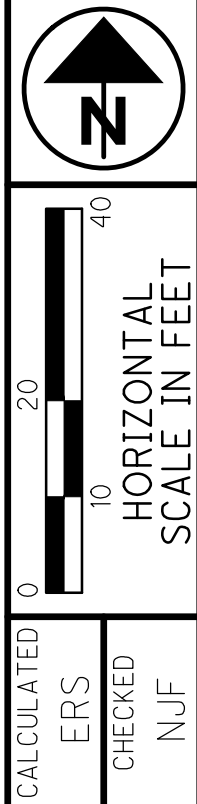
NOTE:
SEE SURVEYING PARAMETERS NOTE IN THE GENERAL
NOTES ON SHEET 6 FOR PROJECT CONTROL INFORMATION.

BENCHMARKS						
POINT NUMBER	GRID COORDINATES U.S. SURVEY FEET		ORTHOMETRIC HEIGHT (ELEVATION)	DESCRIPTION	STATION	OFFSET
	NORTHING	EASTING				
BM-1	668557.26	2232370.68	1032.62	TOP SW BOLT ON OVERHEADSIGN SUPPORT	61+87.05	17.36' RT.
BM-2	668661.10	2232043.30	1025.50	SE CORNER 1ST STONE STEP HN3945 WASHINGTON	58+61.33	91.59' LT.
BM-3	668498.04	2231609.69	1026.27	NE CORNER 1ST STONE STEP HN3906 SILSBY	54+25.23	64.68' RT.

CONTROL POINTS						
POINT NUMBER	GRID COORDINATES U.S. SURVEY FEET		ORTHOMETRIC HEIGHT (ELEVATION)	DESCRIPTION	STATION	OFFSET
	NORTHING	EASTING				
CP-1	668534.80	2232028.38	1023.06	5/8 x 30 REBAR W/ GPD RED CAP	58+44.44	34.46' RT.
CP-2	668662.71	2231928.39	1021.12	5/8 x 30 REBAR W/ GPD RED CAP	10+97.35	20.08' RT.
CP-3	668608.97	2232168.90	1025.96	5/8 x 30 REBAR W/ GPD RED CAP	59+86.10	37.50' LT.
CP-4	668581.72	2231709.44	1023.40	5/8 x 30 REBAR W/ GPD RED CAP	55+26.27	17.44' LT.



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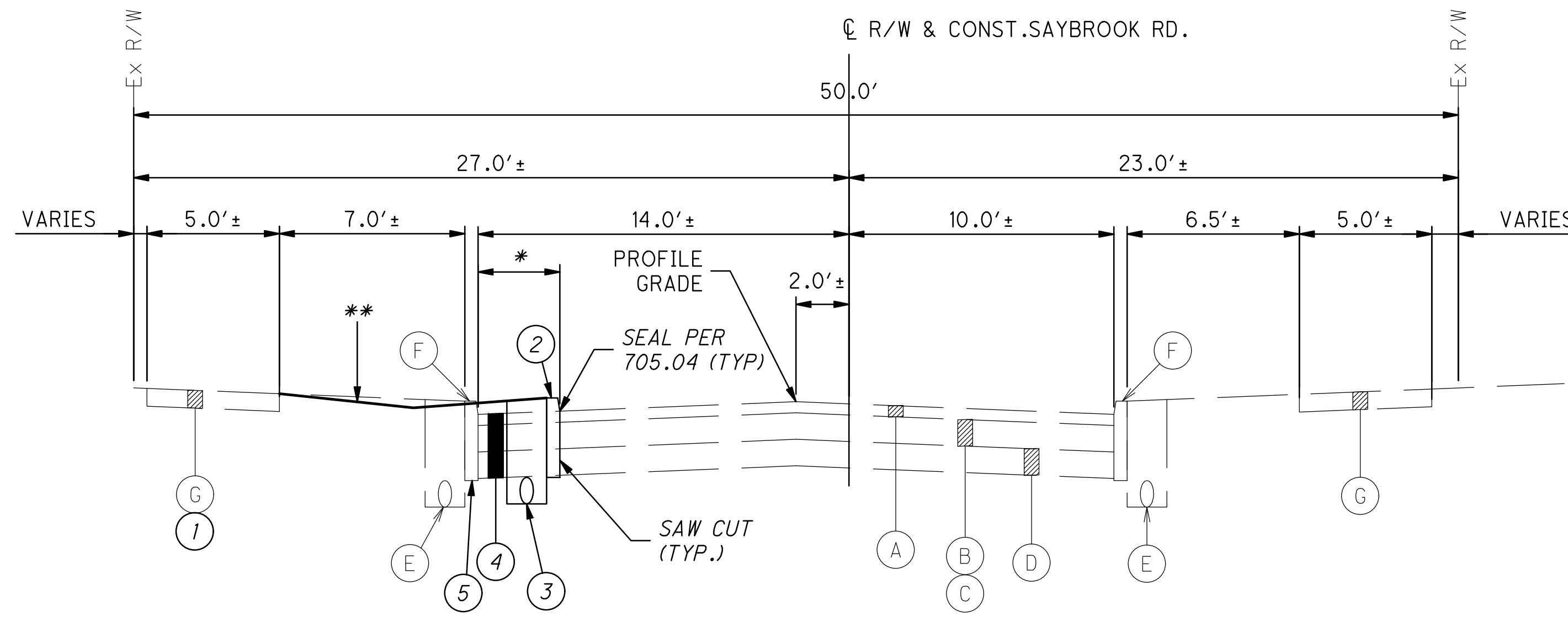


CALCULATED ERS CHECKED NJF

SCHEMATIC PLAN

INTERSECTION MODIFICATIONS

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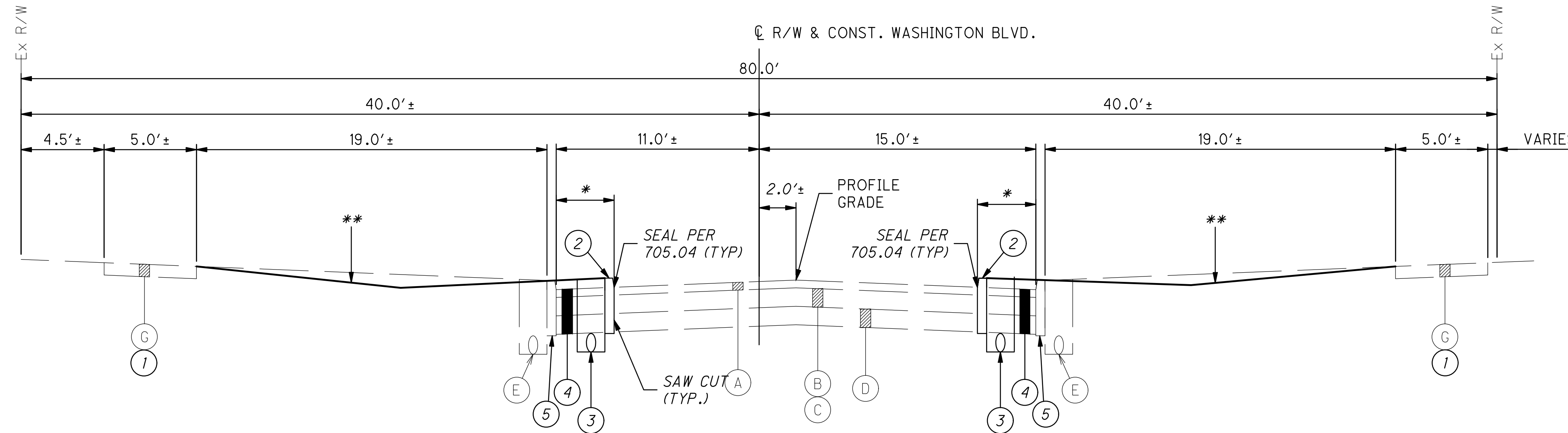


SAYBROOK RD. - EXISTING TYPICAL SECTION

* VARIES - SEE PLAN
 ** SEE LANDSCAPING PLAN

PROPOSED LEGEND

- ① ITEM 608 - 4" CONCRETE WALK, AS PER PLAN
- ② ITEM 609 - CURB, TYPE 6, AS PER PLAN
- ③ ITEM 605 - 6" UNCLASSIFIED PIPE UNDERDRAINS AS PER PLAN
- ④ ITEM 202 - PAVEMENT REMOVED, AS PER PLAN
- ⑤ ITEM 202 - CURB REMOVED



WASHINGTON BLVD. - EXISTING TYPICAL SECTION

* VARIES - SEE PLAN
 ** SEE LANDSCAPING PLAN

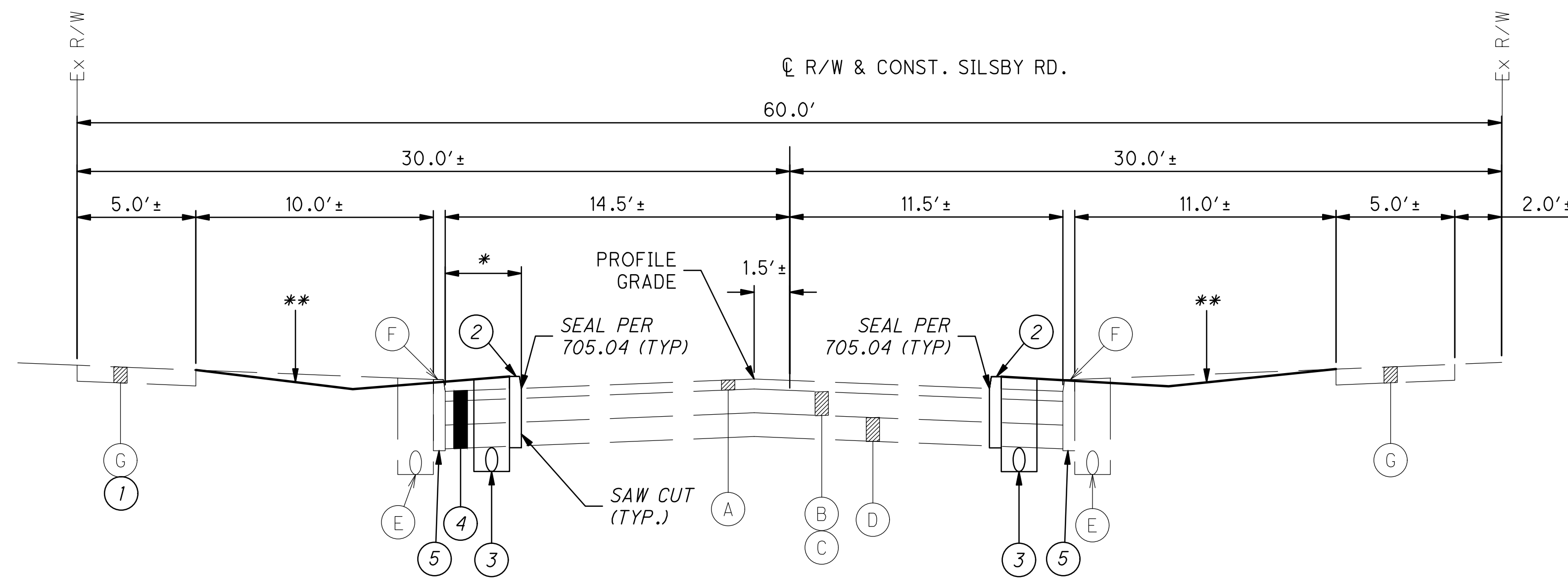
EXISTING LEGEND

- Ⓐ EXIST. ASPHALT CONCRETE
- Ⓑ EXIST. BRICK (IF PRESENT)
- Ⓒ EXIST. ASPHALT CONCRETE BASE
- Ⓓ EXIST. AGGREGATE BASE
- Ⓔ EXIST. UNDERDRAIN (IF PRESENT)
- Ⓕ EXIST. CONCRETE/GRANITE/SANDSTONE CURB
- Ⓖ EXIST. CONCRETE WALK

TYPICAL SECTIONS

INTERSECTION MODIFICATIONS

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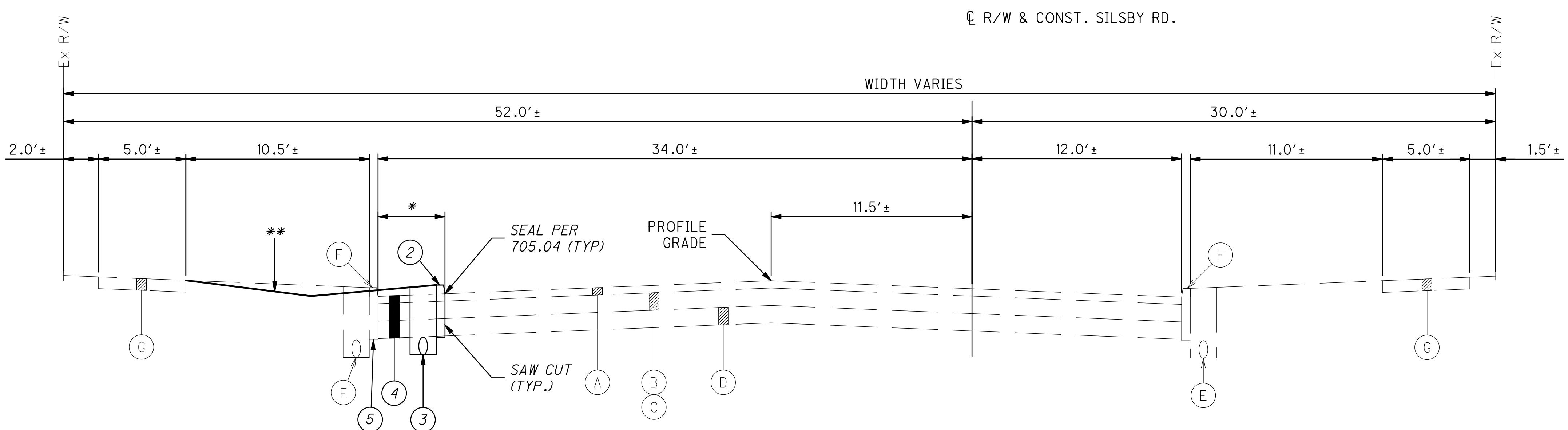


SILSBY RD. - EXISTING TYPICAL SECTION (WEST SIDE)

* VARIES - SEE PLAN
 ** SEE LANDSCAPING PLAN

PROPOSED LEGEND

- ① ITEM 608 - 4" CONCRETE WALK, AS PER PLAN
- ② ITEM 609 - CURB, TYPE 6, AS PER PLAN
- ③ ITEM 605 - 6" UNCLASSIFIED PIPE UNDERDRAINS AS PER PLAN
- ④ ITEM 202 - PAVEMENT REMOVED, AS PER PLAN
- ⑤ ITEM 202 - CURB REMOVED



SILSBY RD. - EXISTING TYPICAL SECTION (EAST SIDE)

* VARIES - SEE PLAN
 ** SEE LANDSCAPING PLAN

EXISTING LEGEND

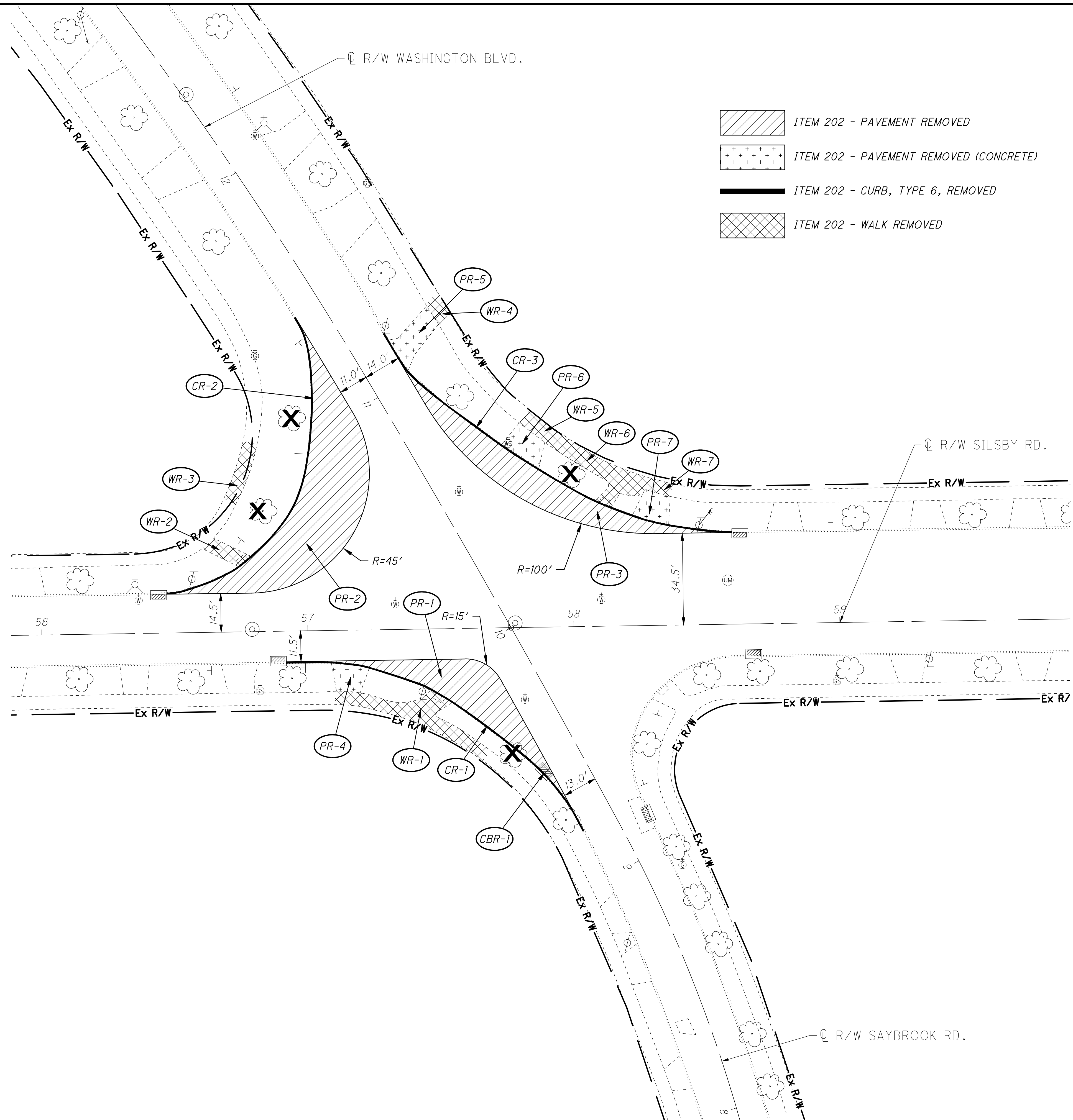
- Ⓐ EXIST. ASPHALT CONCRETE
- Ⓑ EXIST. BRICK (IF PRESENT)
- Ⓒ EXIST. ASPHALT CONCRETE BASE
- Ⓓ EXIST. AGGREGATE BASE
- Ⓔ EXIST. UNDERDRAIN (IF PRESENT)
- Ⓕ EXIST. CONCRETE/GRANITE/SANDSTONE CURB
- Ⓖ EXIST. CONCRETE WALK


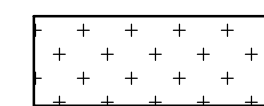

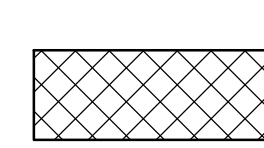
TYPICAL SECTIONS

INTERSECTION MODIFICATIONS

NOTE:
FOR SURVEY CONTROL, SEE SCHEMATIC
PLAN SHEET 2.

ITEM	202	202	202	202	202
	PAVEMENT REMOVED, AS PER PLAN	PAVEMENT REMOVED (CONCRETE)	CURB, TYPE 6, REMOVED	WALK REMOVED	CATCH BASIN REMOVED
UNIT	S.Y.	S.Y.	FT.	S.F.	EACH
PR-1	100				
PR-2	222				
PR-3	115				
PR-4		13			
PR-5		20			
PR-6		16			
PR-7		14			
CR-1			135		
CR-2			133		
CR-3			156		
WR-1				392	
WR-2				83	
WR-3				126	
WR-4				57	
WR-5				76	
WR-6				317	
WR-7				48	
CBR-1					1
TOTAL	437	63	424	1099	1



-  ITEM 202 - PAVEMENT REMOVED
-  ITEM 202 - PAVEMENT REMOVED (CONCRETE)
-  ITEM 202 - CURB, TYPE 6, REMOVED
-  ITEM 202 - WALK REMOVED

CALCULATED
CRW
CHECKED
NUJ

0 20 40
HORIZONTAL
SCALE IN FEET

DEMOLITION PLAN

INTERSECTION
MODIFICATIONS

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GENERAL

CONSTRUCTION SPECIFICATIONS

UNLESS MODIFIED BY THE PROJECT SPECIFICATIONS, PLAN NOTES, PLAN DETAILS OR ORDINANCES OF THE CITY OF UNIVERSITY HEIGHTS, ROADWAY WORK CONSTRUCTION MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH THE 2016 EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION (ODOT), CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMS). IF CONFLICTS OCCUR, THE CITY ENGINEER SHALL DETERMINE THE GOVERNING AUTHORITY.

THE STATE OF OHIO DOT CMS (2019) SHALL BE INCORPORATED BY REFERENCE IN THE CONTRACT DOCUMENTS AND SHALL GOVERN THIS PROJECT EXCEPT AS MODIFIED HEREIN BY SPECIFICATIONS, PLAN NOTES, DETAILS OR AS DESIGNATED BY THE CITY OF UNIVERSITY HEIGHTS.

COPIES OF THE ODOT CMS MAY BE PURCHASED BY CONTACTING:

ODOT
OFFICE OF CONTRACTS
P.O. BOX 899
COLUMBUS, OH 43216-0899
TELEPHONE: 614-466-3778 OR 466-3200

THE CONTRACTOR SHALL KEEP A COPY OF THE 2019 CMS ON SITE.

THE LATEST EDITION OF THE "AMERICAN SOCIETY OF TESTING MATERIALS" MANUAL, INCLUDING ALL GENERAL PROVISIONS CONTAINED THEREIN, SHALL BE INCLUDED IN THIS PROJECT UNLESS SPECIFICALLY AMENDED HEREINAFTER. ALL REFERENCES TO "A.S.T.M." OR "ASTM" SPECIFICATIONS SHOWN HEREIN REFER TO ITEMS IN SAID SPECIFICATIONS.

THE WORK CONTEMPLATED UNDER THE CONTRACT FOR "HARVARD ROAD IMPROVEMENTS" SHALL INCLUDE THE FURNISHING OF ALL MATERIAL, LABOR, SUPERINTENDENCE, TOOLS, AND SERVICES FOR AND INCIDENTAL TO THE IMPROVEMENTS PROPOSED BY THIS CONTRACT AS SPECIFIED HEREIN.

UTILITIES

LISTED BELOW ARE ALL UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS:

CEI FIRST ENERGY AT&T
6896 MILLER RD., SUITE 110 13630 LORAIN AVE., 2ND FLR.
BRECKSVILLE, OHIO 44141 CLEVELAND, OHIO 44111
(440) 546-8738 (216) 476-6142
ATTN. TED RADER ATTN. JAMES JANIS

CHARTER COMMUNICATIONS DOMINION ENERGY
7 SEVERENCE CIRCLE 320 SPRINGSIDE, SUITE 320
CLEVELAND HTS., OHIO 44118 AKRON, OHIO 44333
(216) 575-8016 (330) 664-2409
ATTN. LOU RUBERTINO ATTN. BRYAN DAYTON

CLEVELAND WATER DEPT. VERIZON
1201 LAKESIDE AVE., 6TH FLR. 120 RAVINE ST.
CLEVELAND, OHIO 44114 AKRON, OHIO 44303
(216) 664-2444 X75590 (330) 253-8267
ATTN. FRED ROBERTS ATTN. AL GUEST

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNERS AS REQUIRED BY SECTION 153.64 O.R.C.

DOMINION ENERGY OHIO

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE LATERAL AND SUBJACENT SUPPORT OF DOMINION ENERGY'S PIPELINE(S), IN COMPLIANCE TO 29 CFR, PART 1926, SUBPART P, (SAFE EXCAVATION & SHORING). ONE-FOOT MINIMUM VERTICAL AND HORIZONTAL CLEARANCE MUST BE MAINTAIN BETWEEN DOMINION ENERGY OHIO'S (DEO) EXISTING PIPELINE(S) AND ALL OTHER IMPROVEMENTS. EXTREME CARE SHOULD BE TAKEN NOT TO HARM ANY DEO FACILITY (PIPELINES, ETC.) OR APPURTENANCE (PIPE COATING, TRACER WIRE, CATHODIC PROTECTION TEST STATION WIRES & DEVICES, VALVE BOXES, ETC.). DEO FACILITIES MUST BE PROTECT WITH A TARP DURING BRIDGE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE AND LIABLE FOR ENSURING THAT ALL DEO EXISTING FACILITIES, ABOVE AND BELOW GROUND, REMAIN UNDAMAGED, ACCESSIBLE AND IN WORKING ORDER. THE CROSSING OF DEO'S PIPELINE WITH ANOTHER STEEL FACILITY MAY CREATE A POTENTIAL CORROSION ISSUE FOR THE PROPOSED FACILITY AND THE EXISTING DEO FACILITY. PLEASE CONTACT DOMINION ENERGY OHIO'S CORROSION DEPARTMENT: DAVE CUTLIP (330-266-2121), RICH McDONALD (330-266-2122), OR AL HUMRICHUSER (330-478-3757).

CONSTRUCTION NOISE

ACTIVITIES AND LAND USE ADJACENT TO THIS PROJECT MAY BE AFFECTED BY CONSTRUCTION NOISE. IN ORDER TO MINIMIZE ANY ADVERSE CONSTRUCTION NOISE IMPACTS, DO NOT OPERATE POWER-OPERATED CONSTRUCTION-TYPE DEVICES BETWEEN THE HOURS OF 8 A.M. AND 8 P.M. IN ADDITION, DO NOT OPERATE AT ANY TIME ANY DEVICE IN SUCH A MANNER THAT THE NOISE CREATED SUBSTANTIALLY EXCEEDS THE NOISE CUSTOMARILY AND NECESSARILY ATTENDANT TO THE REASONABLE AND EFFICIENT PERFORMANCE OF SUCH EQUIPMENT.

SURVEYING PARAMETERS

PRIMARY PROJECT CONTROL MONUMENTS GOVERN ALL POSITIONING ON ODOT PROJECTS. SEE SHEET 2 OF THE PLANS FOR A TABLE CONTAINING PROJECT CONTROL INFORMATION.

USE THE FOLLOWING PROJECT CONTROL, VERTICAL POSITIONING, AND HORIZONTAL POSITIONING PARAMETERS FOR ALL SURVEYING:

PROJECT CONTROL

POSITIONING METHOD: ODOT VRS
MONUMENT TYPE: 5/8" x 30" REBAR WITH RED "GPD" CAP

VERTICAL POSITIONING

ORTHOMETRIC HEIGHT DATUM: NAVD88
GEOID: 12B

HORIZONTAL POSITIONING

REFERENCE FRAME: NAD83(2011)
ELLIPSOID: GRS80
MAP PROJECTION: LAMBERT CONFORMAL CONIC
COORDINATE SYSTEM: OHIO STATE PLANE, NORTH ZONE, 3401

COMBINED SCALE FACTOR: 1.0000000000
ORIGIN OF COORDINATE SYSTEM: 0,0

USE THE POSITIONING METHODS AND MONUMENT TYPE USED IN THE ORIGINAL SURVEY TO RESTORE ALL MONUMENTS RELATED TO PRIMARY PROJECT CONTROL THAT ARE DAMAGED OR DESTROYED BY CONSTRUCTION ACTIVITIES. RESTORE THE DAMAGED OR DESTROYED MONUMENTS IN ACCORDANCE WITH CMS 623.

UNITS ARE IN U.S. SURVEY FEET.

EXISTING TYPICAL SECTIONS

EXISTING TYPICAL SECTIONS HAVE BEEN DEVELOPED FROM SITE MEASUREMENTS AND RECORD PLANS AND ARE BELIEVED TO REPRESENT THE WIDTH AND COMPOSITION OF THE EXISTING PAVEMENT, BUT THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SAME.

WORK LIMITS

THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. PROVIDE THE INSTALLATION AND OPERATION OF ALL WORK ZONE TRAFFIC CONTROL AND WORK ZONE TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS.

COOPERATION BETWEEN CONTRACTORS

IT IS ANTICIPATED THAT OTHER CONTRACTORS WILL BE WORKING ON PROJECTS ADJACENT TO OR WITHIN THE LIMITS OF THIS PROJECT, EITHER FOR THE COUNTY OR FOR OTHER PUBLIC AGENCIES. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS/HER OPERATIONS, INCLUDING PROVISIONS FOR THE MAINTENANCE OF TRAFFIC, WITH THE CONTRACTORS OF OTHER PROJECTS THAT MAY BE IN FORCE DURING THE LIFE OF THIS CONTRACT. THE CONTRACTOR'S ATTENTION IS SPECIFICALLY DRAWN TO SECTION 105.08 OF THE CUYAHOGA COUNTY ENGINEER'S GENERAL PROVISIONS. NO WAIVER OF ANY OF THE PROVISIONS OF SECTION 105.08 IS INTENDED.

PROTECTION OF RIGHT-OF-WAY LANDSCAPING

PRIOR TO BEGINNING WORK, THE CONTRACTOR, THE PROJECT ENGINEER, AND A REPRESENTATIVE OF THE MAINTAINING AGENCY WILL REVIEW AND RECORD ALL LANDSCAPING ITEMS WITHIN THE RIGHT-OFWAY (BOTH WITHIN AND OUTSIDE THE CONSTRUCTION LIMITS). A RECORD OF THIS REVIEW WILL BE KEPT IN THE PROJECT ENGINEER'S FILES. PRIOR TO FINAL ACCEPTANCE, A FINAL REVIEW OF LANDSCAPING ITEMS WILL BE MADE.

CONSTRUCT ALL ACTIVITIES, EQUIPMENT STORAGE, AND STAGING TO WITHIN THE CONSTRUCTION LIMITS. UNLESS OTHERWISE IDENTIFIED IN THE PLANS OR PROPOSAL, THE CONSTRUCTION LIMITS ARE IDENTIFIED AS 30 FEET FROM THE EDGE OF PAVEMENT.

SUBMIT A WRITTEN REQUEST TO THE PROJECT ENGINEER TO USE ANY AREA OUTSIDE THESE LIMITS. THE DOCUMENT SUBMITTED MUST CLEARLY IDENTIFY THE AREA AND EXPLAIN THE PROPOSED USE AND RESTORATION OF THE AREA. EXCEPT AS INDICATED ON SHEET ----, USE OF THESE AREAS FOR DISPOSAL OF WASTE MATERIAL AND CONSTRUCTION DEBRIS, EXCAVATION OF BORROW MATERIAL AND PLACEMENT OF PORTABLE PLANTS IS PROHIBITED. THE REQUEST MUST BE APPROVED, IN WRITING, BEFORE THE CONTRACTOR HAS PERMISSION TO USE THE AREA.

ANY ITEMS DAMAGED BEYOND THE CONSTRUCTION LIMITS, AS DEFINED ABOVE, WILL BE REPLACED IN KIND OR AS APPROVED BY THE PROJECT ENGINEER.

PROGRESS SCHEDULE

BEFORE BEGINNING ANY WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL A DETAILED WORK SCHEDULE.

CONTRACTOR'S FIELD SUPERVISOR

THE CONTRACTOR SHALL HAVE A FULL TIME FIELD SUPERVISOR ON THE JOB SITE AT ALL TIMES WORK IS IN PROGRESS. THE FIELD SUPERVISOR SHALL BE ON THE JOB SITE ANY TIME SUB-CONTRACTORS ARE PERFORMING WORK WHETHER OR NOT THE CONTRACTOR'S OWN WORK FORCE IS ON THE JOB SITE. THE FIELD SUPERVISOR SHALL BE AN EMPLOYEE OF THE CONTRACTOR AND SHALL HAVE AUTHORITY TO RESPOND AND TO CARRY OUT DIRECTIVES OF THE ENGINEER, THE SERVICE DIRECTOR OR THEIR REPRESENTATIVES. THE COST OF PROVIDING A FULL TIME FIELD SUPERVISOR SHALL BE CONSIDERED AN INCIDENTAL COST TO THE CONTRACT PROVIDED AT THE CONTRACTOR'S OWN EXPENSE AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR FULL TIME FIELD SUPERVISOR.

CONSTRUCTION OBSERVATION

NO WORK SHALL BE PERFORMED UNLESS IN THE PRESENCE OF THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR IS REQUIRED TO GIVE 24-HOUR NOTICE TO THE CITY OF UNIVERSITY HEIGHTS PRIOR TO BEGINNING OR DISCONTINUING WORK. THE CITY WILL PROVIDE CONSTRUCTION OBSERVATION AT NO COST TO THE CONTRACTOR. HOWEVER, THE CONTRACTOR SHALL RETAIN AT ITS OWN EXPENSE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM CONCRETE AND CEMENT STABILIZATION QUALITY CONTROL. THE TESTING FIRM'S LABORATORY AND ON SITE FIELD TECHNICIAN(S) SHALL BE CERTIFIED AS QUALIFIED TO PERFORM SUCH SERVICE. SAID TESTING LABORATORY SHALL BE SHOWN ON THE LISTING OF SUB-CONTRACTORS FORM OF THE BIDDING DOCUMENTS. THE OWNER RESERVES THE RIGHT TO APPROVE THE TESTING LABORATORY.

EXPERIMENTAL METHODS, EQUIPMENT AND MATERIAL PROHIBITED

THE CONTRACTOR SHALL NOT USE ANY EXPERIMENTAL OR UNTRIED METHODS, OR USE OR INSTALL ANY EXPERIMENTAL OR UNTESTED MATERIALS OR EQUIPMENT OR ANY COMBINATION OF EITHER OR BOTH. EACH BIDDER SHALL, IF SO REQUIRED BY THE OWNER, SUBMIT EVIDENCE ESTABLISHING THAT THE METHOD OF COMPLETING ANY OF THE WORK UNDER THESE SPECIFICATIONS HAS BEEN SUCCESSFULLY USED FOR LIKE WORK FOR A PERIOD OF AT LEAST FIVE (5) YEARS, OR THAT THE MATERIALS OR EQUIPMENT OR ANY COMBINATION OF EITHER OR BOTH PROPOSED TO BE USED ON, OR FURNISHED FOR SUCH CONTEMPLATED WORK, IS OF A RELIABLE MAKE AND IS OF A TYPE THAT HAS BEEN SUCCESSFULLY USED IN PRACTICAL SERVICE OUTSIDE OF THE CONTRACTOR'S WORKS, FOR A PERIOD OF NOT LESS THAN FIVE (5) YEARS.

NOTIFICATION

OUPS: THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 800-362-2764 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION SO THAT EXISTING UTILITIES CAN BE LOCATED. NON-MEMBER UTILITIES MUST BE CONTACTED DIRECTLY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS, AT NO ADDITIONAL EXPENSE TO THE OWNER, TO AVOID DAMAGE TO EXISTING UNDERGROUND AND OVERHEAD UTILITY LINES DURING THE ENTIRE PROJECT. IN THE EVENT OF DAMAGE TO EXISTING PUBLIC AND/OR PRIVATE UTILITIES, THE AGENCY CONCERNED SHALL BE NOTIFIED IMMEDIATELY AND ALL REPAIR WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE AGENCY AT NO ADDITIONAL EXPENSE TO THE OWNER, INCLUDING ANY INSPECTION FEES OR MAINTENANCE CREWS.

CALCULATED
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GENERAL NOTES

INTERSECTION
MODIFICATIONS

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GENERAL (CONT'D.)

CHANGES IN THE WORK

THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT ANY CLAIMS FOR EXTENSIONS OF TIME CAUSED THEREBY SHALL BE ADJUSTED AT THE TIME OF ORDERING SUCH CHANGE. THE VALUE OF SUCH EXTRA WORK OR CHANGE SHALL BE DETERMINED IN ONE OR MORE OF THE FOLLOWING WAYS:

CASE A: AT THE REQUEST OF THE ENGINEER, IN WRITING, THE CONTRACTOR SHALL SUBMIT AN ESTIMATE OF COST FOR THE PROPOSED CHANGE. THE ENGINEER'S APPROVAL OF THE ESTIMATE WILL BE IN THE FORM OF A CHANGE ORDER ISSUED BY THE OWNER TO ALL INTERESTED PARTIES AND SHALL ACT AS AUTHORIZATION FOR THE CONTRACTOR TO PROCEED WITH THE PROPOSED CHANGE.

CASE B: BY UNIT PRICES NAMED IN THE CONTRACT OR SUBSEQUENTLY AGREED UPON BY THE OWNER AND CONTRACTOR IN WRITING.

CASE C: BY COST PLUS PERCENTAGE OR BY COST PLUS A FIXED FEE.

NOTE: THE CHOICE OF CASE A, B AND/OR C LIES WITH THE ENGINEER.

UNDER "C" CASE, THE CONTRACTOR SHALL KEEP AND PRESENT IN SUCH FORM AS THE ENGINEER MAY DIRECT, A CORRECT ACCOUNT OF THE NET COST OF LABOR AND MATERIALS, TOGETHER WITH VOUCHERS. IN ANY CASE, THE ENGINEER SHALL CERTIFY TO THE AMOUNT, INCLUDING REASONABLE ALLOWANCE FOR OVERHEAD AND PROFIT DUE THE CONTRACTOR.

PENDING FINAL ALLOWANCE OF VALUE, PAYMENTS ON ACCOUNT OF CHANGES SHALL BE MADE ONLY ON THE ENGINEER'S ESTIMATE, UNDER CASE "C" ONLY.

IF THE CONTRACTOR CLAIMS THAT ANY INSTRUCTIONS BY DRAWINGS OR OTHERWISE INVOLVE EXTRA COST UNDER THIS CONTRACT, IT SHALL GIVE THE ENGINEER WRITTEN NOTICE THEREOF WITHIN TEN (10) DAYS TIME AFTER THE RECEIPT OF SUCH INSTRUCTIONS EXCEPT IN AN EMERGENCY ENDANGERING LIFE OR PROPERTY, IN WHICH CASE THE REQUIRED TEN (10) DAYS NOTICE SHALL BE WAIVED AND THE APPROVAL PROCEDURE SET FORTH ABOVE SHALL BE FOLLOWED.

WHERE THE CONTRACTOR DEEMS EXTRA COMPENSATION IS DUE FOR WORK OR MATERIALS NOT CLEARLY COVERED IN THE CONTRACT, OR NOT ORDERED BY THE ENGINEER OR OWNER AS AN EXTRA, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ITS INTENTION TO MAKE CLAIM FOR SUCH EXTRA COMPENSATION BEFORE BEGINNING THE WORK ON WHICH SUCH CLAIM IS BASED. IF THE CONTRACTOR FAILS TO GIVE SUCH NOTIFICATION, OR FAILS TO PROVIDE THE ENGINEER WITH APPROPRIATE INFORMATION TO FACILITATE STRICT ACCOUNT OF ACTUAL COSTS, THEN CONTRACTOR HEREBY WAIVES ANY CLAIM FOR SUCH EXTRA COMPENSATION.

THE ENGINEER SHALL HAVE AUTHORITY, BY EITHER VERBAL OR WRITTEN ORDERS, TO MAKE MINOR CHANGES IN THE WORK NOT INVOLVING EXTRA COST, AND NOT INCONSISTENT WITH THE PURPOSES OF THE WORK. EXCEPT IN AN EMERGENCY ENDANGERING LIFE OR PROPERTY, NO EXTRA WORK OR CHANGE INVOLVING EXTRA COST SHALL BE MADE UNLESS IN PURSUANCE OF A WRITTEN ORDER BY THE OWNER, AND NO CLAIM FOR AN ADDITION TO THE CONTRACT SUM WILL BE VALID UNLESS SO ORDERED.

REMOVAL ITEMS

ALL MAILBOXES, PRIVATE SIGNS, HIGHWAY DELINEATORS, AND THE LIKE (WHETHER SHOWN ON THE PLAN OR NOT) ENCOUNTERED IN THE LINE OF WORK SHALL BE CAREFULLY REMOVED AND ERECTED IN A TEMPORARY LOCATION DURING CONSTRUCTION IN A MANNER SATISFACTORY TO THE ENGINEER. AFTER COMPLETION OF CONSTRUCTION AND BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL ERECT THE REMOVED DEVICES IN A PERMANENT LOCATION AS DIRECTED BY THE ENGINEER. ITEMS DAMAGED DURING REMOVAL SHALL BE REPAIRED; REBUILT OR RESTORED TO A CONDITION EQUAL OR BETTER TO CONDITIONS EXISTING PRIOR TO REMOVAL.

ALL COSTS ASSOCIATED WITH PERFORMING THE REMOVAL AND RE-INSTALLATION WORK DESCRIBED ABOVE SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

JOB SITE SAFETY CONSIDERATIONS

THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR REGULATIONS UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STANDARDS FOR THE CONSTRUCTION INDUSTRY, 29 CODE OF FEDERAL REGULATIONS ("29-CFR"), PARTS 1910 AND 1926.

UNDER NO CIRCUMSTANCES SHALL EXTRA PAYMENT BE ALLOWED FOR DELAYS CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH OSHA STANDARDS AND REQUIREMENTS, OR FOR WORK THAT IS DONE TO CURE ANY NON-CONFORMING WORK OR DEFECTS DUE TO CONTRACTOR'S FAILURE TO COMPLY WITH SAID OSHA STANDARDS.

WHERE WORKING IN THE "RIGHT OF WAY" THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION'S REGULATIONS AS SET FORTH IN PART 7 OF THE MANUAL OF TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE OPERATIONS, LATEST EDITION.

PERMITS AND INSPECTION BY OTHER AGENCIES

THE CONTRACTOR SHALL PAY FOR ALL PERMITS, TESTING FEES AND INSPECTION FEES TO BE PERFORMED BY OR REQUIRED BY OTHER AGENCIES AT NO COST TO THE OWNER.

INSPECTION OF THE CONSTRUCTION (OTHER THAN ITEMS MENTIONED ABOVE) WILL BE PERFORMED BY THE OWNER AT NO COST TO THE CONTRACTOR.

TIME OF COMPLETION

WORK ON THIS CONTRACT SHALL COMMENCE WITHIN TEN (10) WORKING DAYS FROM THE DATE OF NOTICE OF AUTHORIZATION TO PROCEED. ALL WORK SHALL BE COMPLETED WITHIN 45 DAYS OF A NOTICE OF AUTHORIZATION TO PROCEED.

INDEPENDENT TESTING LABORATORY

THE CONTRACTOR SHALL PERFORM ALL WORK UNDER THIS SECTION OF THE SPECIFICATIONS. THE CONTRACTOR SHALL HIRE A PRIVATE LABORATORY, AT HIS EXPENSE, TO PERFORM TEST ON CONSTRUCTION MATERIALS. THE TESTING LABORATORY SHALL BE SUBJECT TO THE REVIEW AND PRIOR APPROVAL OF THE ENGINEER. ANY LABORATORY PERFORMING SERVICES UNDER THIS CONTRACT SHALL BE ABLE TO VERIFY ITS INDEPENDENCE FROM THE CONSTRUCTION CONTRACTOR AND SUB-CONTRACTOR, IF ANY, WHOSE WORK IS BEING TESTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY MATERIALS TESTING REQUIRED BY THE CITY AT THE EXPENSE OF THE CONTRACTOR.

COMPRESSIVE STRENGTH AND FLEXURAL STRENGTH TESTING OF THE CONCRETE BEING INCORPORATED INTO THE WORK AND COMPACTION TESTING OF EARTHWORK CONSTRUCTION, SUBBASE/BASE CONSTRUCTION, AND UTILITY TRENCH BEDDING AND BACKFILL CONSTRUCTION WILL BE REQUIRED AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL EMPLOY, AT HIS EXPENSE AN INDEPENDENT TESTING LABORATORY MEETING THE REQUIREMENTS OF ASTM C31 AND APPROVED BY THE ENGINEER.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TESTING LABORATORY A MINIMUM OF 24 HOURS PRIOR TO PERFORMING WORK REQUIRING SAMPLING AND TESTING. THE ENGINEER SHALL HAVE THE AUTHORITY TO CONTACT THE CONTRACTOR'S INDEPENDENT TESTING LABORATORY DIRECTLY TO SCHEDULE SAMPLING AND TESTING SERVICES. ALL COSTS ASSOCIATED WITH SAMPLING AND TESTING SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A COPY OF ALL TESTING REPORTS AND CORRESPONDENCE FROM THE TESTING LABORATORY. THE FOLLOWING GUIDELINES SHALL BE USED FOR SAMPLING AND TESTING CONCRETE:

THE NUMBER OF CYLINDERS TO BE CAST SHALL BE THE LESSER OF ONE CYLINDER PER TRUCK OF CONCRETE DELIVERED OR TWO CYLINDERS PER EACH 50 CUBIC YARDS OF CONCRETE PLACED.

TWO TEST BEAMS SHALL BE CAST EACH MORNING AND TWO ADDITIONAL TEST BEAMS SHALL BE CAST EACH AFTERNOON.

THE CYLINDERS SHALL BE TESTED IN THE LABORATORY IN ACCORDANCE WITH ASTM C39 AND THE BEAMS SHALL BE TESTED IN ACCORDANCE WITH ASTM C78.

PAVEMENTS SHALL NOT BE OPENED TO TRAFFIC UNTIL TEST RESULTS VERIFY THAT 75% OF THE DESIGN STRENGTH OF THE CONCRETE HAS BEEN ACHIEVED.

THE CONTRACTOR AWARDED THIS CONTRACT SHALL COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WORKING IN THE AREA AND SHALL NOT HINDER ACCESS OR CONSTRUCTION ACTIVITIES WITH THE OTHER CONTRACTORS. THE SUCCESSFUL BIDDER AGREES BY SUBMITTING SUCH A BID THAT IT WILL MAKE NO CLAIM FOR ADDITIONAL PAYMENTS OR AN EXTENSION OF TIME FOR THE COMPLETION OF OTHER WORK OR ANY OTHER CONCESSIONS DUE TO COORDINATION WITH ANY OTHER CONTRACTORS.

MAINTENANCE BOND

2 YEAR, 25 PERCENT BOND WILL BE REQUIRED UPON FINAL ACCEPTANCE.

DUST CONTROL

THE CONTRACTOR SHALL ALLEVIATE OR PREVENT A DUST NUISANCE ORIGINATING FROM ITS CONSTRUCTION ACTIVITIES BY APPLYING WATER, CALCIUM CHLORIDE AND/OR STREET SWEEPING WHEN ORDERED BY THE OWNER OR ENGINEER. SUFFICIENT QUANTITIES OF CALCIUM CHLORIDE SHALL BE STORED ON THE JOB SITE AT ALL TIMES TO BE USED FOR DUST CONTROL. STREET SWEEPING SHALL BE BY THE USE OF A MOBILE MECHANICAL STREET SWEEPER WITH BROOM COVER. USE OF TRACTOR-MOUNTED BROOM IS NOT ACCEPTABLE. COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND THERE SHALL BE NO SEPARATE MEASUREMENT OR PAYMENT FOR THIS WORK. IF THE CONTRACTOR FAILS TO ALLEVIATE A DUST NUISANCE AS DIRECTED BY THE OWNER OR ENGINEER, THE OWNER WILL CAUSE THIS WORK TO BE PERFORMED AND THE COST OF SAID WORK SHALL BE DEDUCTED FROM PAYMENTS DUE THE CONTRACTOR.

RESIDENT NOTIFICATION

IN ADDITION TO MAINTENANCE OF TRAFFIC REQUIREMENTS, THE CONTRACTOR SHALL ALSO DISTRIBUTE BY HAND, TYPED NOTICES, WHICH WILL INFORM THE RESIDENTS AND BUSINESS OWNERS OF ANY TEMPORARY DISRUPTION OF SERVICES INCLUDING SANITARY, WATER AND DRIVEWAY ACCESS. THE NOTICES SHALL BE DELIVERED A MINIMUM OF 24 HOURS IN ADVANCE EACH TIME SERVICE IS DISRUPTED. THE NOTICE WILL HAVE A LOCAL PHONE NUMBER THAT RESIDENTS MAY CALL TO ASK QUESTIONS AND A SCHEDULE OF CONSTRUCTION. THE NOTICES SHALL BE OF THE DOOR HANGER TYPE, WHICH SECURES TO THE DOOR HANDLE OF EACH DWELLING. UNSECURED NOTICES WILL NOT BE ALLOWED.

THE CONTRACTOR SHALL ALSO PROVIDE ADDITIONAL NOTICES AS NECESSARY TO INFORM EACH RESIDENT OF THE SCOPE OF WORK TO BE PERFORMED.

ALL NOTICES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO DELIVERY.

NO SEPARATE PAYMENT WILL BE MADE FOR RESIDENT NOTIFICATIONS.

CONTINGENCY QUANTITIES

THE CONTRACTOR SHALL NOT ORDER MATERIALS OR PERFORM WORK FOR ITEMS DESIGNATED BY PLAN NOTE TO BE USED "AS DIRECTED BY THE ENGINEER" UNLESS AUTHORIZED BY THE ENGINEER.

STORMWATER POLLUTION PREVENTION

NO STORMWATER POLLUTION PREVENTION MEASURES ARE INCLUDED IN THE PLANS; HOWEVER THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL DEVICES SUCH AS BUT NOT LIMITED TO: INLET PROTECTION, PERIMETER FILTER FABRIC FENCE, ETC. TO PREVENT SILT AND DEBRIS FORM ENTERING THE STORM OR SANITARY SEWER SYSTEMS.

ESTIMATED QUANTITIES

THE ESTIMATED QUANTITIES INCLUDED IN THE BID DOCUMENTS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR TO ASSIST IN BID DEVELOPMENT AND SHOULD BE CONSIDERED APPROXIMATE ONLY. NEITHER THE OWNER NOR THE ENGINEER GUARANTEES THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR MUST VISIT THE JOB SITE AND VERIFY EXISTING CONDITIONS, QUANTITIES AND DEGREE OF PROJECT DIFFICULTY PRIOR TO SUBMITTING HIS BID.

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GENERAL NOTES

INTERSECTION
MODIFICATIONS

ROADWAY

ITEM 202 - PAVEMENT REMOVED, AS PER PLAN

THIS WORK SHALL CONSIST OF REMOVING EXISTING PAVEMENT AS DESIGNATED HEREIN. NO PAVEMENT CORES HAVE BEEN TAKEN TO DETERMINE THE THICKNESS OF THE EXISTING PAVEMENT. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING PAVEMENT OFF-SITE. FULL DEPTH PAVEMENT SAWING SHALL BE INCLUDED IN THIS ITEM AT NO ADDITIONAL COST.

ITEM 203 - EXCAVATION AND EMBANKMENT, AS PER PLAN

THE WORK FOR THIS ITEM CONSISTS OF THE EXCAVATION AND EMBANKMENT REQUIRED FOR CONSTRUCTING THE PROPOSED BIORETENTION AREAS IDENTIFIED IN THE PLAN. ALL EARTHWORK NECESSARY FOR PREPARING, CONSTRUCTION, AND COMPLETION OF ALL SUBGRADES AND SLOPES IN ACCORDANCE WITH THE GRADES AND ELEVATIONS HEREIN.

THE LUMP SUM QUANTITY SHALL INCLUDE ALL EXCAVATION, FILL, BORROW AND GRADING FOR COMPLETION OF THE WORK.

ITEM 608 - CURB RAMP, AS PER PLAN

CONCRETE SHALL BE CLASS QC MS IN CONFORMANCE WITH ODOT ITEM 499. WALK REMOVAL AND WALK PLACEMENT SHALL BE PAID FOR UNDER THEIR RESPECTIVE ITEMS OF WORK.

ALL EARTHWORK, TOPSOIL, SEEDING, AND MULCHING REQUIRED ADJACENT TO THE CURB RAMP SHALL BE CONSIDERED INCIDENTAL TO THIS ITEM. SEEDING MIX SHALL CONFORM TO ODOT CMS 659.08.

ITEM 202 - WALK REMOVED

ITEM 608 - 4" CONCRETE WALK, AS PER PLAN

ITEM 608 - 6" CONCRETE WALK, AS PER PLAN (DRIVES)

CONCRETE SHALL BE CLASS QC MS IN CONFORMANCE WITH ODOT ITEM 499.

IN ADDITION TO THE ESTIMATED QUANTITIES PROVIDED IN THE PLANS, THE FOLLOWING CONTINGENCY QUANTITY HAS BEEN INCLUDED IN THE GENERAL SUMMARY, FOR USE AS DIRECTED BY THE ENGINEER:

ITEM 202 - WALK REMOVED 250 SF
ITEM 608 - 4" CONCRETE WALK, AS PER PLAN 250 SF

EROSION CONTROL

TEMPORARY SEDIMENT AND EROSION CONTROL

ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SPECIFIED HEREIN, OR DIRECTED BY THE ENGINEER, SHALL BE IN PLACE PRIOR TO ANY EXCAVATION, GRADING OR FILLING OPERATIONS, AND INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. THESE CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED, AS ACCEPTED BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS DOWNSTREAM FROM UNSTABILIZED AREAS. REFER TO THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 6 FOR DETAILS.

THE FOLLOWING ESTIMATED QUANTITIES ARE TO BE USED AS PLACED BY THE CONTRACTOR WITH THE ENGINEER'S CONCURRENCE FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES:

ITEM 832 - INLET PROTECTION 6 EACH
ITEM 832 - PERIMETER FILTER FABRIC FENCE 200 FT

ITEM 659 - SEEDING AND MULCHING, AS PER PLAN

LAWN RESTORATION SHALL BE IN ACCORDANCE WITH ITEM 659-SEEDING AND MULCHING IN THE ODOT SPECIFICATIONS EXCEPT AS HEREINAFTER SPECIFICALLY AMENDED. ALL LAWN RESTORATION WORK SHALL BE PERFORMED BY AN APPROVED LANDSCAPER TO THE SATISFACTION OF THE ENGINEER.

THE AREAS TO BE SEEDED SHALL BE GRADED TO A DEPTH OF AT LEAST THREE INCHES (3") BELOW THE EXISTING OR FINISHED GRADE, AND SUFFICIENT TOPSOIL ADDED AS DETERMINED DURING CONSTRUCTION. ALL EXISTING GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AS SPECIFIED HEREIN.

ALL MATERIALS USED SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED ANY INSPECTIONS REQUIRED UNDER STATE REGULATIONS.

ALL LANDSCAPING MATERIALS SHALL BE INSTALLED IN A SOUND, WORKMANSHIP-LIKE MANNER AND ACCORDING TO ACCEPTED, GOOD CONSTRUCTION AND PLANTING PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER MAINTENANCE OF ALL MATERIALS, AND SHALL KEEP THEM IN A PROPER, NEAT AND ORDERLY APPEARANCE, FREE FROM REFUSE AND DEBRIS AT ALL TIME. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR OF CITATION, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST.

A QUANTITY OF 250 SY HAS BEEN CARRIED TO THE GENERAL SUMMARY.

THE CONTRACTOR SHALL SECURE ADDITIONAL TOPSOIL AS REQUIRED FROM OTHER SOURCES TO PROPERLY GRADE THE TREE LAWNS. THE SOIL SHALL BE LOOSENEED AND RAKED AND COMMERCIAL FERTILIZER OF 10:6:4 FORMULA APPLIED EVENLY TO THE SURFACE AT THE RATE OF TEN (10) POUNDS PER THOUSAND (1,000) SQUARE FEET AND WORKED INTO THE TOP TWO (2) INCHES OF THE SOIL.

BEFORE SOWING GRASS SEED, THE GROUND MUST BE REASONABLY SMOOTH, FRIABLE AND OF EVEN TEXTURE. SEED SHALL NOT BE SOWN WHEN THE SOIL IS MUDDY, BAKED HARD, OR WHEN THE WIND IS BLOWING SO STRONGLY AS TO PREVENT EVEN DISTRIBUTION. SEED SHALL BE SOWN AT THE RATE OF FOUR (4) POUNDS PER THOUSAND (1,000) SQUARE FEET. IN AREAS WHERE EXISTING LAWNS ARE TO BE MATCHED, THE CONTRACTOR WILL ATTEMPT TO DETERMINE THE TYPE OF GRASS SEED ORIGINALLY USED AND USE THE SAME MIXTURE IN ORDER TO CREATE A UNIFORM APPEARANCE.

SEED SHALL BE EVENLY SOWN, LIGHTLY RAKED INTO THE TOP ONE QUARTER INCH (1/4") OF SOIL AND ROLLED LIGHTLY WITH A LAWN ROLLER. IF THE WEATHER IS DRY, THE CONTRACTOR SHALL SPRINKLE THE SURFACE SEEDED UNTIL AN EVEN DENSE GROWTH OF GRASS OVER THE SEEDED AREA IS STARTED.

ALL OTHER ASPECTS OF SEEDING SHALL CONFORM TO ITEM 659 IN THE ODOT SPECIFICATIONS.

PAYMENT FOR ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO COMPLETE THE ABOVE WORK SHALL BE MADE AT THE SQUARE YARD PRICE BID FOR ITEM 659 - SEEDING AND MULCHING, AS PER PLAN. ANY TOP SOIL NECESSARY TO COMPLETE THIS WORK WILL BE INCIDENTAL TO SEEDING AND MULCHING.

DRAINAGE

ITEM 611 - CATCH BASIN, MISC.: CUYAHOGA COUNTY 3C CATCH BASIN WITH SUMP NO TRAP, AS PER PLAN

THIS WORK SHALL CONSIST OF CONSTRUCTING NEW CATCH BASINS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION AND AS DESIGNATED IN THE DRAWINGS. ALL MATERIAL AND WORK SHALL BE IN ACCORDANCE WITH ODOT ITEM 611 WITH THE FOLLOWING MODIFICATIONS:

1. THE PROPOSED CATCH BASINS SHALL BE AS PER THE CUYAHOGA COUNTY ENGINEER STANDARD DRAWING 3C CATCH BASIN OR THE CUYAHOGA COUNTY ENGINEER STANDARD DRAWING TWIN 3C CATCH BASIN AS SPECIFIED IN THE PLANS.
2. ALL NEW CATCH BASINS SHALL BE CONSTRUCTED WITH CONCRETE BLOCKOUTS. CONCRETE SHALL BE CLASS QC MS, FIBER REINFORCED IN ACCORDANCE WITH ODOT ITEM 499. FIBER REINFORCING SHALL BE FIBERMESH INFORCE E3, AS MANUFACTURED BY SI CONCRETE SYSTEMS, OR AN APPROVED EQUAL.
3. ALL COSTS ASSOCIATED WITH THE CASTINGS AND BLOCKOUTS SHALL BE CONSIDERED INCIDENTAL TO THE BASIN WORK.
4. ALL CASTINGS FOR THE CATCH BASINS SHALL BE NEW AND PER CUYAHOGA COUNTY ENGINEER 3C CB OR CUYAHOGA COUNTY ENGINEER TWIN 3C CB. USED CASTINGS WILL NOT BE PERMITTED. THE CASTINGS SHALL MEET THE NPDES PHASE II STORM WATER REGULATIONS. THE CASTINGS SHALL BE PRE-MARKED WITH A FISH EMBLEM AND "DUMP NO WASTE, DRAINS TO WATERWAY" MESSAGE. CASTINGS FOR NEW CATCH BASIN ARE INCLUDED FOR PAYMENT UNDER THIS ITEM.
5. ALL CASTINGS SHALL BE COATED WITH ASPHALTIC PAINT MEETING THE REQUIREMENTS OF AWWA C115/A21.15-88 AND SHALL BE 1 MIL THICK.
6. STRUCTURES SHALL BE BACKFILLED WITH LSM.

PAYMENT FOR THIS WORK SHALL BE AT THE CONTRACT UNIT PRICE BID PER EACH FOR CATCH BASIN, MISC.: CUYAHOGA COUNTY 3C CATCH BASIN WITH SUMP NO TRAP, WHICH PRICE SHALL CONSTITUTE FULL COMPENSATION FOR FURNISHING, HANDLING, AND PLACING ALL MATERIALS, INCLUDING CASTING AND FOR ALL LABOR, EQUIPMENT, TOOLS, AND INCIDENTALS NECESSARY TO COMPLETE THE WORK, INCLUDING NEW CASTINGS AND CONCRETE BLOCKOUTS. INVERT ELEVATIONS PROVIDED ARE FROM FIELD VISITS. FOR ALL PROPOSED BASINS, THE CONTRACTOR IS REQUIRED TO FIELD MEASURE ALL INVERTS PRIOR TO ORDERING. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURE AND SHIPMENT TO SITE.

POST CONSTRUCTION STORM WATER TREATMENT

THIS PLAN UTILIZES STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) FOR POST CONSTRUCTION STORM WATER TREATMENT.

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GENERAL NOTES

INTERSECTION
MODIFICATIONS

DRAINAGE (CONT'D.)

ITEM 605 - 6 INCH UNCLASSIFIED PIPE UNDERDRAIN, AS PER PLAN

THIS WORK SHALL CONSIST OF INSTALLING NEW UNDERDRAINS AT THE BACK OF CURB OF THE RELOCATED ROADWAY CURB AND WITHIN THE BIORETENTION AREAS. WORK SHALL BE IN ACCORDANCE WITH CMS 605 WITH THE FOLLOWING MODIFICATION:

- 1. CONDUIT SHALL BE 6" RIGID PIPE. MATERIAL SHALL MEET REQUIREMENTS OF ASTM D3034 WITH PERFORATIONS. BACKFILL WITH NO. 8 SIZE GRANULAR MATERIAL.

PAYMENT WILL BE MADE AT THE UNIT PRICE PER FOOT AND INCLUDE ALL LABOR, EQUIPMENT, AND MATERIAL NECESSARY TO COMPLETE THE WORK.

PAVEMENT

ITEM 609 - CURB, TYPE 6, AS PER PLAN

CONCRETE SHALL BE CLASS QC MS IN CONFORMANCE WITH ODOT ITEM 499. AC SEALING PER 705.04 AT THE GUTTER SHALL BE INCIDENTAL TO THE ITEM OF WORK.

ITEM 609 - 5 FOOT CONCRETE CURB OPENING, AS PER PLAN

ALL WORK SHALL BE IN ACCORDANCE WITH ODOT CMS 609 AND THE STANDARD DETAILS FOR "P.C.C. CURB OPENING" CONTAINED HEREIN IN THE MISCELLANEOUS DETAILS.

CONCRETE SHALL BE CLASS QC MS PER ODOT ITEM 499. AC SEALING PER 705.04 SHALL BE INCIDENTAL.

MISCELLANEOUS

ITEM 614 - MAINTAINING TRAFFIC, AS PER PLAN

MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH ODOT ITEM 614 AND AS SPECIFICALLY AMENDED HEREIN.

THE CONTRACTOR SHALL BE REQUIRED TO WORK DILIGENTLY AND QUICKLY IN ORDER TO AVOID OR MINIMIZE INTERFERENCES WITH TRAFFIC, BOTH PEDESTRIAN AND VEHICULAR. THE WORK SHALL BE SCHEDULED AND PERFORMED SO THAT NO AREA OF THE PROJECT WILL BE ISOLATED FROM SERVICE BY EMERGENCY VEHICLES AT ANY TIME.

ACCESS TO DRIVEWAYS AND INTERSECTION STREETS SHALL BE MAINTAINED AT ALL TIMES. WHEN IT BECOMES NECESSARY TO INTERFERE WITH ROADS OR DRIVEWAYS, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EXPEDIENTS SUCH AS, BUT NOT LIMITED TO, RAMPING WITH GRINDINGS OR STEEL TRAFFIC PLATES OR TEMPORARY AGGREGATE DRIVE APRONS TO ACCOMMODATE THE TRAVELING PUBLIC IN A MANNER ACCEPTABLE TO THE ENGINEER.

THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUFFICIENT TRAFFIC CONTROL DEVICES INCLUDING TRAFFIC CONES, BARRICADES, WARNING SIGNS AND LIGHTS TO SAFELY DIRECT AND CONTROL TRAFFIC. APPROVED TRAFFIC CONTROL DEVICES SHALL BE THOSE CONFORMING TO THE LATEST EDITION OF THE "OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (OMUTCD) AND ITEM 614, MAINTAINING TRAFFIC OF THE OHIO DEPARTMENT OF TRANSPORTATION CMS. APPROVED TRAFFIC CONTROL DEVICES SHALL BE THOSE ACCEPTABLE TO THE OWNER.

INTERSECTING STREETS WITHIN THE PROJECT LIMITS MAYBE CLOSED ONLY AS NECESSARY WITH THE APPROVAL OF THE ENGINEER AFTER THE CONTRACTOR HAS FURNISHED AND ERECTED THE NECESSARY ROAD CLOSURE SIGNS. THE CONTRACTOR SHALL REMOVE THE SIGNS UPON COMPLETION OF THE WORK.

WHEN INTERSECTING STREETS ARE TO BE CLOSED, THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND SUBSEQUENTLY REMOVE ADEQUATE SIGNS AND BARRICADES FOR THE PURPOSE OF PROVIDING ADVANCE WARNING OF SUCH CLOSURES.

THE CONTRACTOR SHALL NOTIFY THE CITY OF UNIVERSITY HEIGHTS POLICE, FIRE AND SERVICE DEPARTMENTS AT LEAST 72 HOURS BEFORE RESTRICTING OR CLOSING TO TRAFFIC ANY STREET OR CHANGING THE TRAFFIC PATTERN IN ANY WAY.

THE CONTRACTOR SHALL DIVERT TRAFFIC FROM NORMAL CHANNELS BY DRUMS, FLASHING ARROWS AND PAVEMENT MARKINGS. WHERE PART OF THE TRAVELED SURFACE IS CLOSED, THE CONTRACTOR SHALL WARN AND DIRECT TRAFFIC BY USING ONE FLASHING ARROW FOR EACH LANE CLOSED IN ACCORDANCE WITH THE OMUTCD.

THIS WORK WILL BE PAID FOR AT THE LUMP SUM BID PRICE BID.

ITEM SPECIAL - CONTINGENCY ALLOWANCE

THE CONTINGENCY ALLOWANCE IS INCLUDED FOR SUCH SITUATIONS WHEN, IN THE PROSECUTION OF ANY WORK OR AT THE DIRECTION OF THE ENGINEER, IT BECOMES NECESSARY TO MAKE ALTERATIONS OR MODIFICATIONS FOR WORK OR CONDITIONS UNFORESEEN IN WHICH BID ITEMS CAN NOT BE APPLIED OR APPROXIMATE BID QUANTITIES ARE EXCEEDED.

THE LUMP SUM PRICE STIPULATED ON THE BID FORM FOR THIS ITEM SHALL BE ADDED TO THE CONTRACTOR'S BID AMOUNT FOR ALL OTHER BID ITEMS AND INCLUDED AS PART OF THE CONTRACTOR'S TOTAL AMOUNT OF BID. CONTINGENCY ALLOWANCE SHALL ONLY BE USED AT THE DIRECTION AND APPROVAL OF THE ENGINEER.

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GENERAL NOTES

**INTERSECTION
MODIFICATIONS**

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SHEET NUMBER											PARTICIPATION		ITEM	ITEM EXT.	GRAND TOTAL	UNIT	DESCRIPTION	SEE SHEET NO.	CALCULATED CRW	CHECKED NJF	
			5		8		14		15	23	25										
			4											201		4	EACH	ROADWAY TREE REMOVED			
			437											202		437	SY	PAVEMENT REMOVED, AS PER PLAN	8		
			63											202		63	SY	PAVEMENT REMOVED (CONCRETE)			
			1099		250									202		1349	SF	WALK REMOVED			
			424											202		424	FT	CURB, TYPE 6, REMOVED			
			1											202		1	EACH	CATCH BASIN REMOVED			
														203		LUMP	LUMP	EXCAVATION AND EMBANKMENT, AS PER PLAN	8		
					250		1072							608		1322	SF	4 INCH CONCRETE WALK, AS PER PLAN	8		
							183							608		183	SF	6 INCH CONCRETE WALK, AS PER PLAN (DRIVES)	8		
							4							608		4	EACH	CURB RAMP, AS PER PLAN	8		
																		EROSION CONTROL			
					250									659		250	SY	SEEDING AND MULCHING, AS PER PLAN	8		
														832		6	EACH	INLET PROTECTION			
					6									832		200	FT	PERIMETER FILTER FABRIC FENCE			
					200													DRAINAGE			
							8							601		8	CY	ROCK CHANNEL PROTECTION			
														605		675	FT	6 INCH UNCLASSIFIED PIPE UNDERDRAINS, AS PER PLAN	9		
														611		1	EACH	CATCH BASIN MISC.: CUYAHOGA COUNTY 3C CATCH BASIN WITH SUMP NO TRAP, AS PER PLAN	8		
														611		36	FT	8 INCH CONCRETE PIPE, TYPE B			
														611		3	EACH	18 INCH NYOPLAST CATCH BASIN WITH DOME GRATE			
														611		8	EACH	6 INCH UNDERDRAIN CLEANOUT			
														611		30	FT	CONDUIT, TYPE F, FOR UNDERDRAIN OUTLETS			
																		PAVEMENT			
							546							451		546	SF	FIBER REINFORCED CONCRETE APRON, CLASS QC MS, 6 INCH			
							289							451		289	SF	FIBER REINFORCED CONCRETE DRIVEWAY, CLASS QC MS, 6 INCH			
														609		45	SF	5 FOOT CURB OPENING AS PER PLAN	9		
														609		480	FT	CURB, TYPE 6, AS PER PLAN	9		
																		TRAFFIC CONTROL			
									3					630		3	EACH	GROUND MOUNTED SIGN, REMOVE AND RELOCATE			
										391				642		391	FT	CROSSWALK LINE REMOVED			
										77				642		77	FT	STOP LINE REMOVED			
										8				642		8	FT	CENTERLINE DOUBLE-SOLID REMOVED			
														642		468	FT	CROSSWALK LINE			
										80				642		80	FT	STOP LINE			
										8				642		8	FT	CENTERLINE DOUBLE-SOLID			
																		LANDSCAPE & BIORETENTION			
												471		661		471	EACH	CAREX VULPINOIDEA, FOX SEDGE			
												419		661		419	EACH	HEMEROCALLIS 'GOING BANANAS', DAYLILY			
												202		661		202	EACH	IRIS VERSICOLOR, BLUE FLAG			
												67		661		67	EACH	SYMPHYOTRICHUM NOVA-ANGLIAE 'PURPLE DOME'			
										5				662		5	MGAL	LANDSCAPE WATERING	23		
														SPECIAL		1	EACH	BIORETENITON AREA A	23		
														SPECIAL		1	EACH	BIORETENITON AREA B	23		
														SPECIAL		1	EACH	BIORETENITON AREA C	23		
																		MISCELLANEOUS			
														614		LUMP	LUMP	MAINTAINING TRAFFIC, AS PER PLAN	9		
														SPECIAL		LUMP	LUMP	CONTINGENCY ALLOWANCE	9		

GENERAL SUMMARY

INTERSECTION MODIFICATIONS

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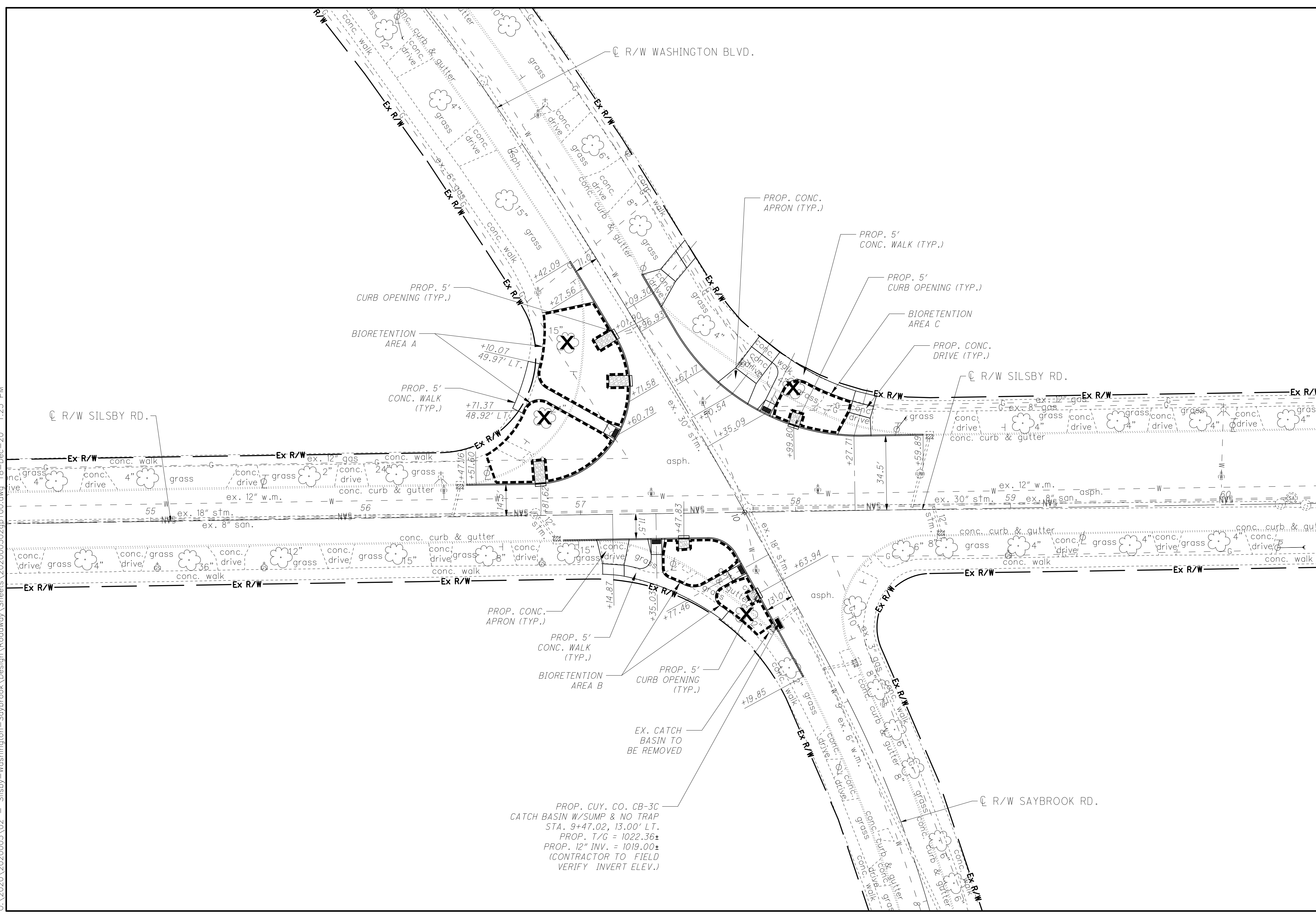
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PROPOSED SITE PLAN

UNIVERSITY HEIGHTS

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PROP. CUY. CO. CB-3C
CATCH BASIN W/SUMP & NO TRAP
STA. 9+47.02, 13.00' LT.
PROP. T/G = 1022.36±
PROP. 12" INV. = 1019.00±
(CONTRACTOR TO FIELD
VERIFY INVERT ELEV.)

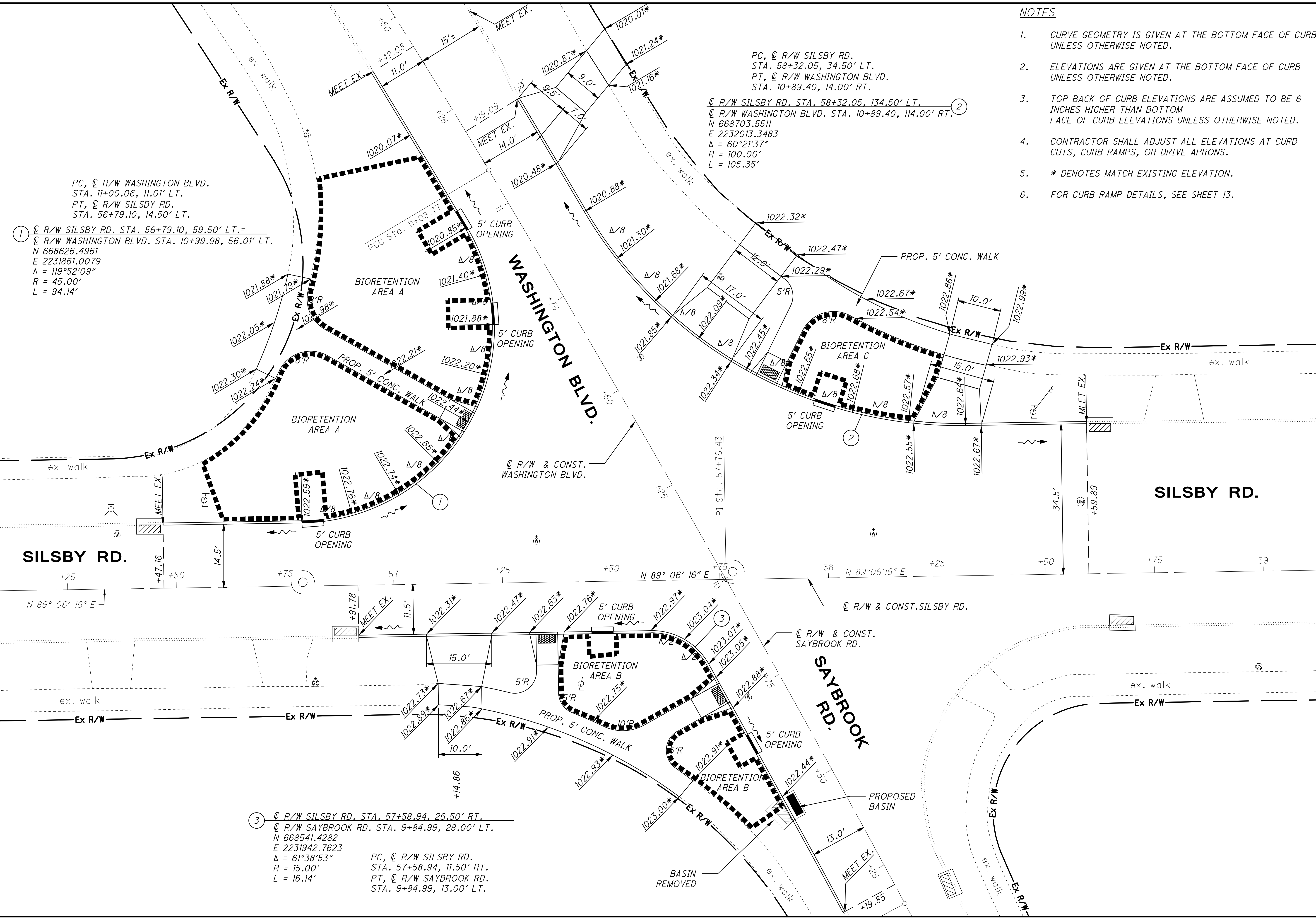
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NOTES

1. CURVE GEOMETRY IS GIVEN AT THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
2. ELEVATIONS ARE GIVEN AT THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
3. TOP BACK OF CURB ELEVATIONS ARE ASSUMED TO BE 6 INCHES HIGHER THAN BOTTOM FACE OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ADJUST ALL ELEVATIONS AT CURB CUTS, CURB RAMPS, OR DRIVE APRONS.
5. * DENOTES MATCH EXISTING ELEVATION.
6. FOR CURB RAMP DETAILS, SEE SHEET 13.

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HORIZONTAL SCALE IN FEET



PC, C R/W WASHINGTON BLVD.
STA. 11+00.06, 11.01' LT.
PT, C R/W SILSBY RD.
STA. 56+79.10, 14.50' LT.

① C R/W SILSBY RD. STA. 56+79.10, 59.50' LT.=
 C R/W WASHINGTON BLVD. STA. 10+99.98, 56.01' LT.
N 668626.4961
E 2231861.0079
 $\Delta = 119^\circ 52' 09''$
R = 45.00'
L = 94.14'

PC, C R/W SILSBY RD.
STA. 58+32.05, 34.50' LT.
PT, C R/W WASHINGTON BLVD.
STA. 10+89.40, 14.00' RT.

C R/W SILSBY RD. STA. 58+32.05, 134.50' LT.
 C R/W WASHINGTON BLVD. STA. 10+89.40, 114.00' RT. ②
N 668703.5511
E 2232013.3483
 $\Delta = 60^\circ 21' 37''$
R = 100.00'
L = 105.35'

③ C R/W SILSBY RD. STA. 57+58.94, 26.50' RT.
 C R/W SAYBROOK RD. STA. 9+84.99, 28.00' LT.
N 668541.4282
E 2231942.7623
 $\Delta = 61^\circ 38' 53''$
R = 15.00'
L = 16.14'

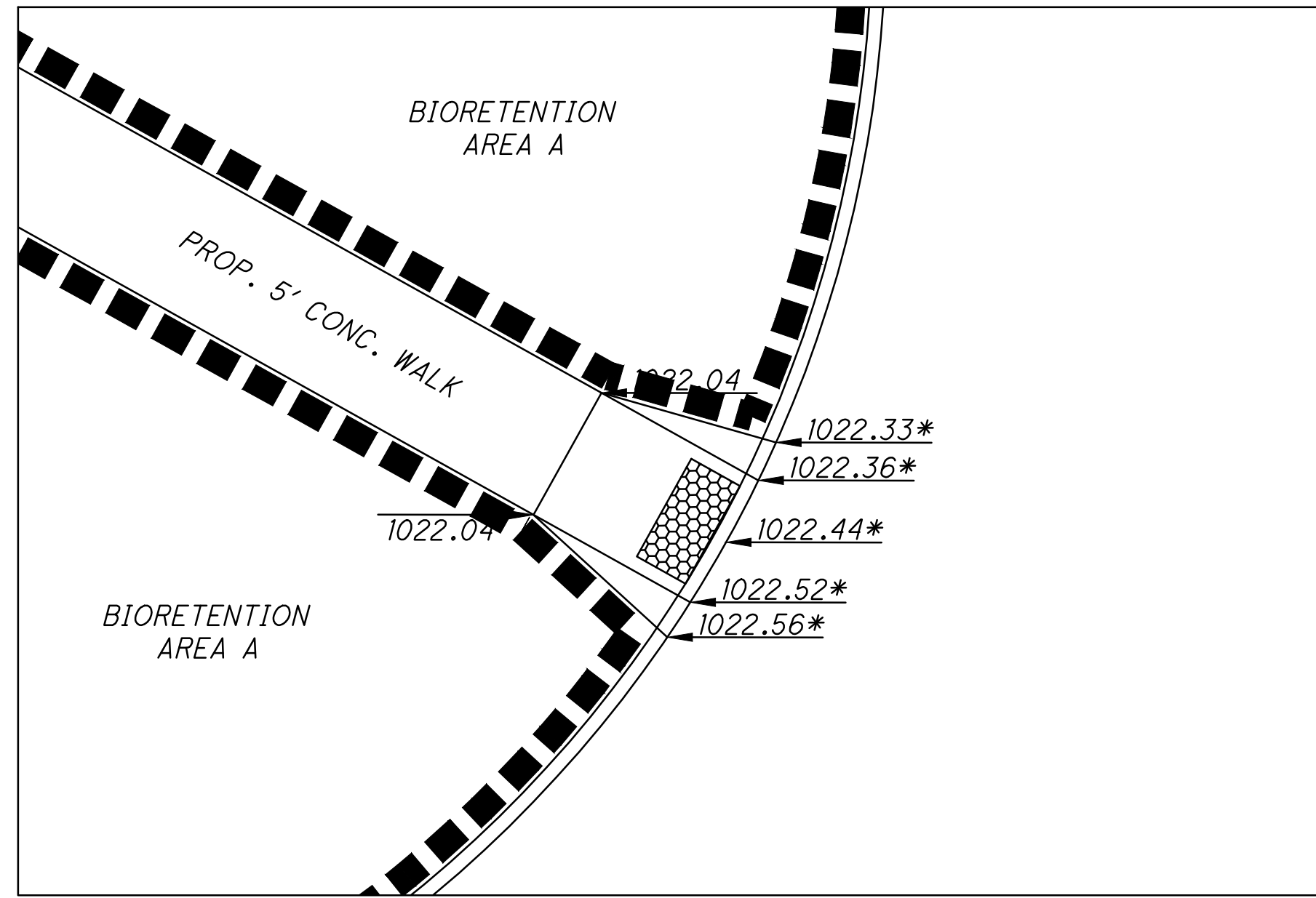
PC, C R/W SILSBY RD.
STA. 57+58.94, 11.50' RT.
PT, C R/W SAYBROOK RD.
STA. 9+84.99, 13.00' LT.

INTERSECTION DETAIL

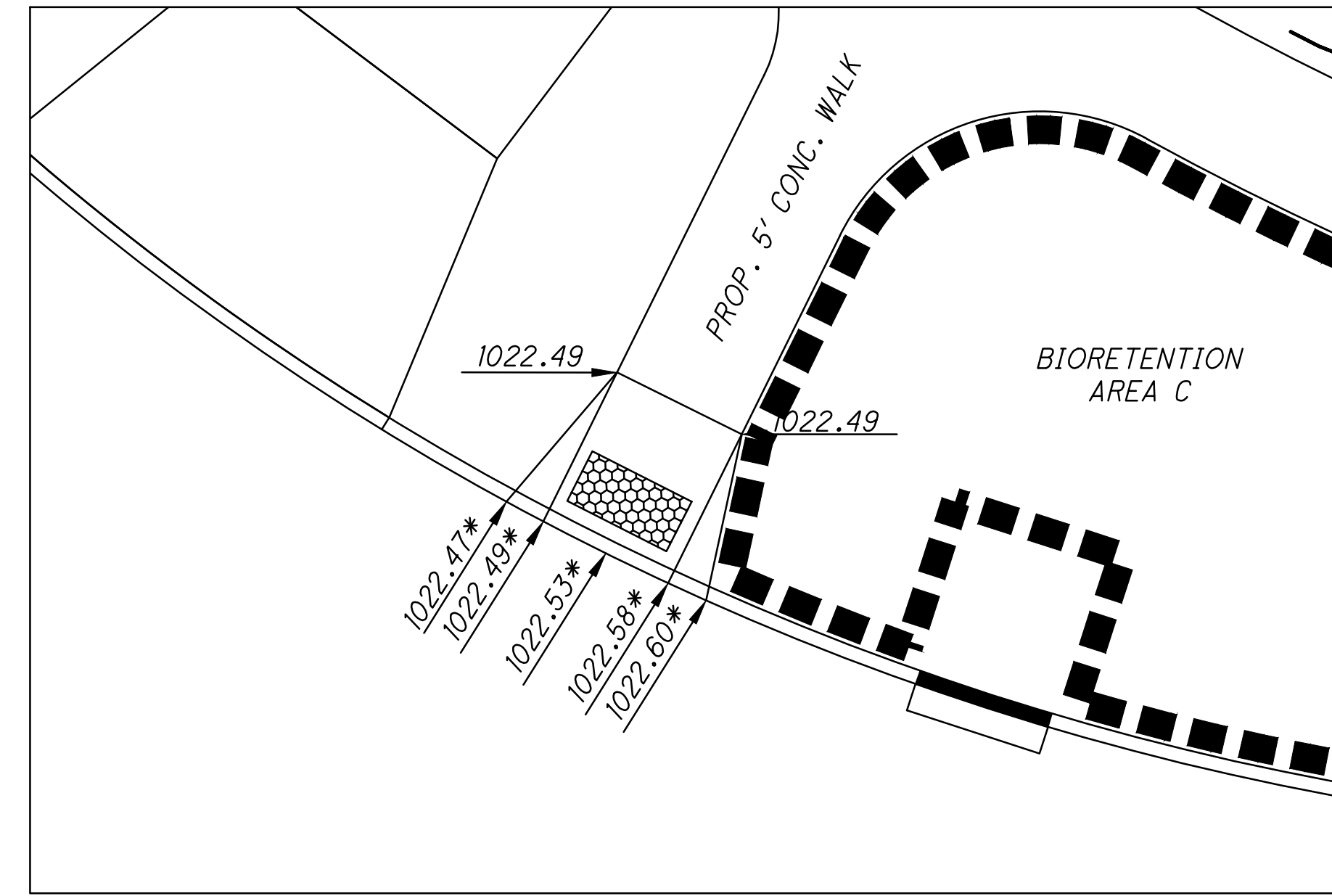
INTERSECTION MODIFICATIONS

NOTES

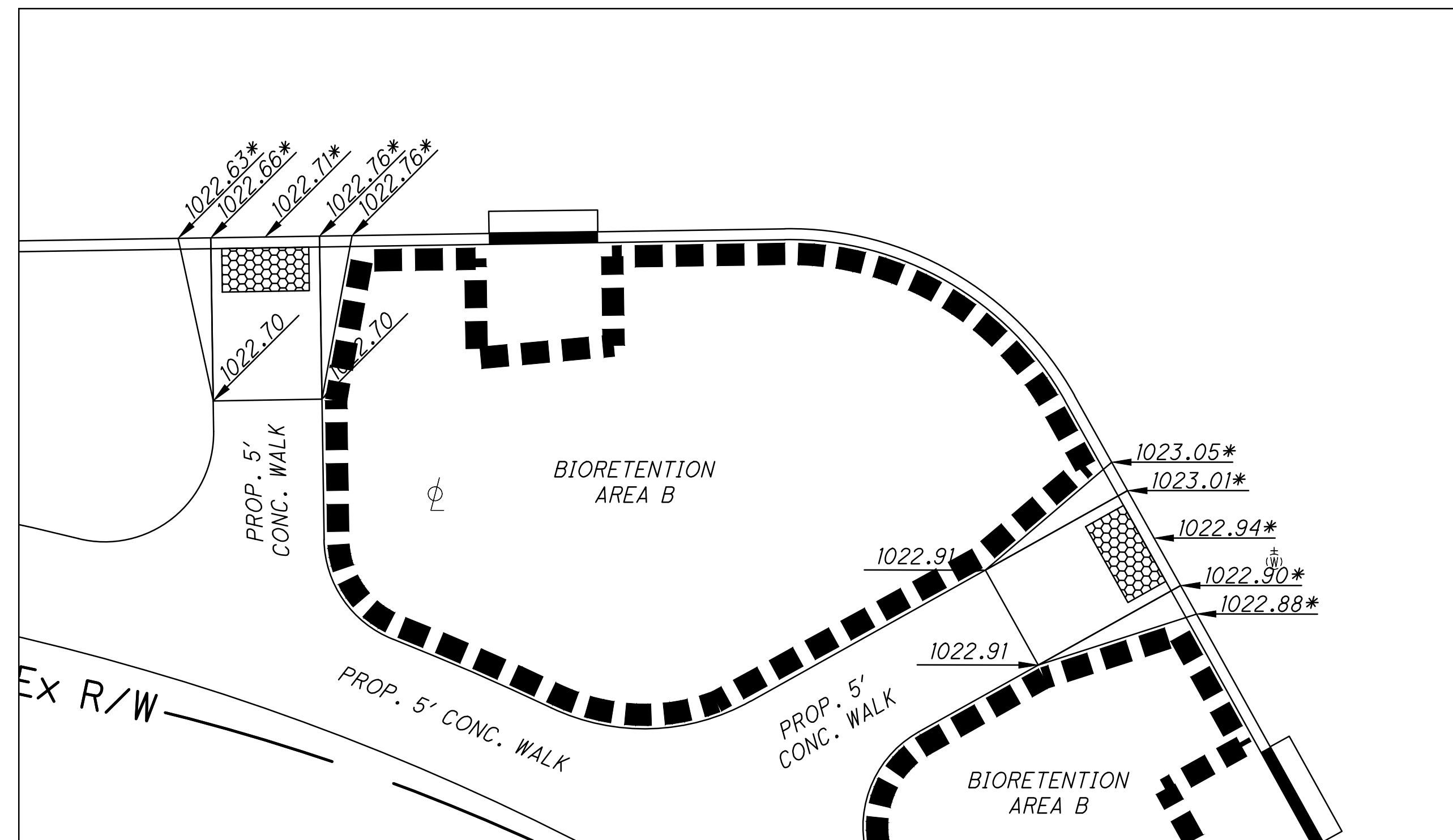
1. CURVE GEOMETRY IS GIVEN AT THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
2. ELEVATIONS ARE GIVEN AT THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
3. TOP BACK OF CURB ELEVATIONS ARE ASSUMED TO BE 6 INCHES HIGHER THAN BOTTOM FACE OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL ADJUST ALL ELEVATIONS AT CURB CUTS, CURB RAMPS, OR DRIVE APRONS.
5. * DENOTES MATCH EXISTING ELEVATION.



N.W. (WASHINGTON)



N.E. (SILSBY)



S.E. (SILSBY & SAYBROOK)

O:\2020\2020003\02 - Silsby-Washington-Saybrook-Design\Roadway\Sheets\202000302\001.dwg 18-Dec-20 1:26 PM

CALCULATED
CRW
CHECKED
NUJ

0 5 10
HORIZONTAL
SCALE IN FEET

CURB RAMP DETAILS

**INTERSECTION
MODIFICATIONS**

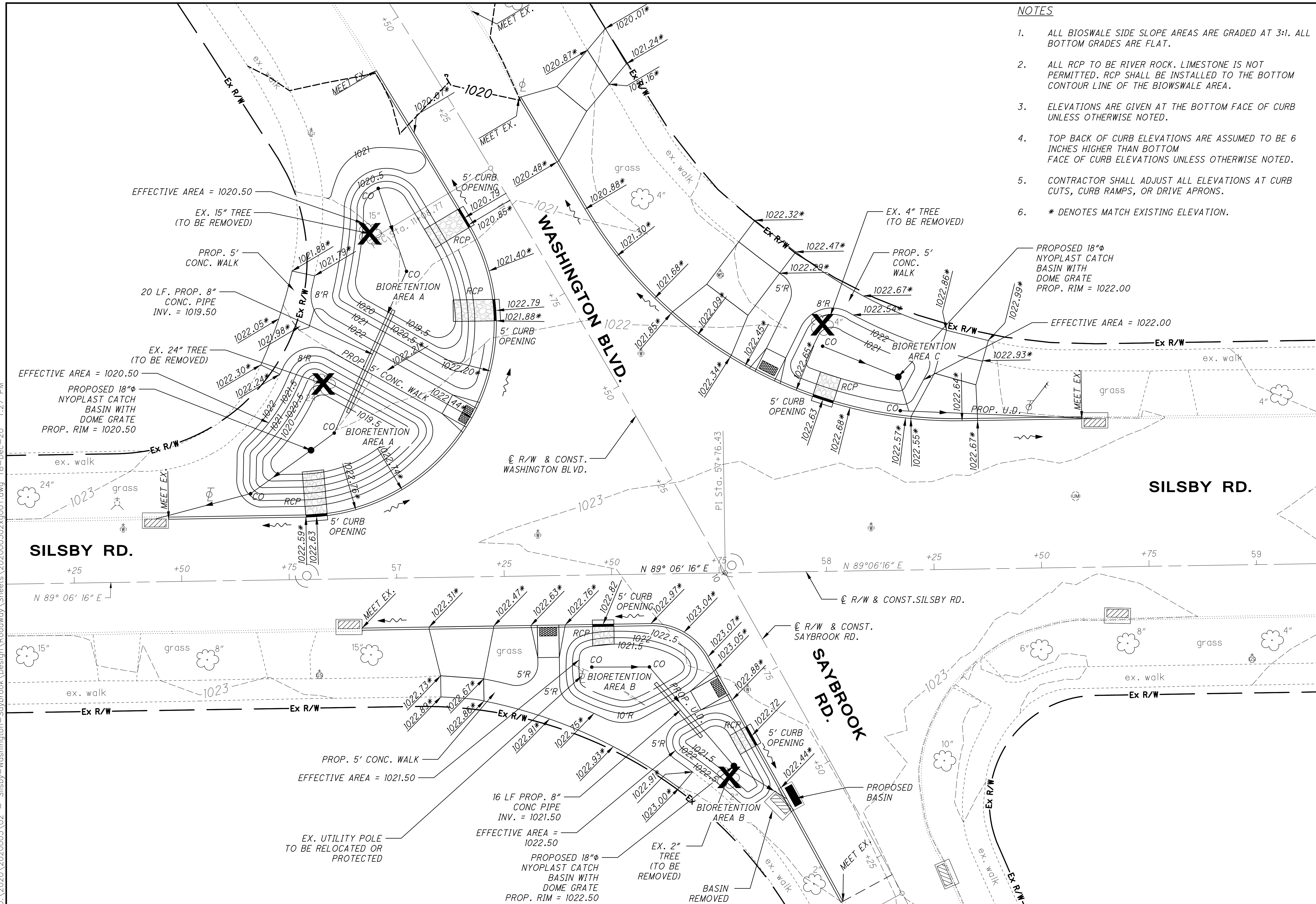
C:\2020\2020003\02 - Silsby-Washington-Saybrook-Design\Roadway\Sheets\202000302xg001.dwg 18-Dec-20 1:27 PM

NOTES

1. ALL BIOSWALE SIDE SLOPE AREAS ARE GRADED AT 3:1. ALL BOTTOM GRADES ARE FLAT.
2. ALL RCP TO BE RIVER ROCK. LIMESTONE IS NOT PERMITTED. RCP SHALL BE INSTALLED TO THE BOTTOM CONTOUR LINE OF THE BIOSWALE AREA.
3. ELEVATIONS ARE GIVEN AT THE BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
4. TOP BACK OF CURB ELEVATIONS ARE ASSUMED TO BE 6 INCHES HIGHER THAN BOTTOM FACE OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL ADJUST ALL ELEVATIONS AT CURB CUTS, CURB RAMPS, OR DRIVE APRONS.
6. * DENOTES MATCH EXISTING ELEVATION.

CALCULATED 0
CRW 10
CHECKED NJF

HORIZONTAL SCALE IN FEET

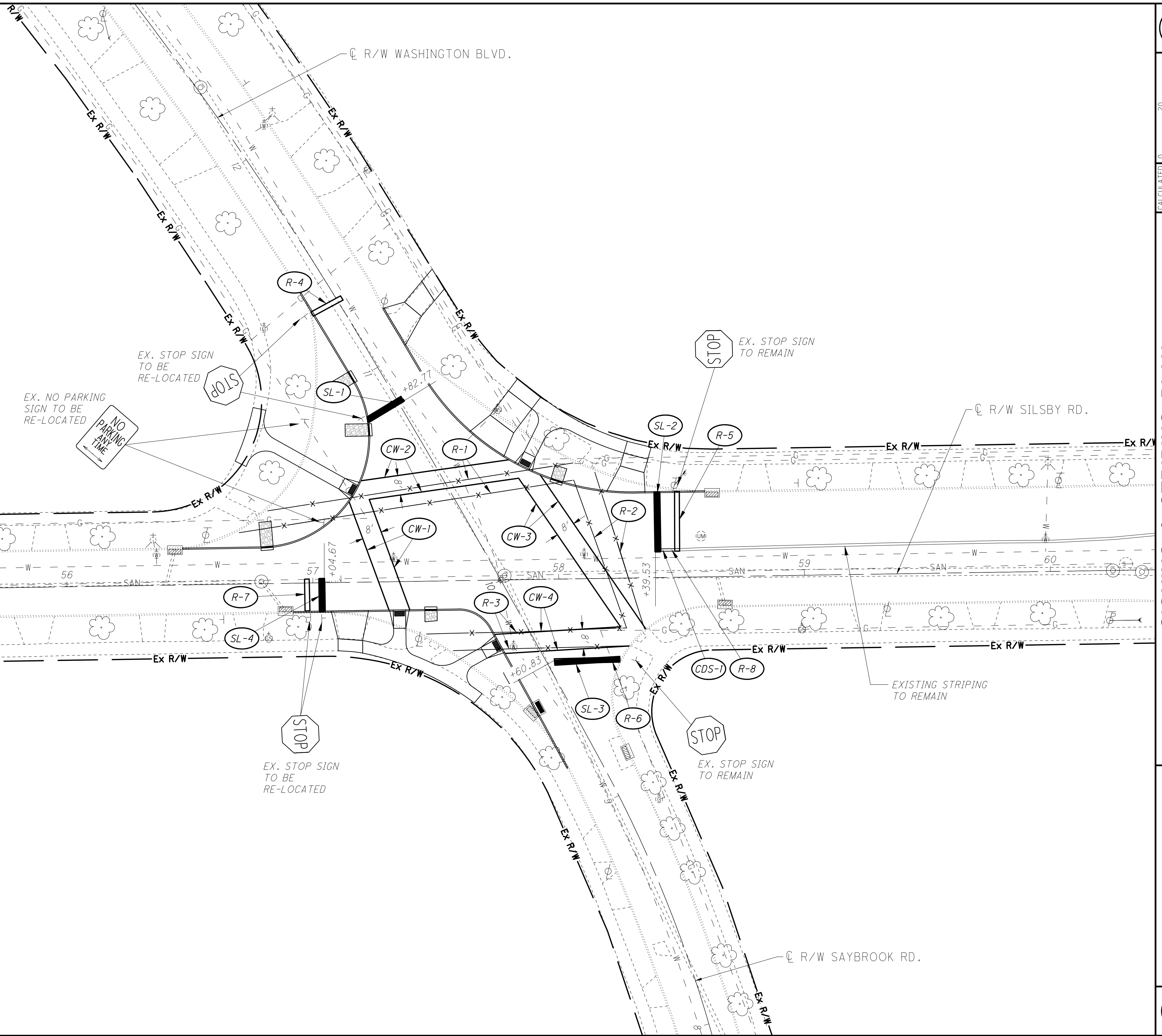


GRADING PLAN

INTERSECTION MODIFICATIONS

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ITEM DESCRIPTION	642	642	642	642	642	642
	CROSSWALK LINE REMOVED	STOP LINE REMOVED	CENTERLINE DOUBLE-SOLID REMOVED	CROSSWALK LINE	STOP LINE	CENTERLINE DOUBLE-SOLID
CW-1				95		
CW-2				122		
CW-3				149		
CW-4				102		
R-1	165					
R-2	120					
R-3	106					
SL-1					17	
SL-2					24	
SL-3					26	
SL-4					13	
R-4		14				
R-5		24				
R-6		26				
R-7		13				
CDS-1						8
R-8			8			
TOTAL	391	77	8	468	80	8



CALCULATED
CRW
CHECKED
NUJ

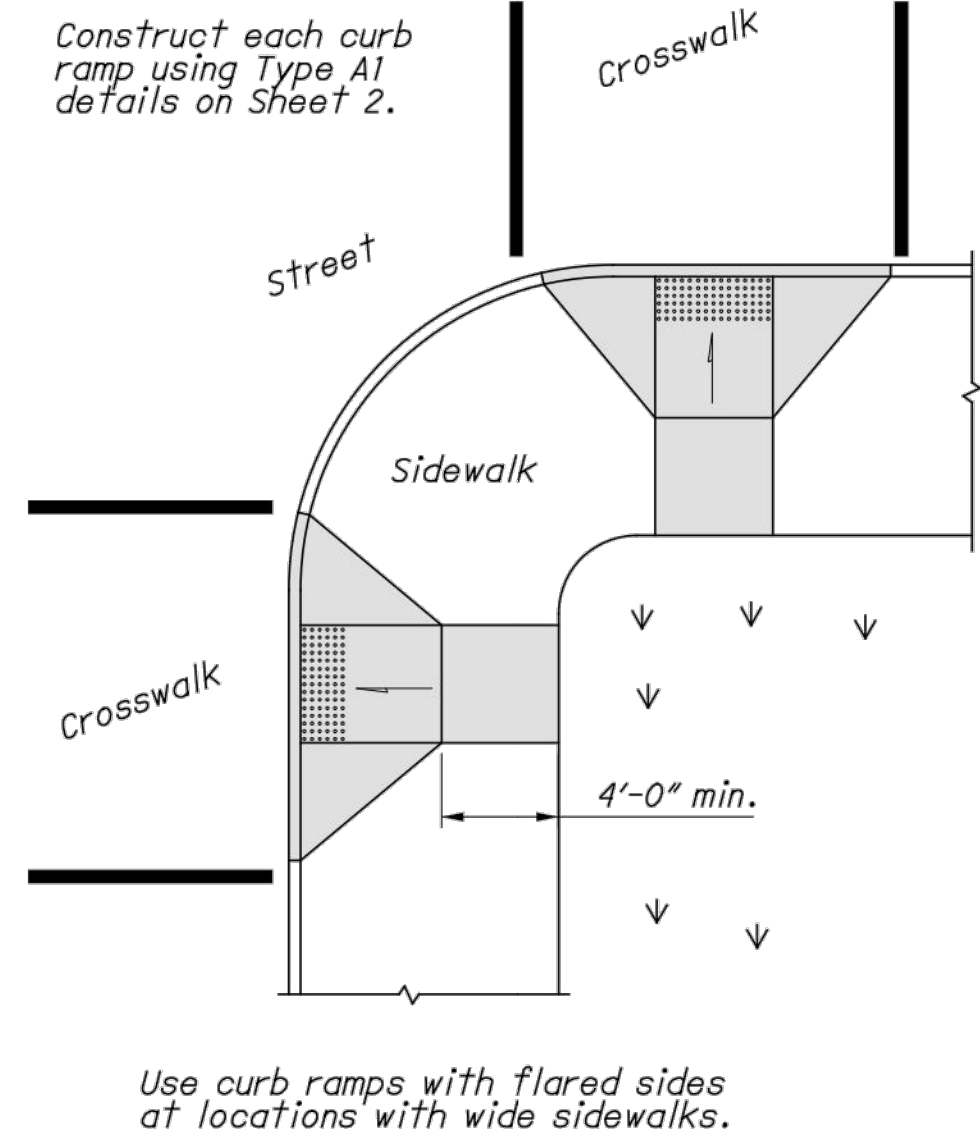
0 20 40
HORIZONTAL
SCALE IN FEET

SIGNING & STRIPING PLAN

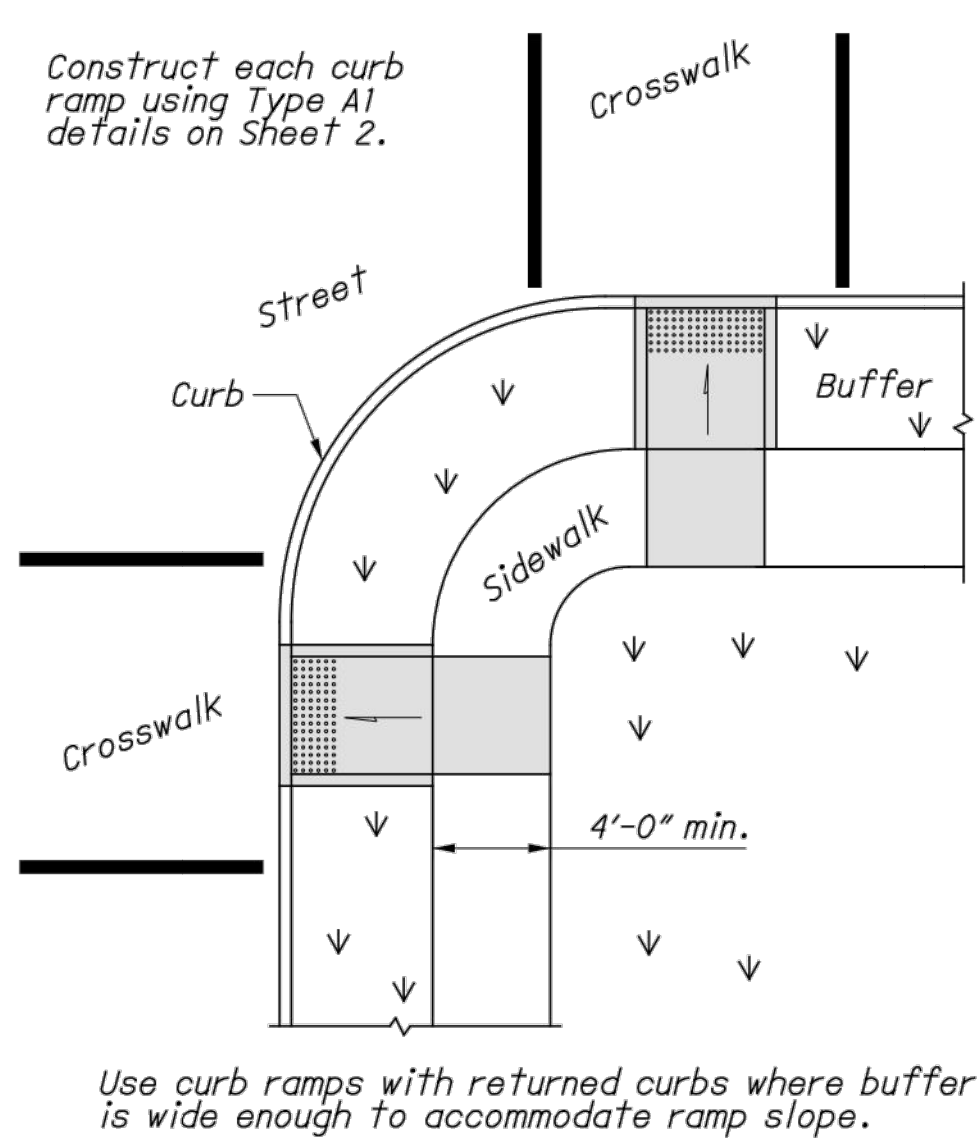
UNIVERSITY HEIGHTS

O:\2020\2020003\02 - Stisby-Washington-Saybrook\Design\Roadway\Design\Roadway\Sheets\202000302gm001.dwg 18-Dec-20 1:28 PM

\\vtcf007.dat.state.oh.us\Roadway\Standards\Publications\LDMA\Distibutions\ldm 2020-07-17\working\STANDARD.DWG BP-7.1 Updates\3-18-20 BP-7.1-2018-07-20.dgn Sheet 1 7/13/2020 10:30:44 AM mquadr

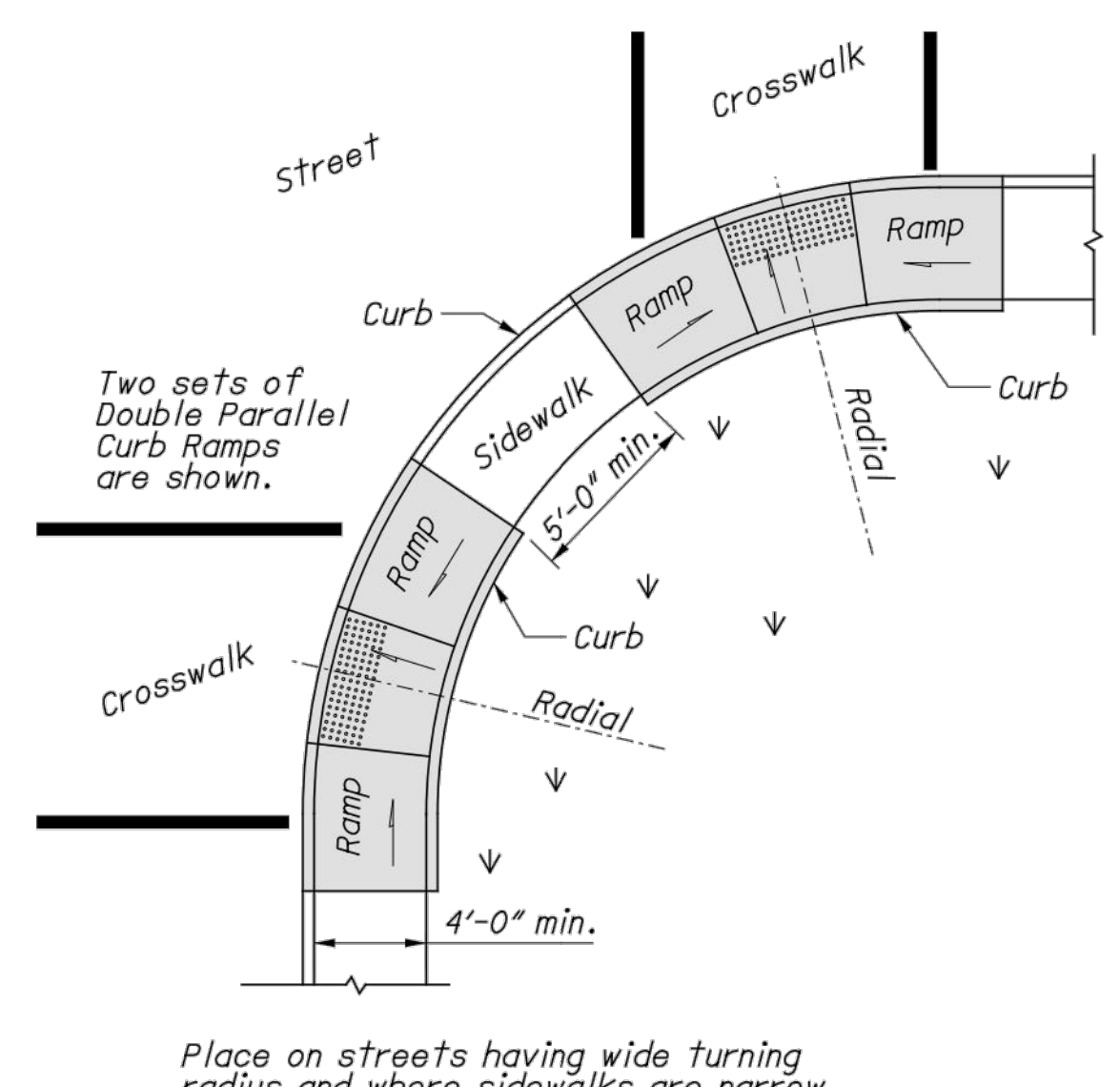


Use curb ramps with flared sides at locations with wide sidewalks.



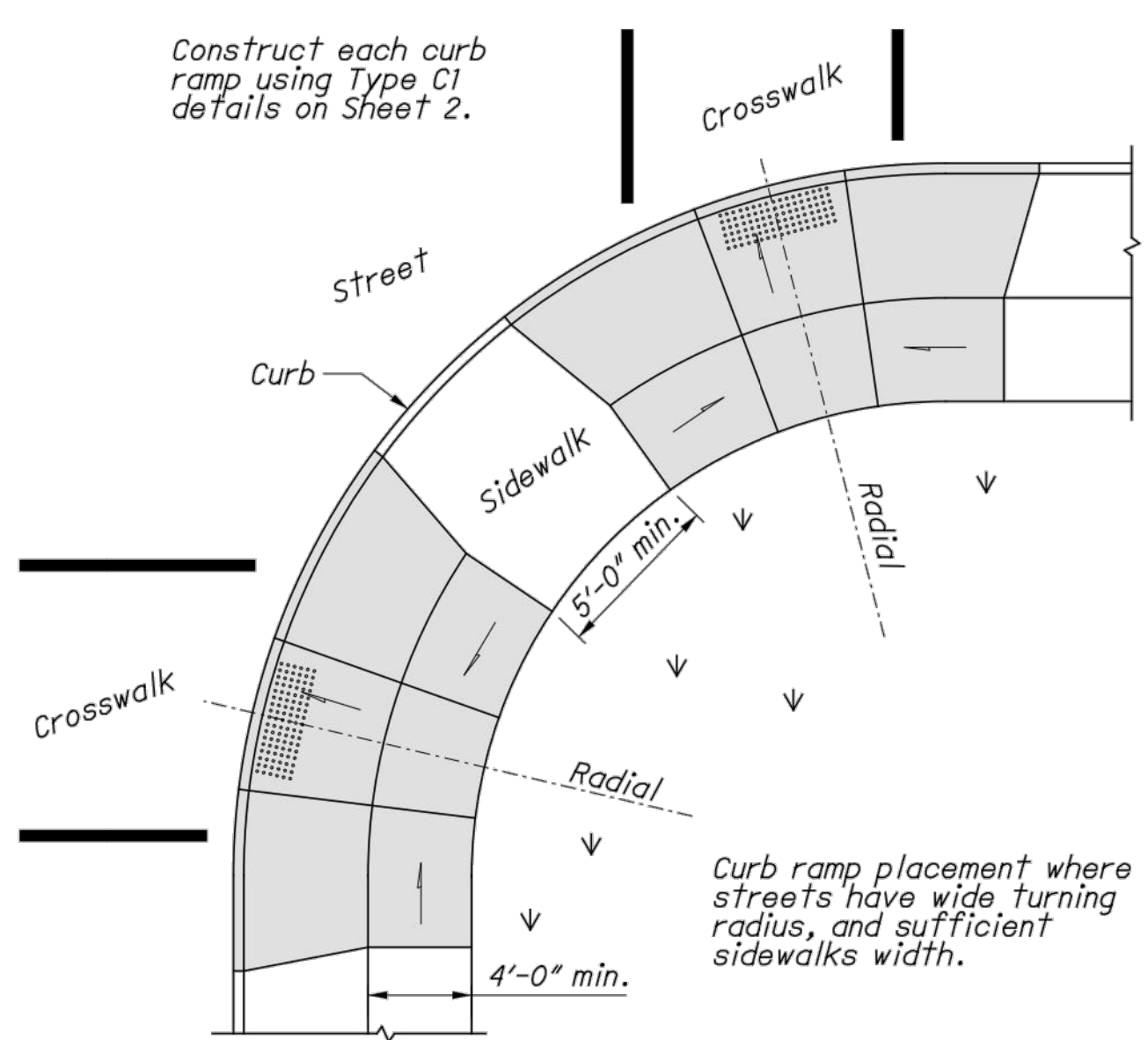
Use curb ramps with returned curbs where buffer is wide enough to accommodate ramp slope.

PERPENDICULAR CURB RAMPS



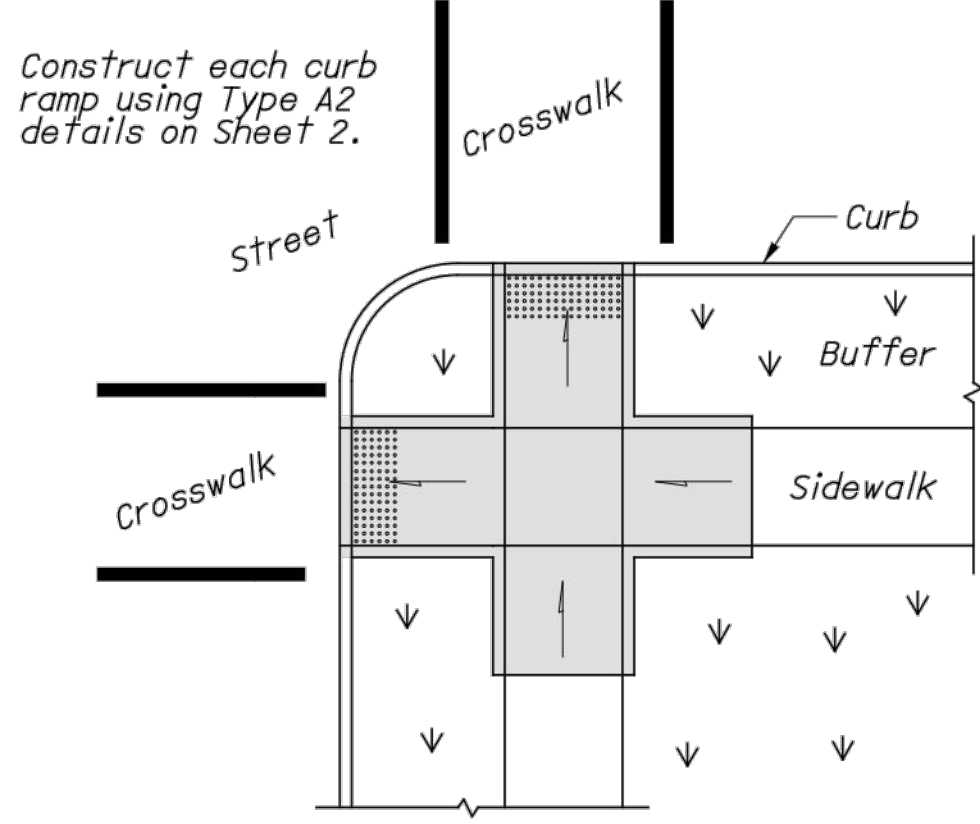
Place on streets having wide turning radius and where sidewalks are narrow.

PARALLEL CURB RAMPS



Curb ramp placement where streets have wide turning radius, and sufficient sidewalks width.

COMBINATION CURB RAMPS



NOTES

GENERAL: This drawing shows curb ramp types details and placement examples for curb ramp construction, including the installation of detectable warnings.

Curb ramp types are shown on Sheet 2 and include Perpendicular, Parallel, and Combined types as specified to be constructed in the locations shown on the project plans.

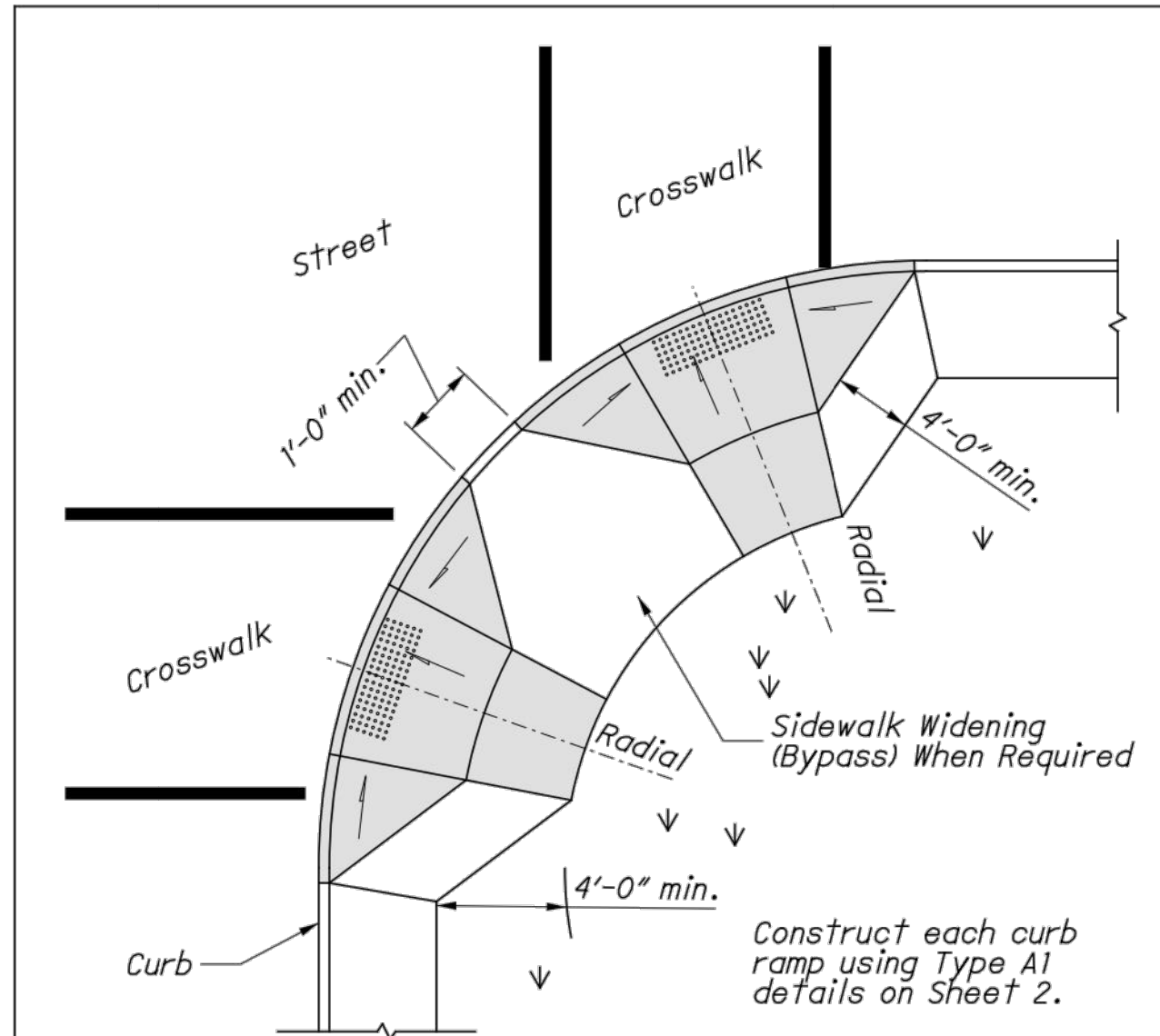
Curb ramps added to an existing intersection or walk should be individually detailed on the project plans to assure that the design is appropriate for site constraints and all items can be constructed to ADA standards. The contractor may adjust the placement of curb ramps if existing field conditions warrant with the approval of the Engineer.

PAYMENT: Measure and pay for the ramp area within the shaded limits of this drawing as Item 608 Curb Ramp, Square Foot. This includes the cost of any curb or curb and gutter, detectable warnings, landing areas and any additional materials, installation, grading, forming, and finishing required within the shaded area.

Work beyond the shaded ramp/landing area is paid for as curb (609) and walk (608). Removal of existing curb, walk (or existing curb ramps) are paid under Item 202.

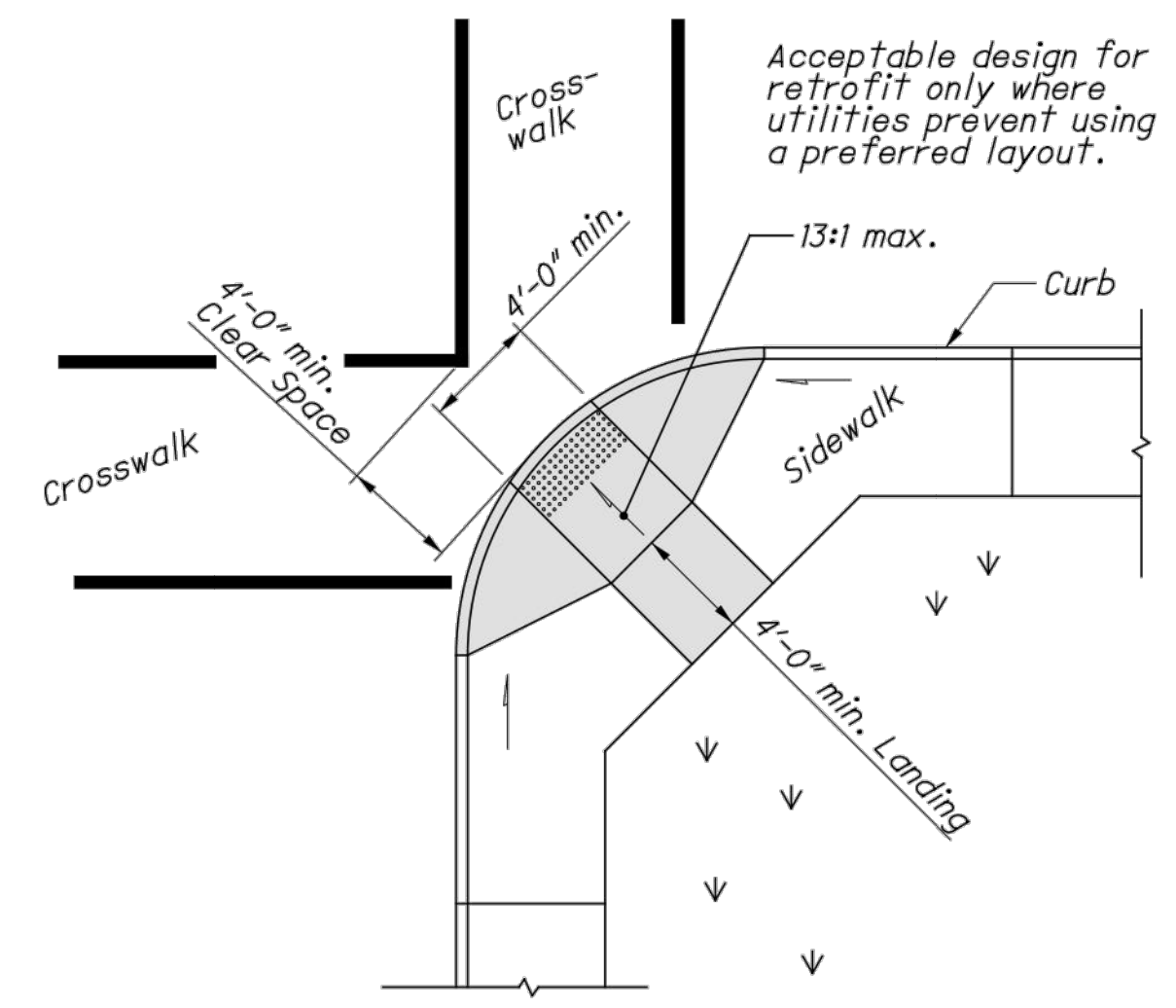
For at-grade crossing locations where only detectable warnings are required in order to achieve ADA compliance, measure and pay for the strip of detectable warnings as Item 608 Detectable Warning, Square Foot. The work to cast the tiles in place will also require removal of existing pavement (Item 202) to the nearest joint, or if no joint exists, a minimum of 4 feet.

PREFERRED CONSTRUCTION PLACEMENT



Acceptable design on corners with wide turning radius where user is able to maneuver within crosswalk limits so as not to encroach into adjacent traveled lanes.

PERPENDICULAR RAMPS



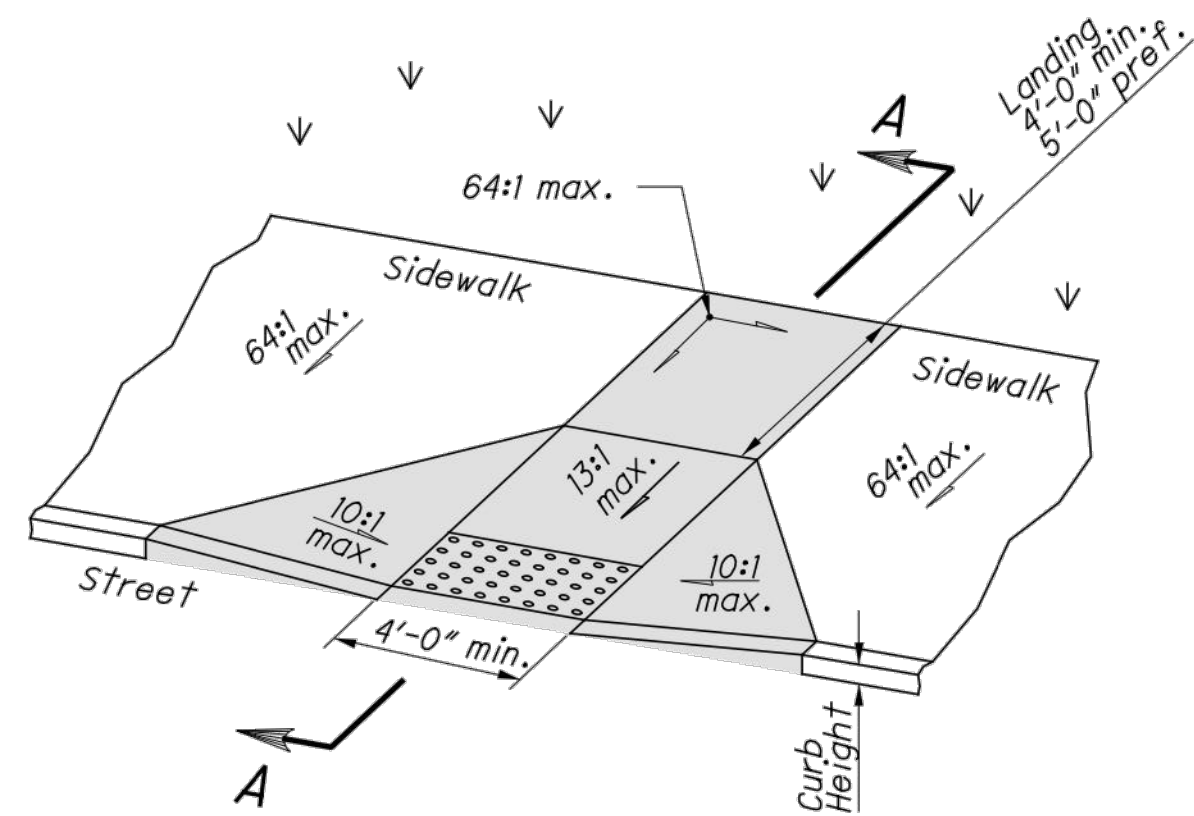
Use this design only for existing walks, and when site constraints prohibit other designs. The diagonal Type D ramp may be constructed as either a Perpendicular, Parallel or Combination curb ramp type. Avoid using where curb radii are less than 20'-0".

DIAGONAL RAMP (Type D)

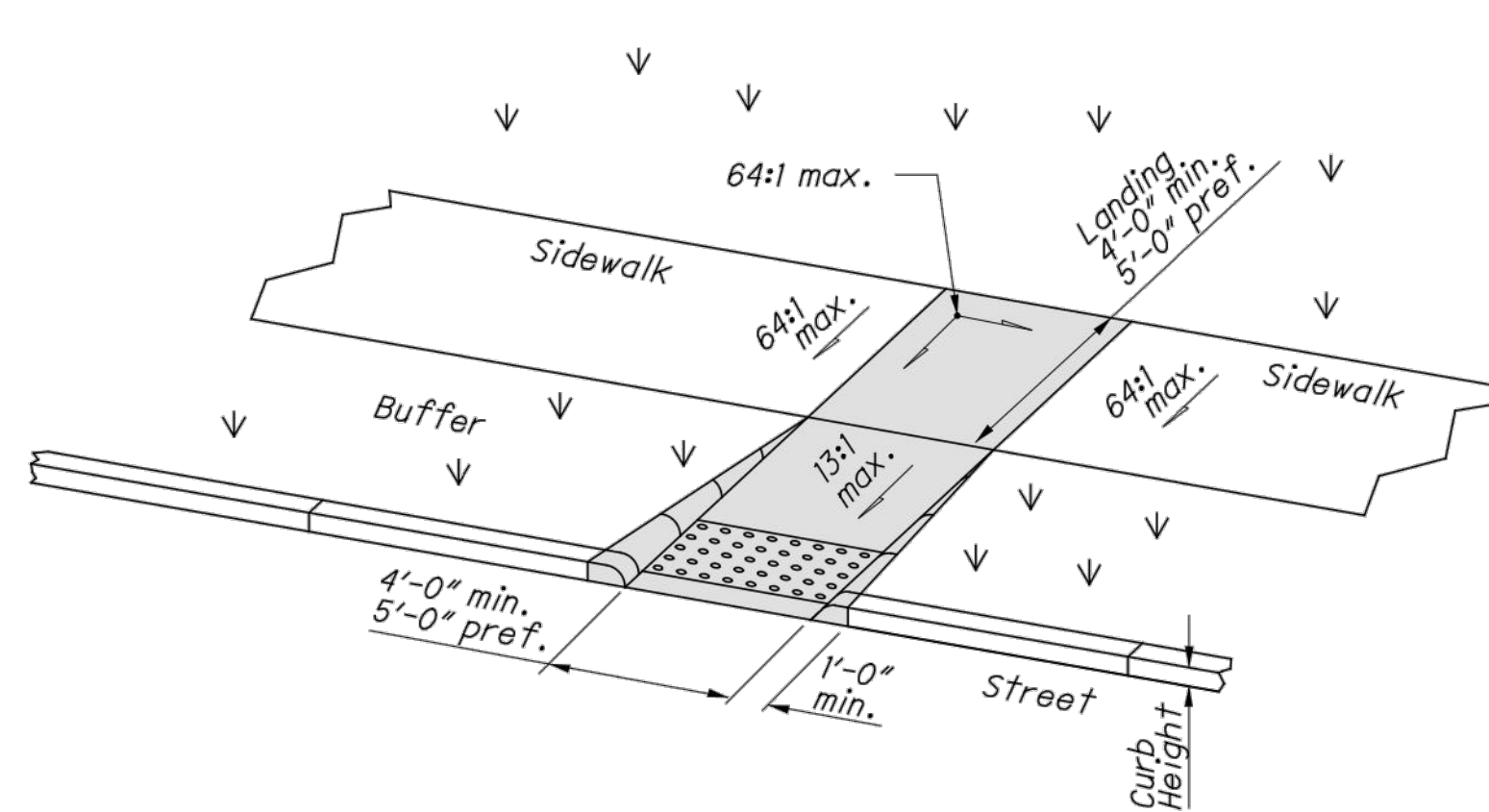
ACCEPTABLE CONSTRUCTION PLACEMENT

SCD NUMBER BP-7.1	OFFICE OF ROADWAY ENGINEERING	CITY ENGINEER D. Fisher	STATE OF OHIO DEPARTMENT OF TRANSPORTATION ADMINISTRATOR Brenton Bogard	REVISION DATE 7-17-2020
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THIS DRAWING REPLACES BP-7.1 DATED 7-20-2018.

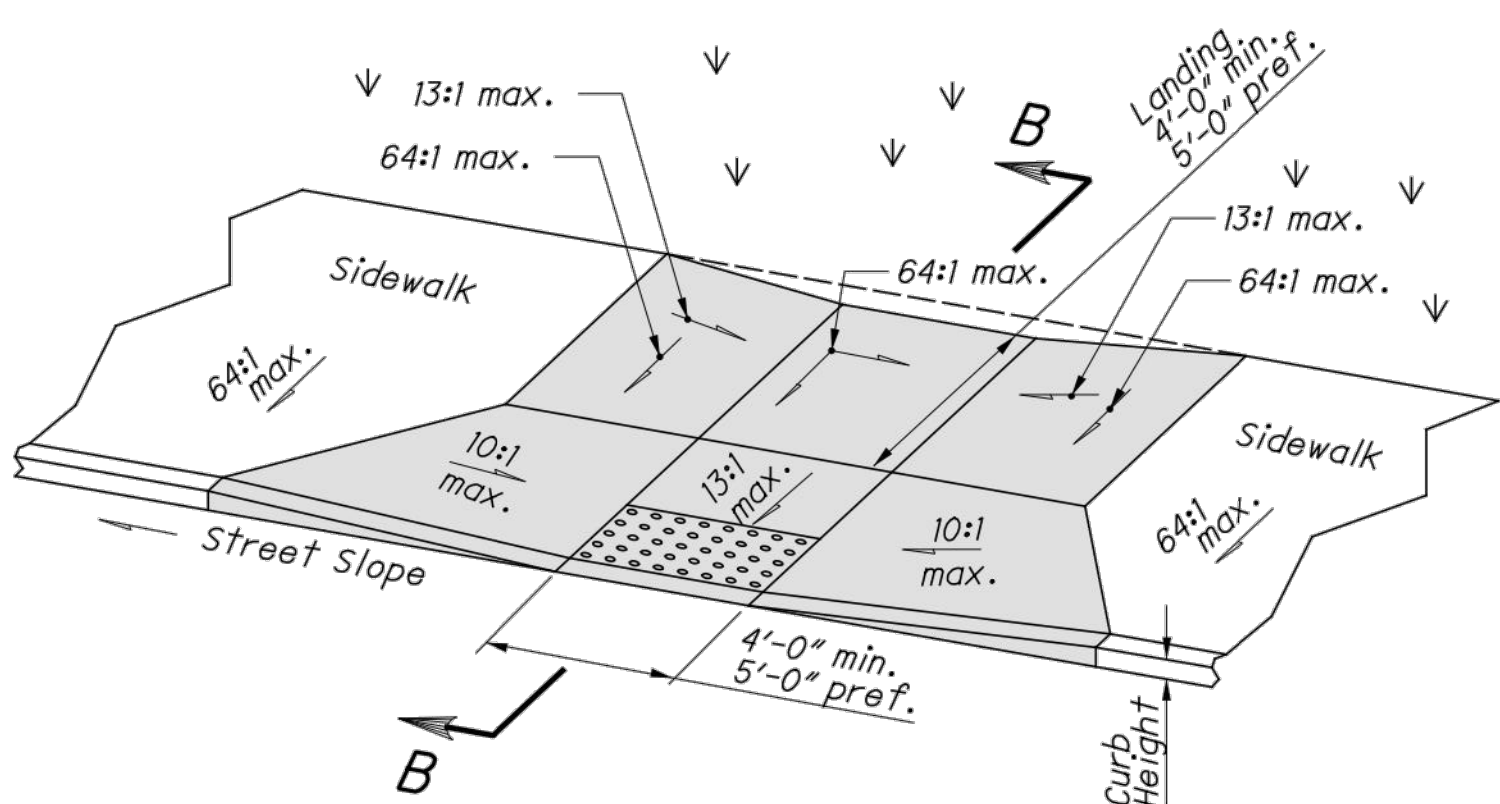


Type A1 (Perpendicular with flared sides)

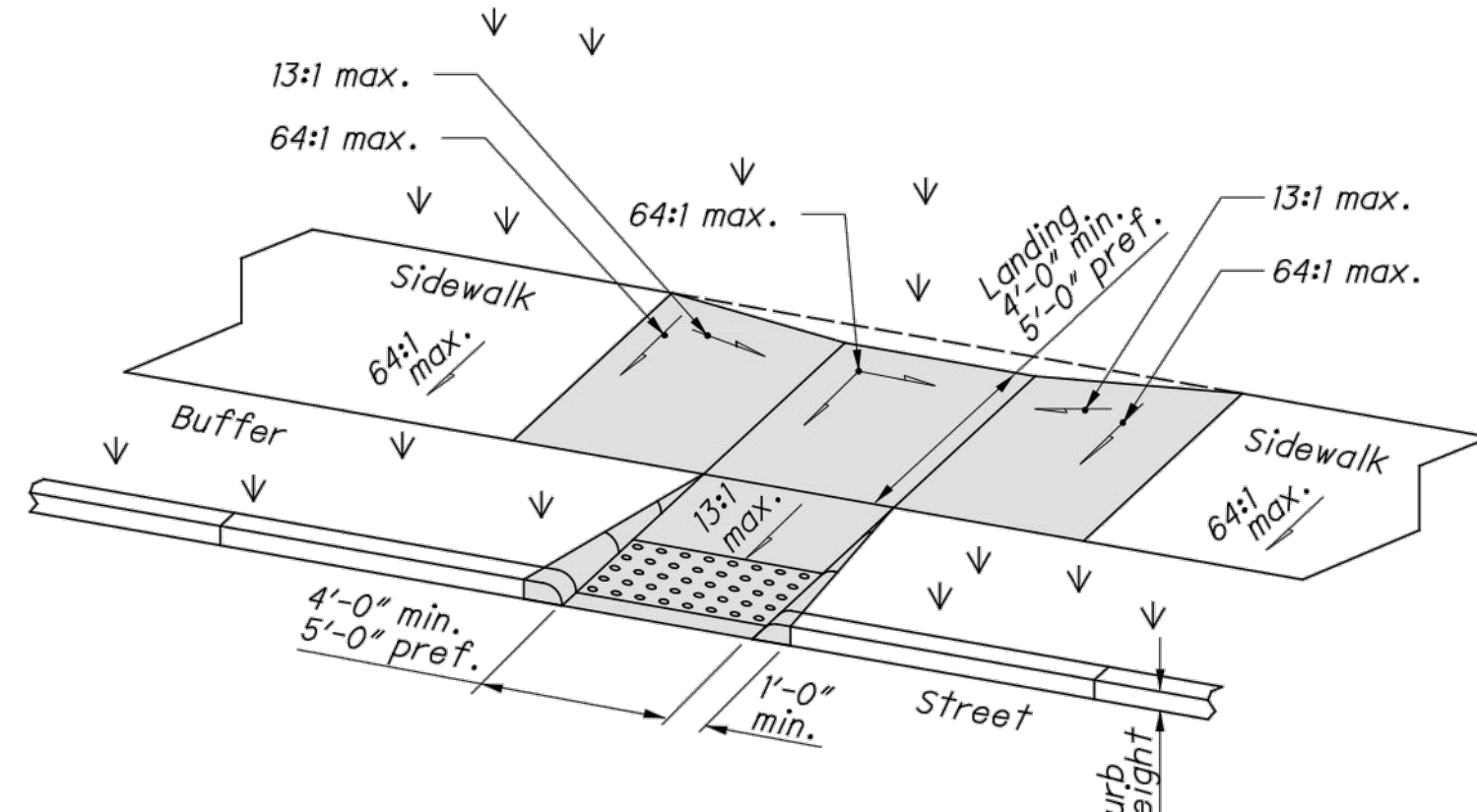


Type A2 (Perpendicular with returned curb)

PERPENDICULAR CURB RAMP DETAILS

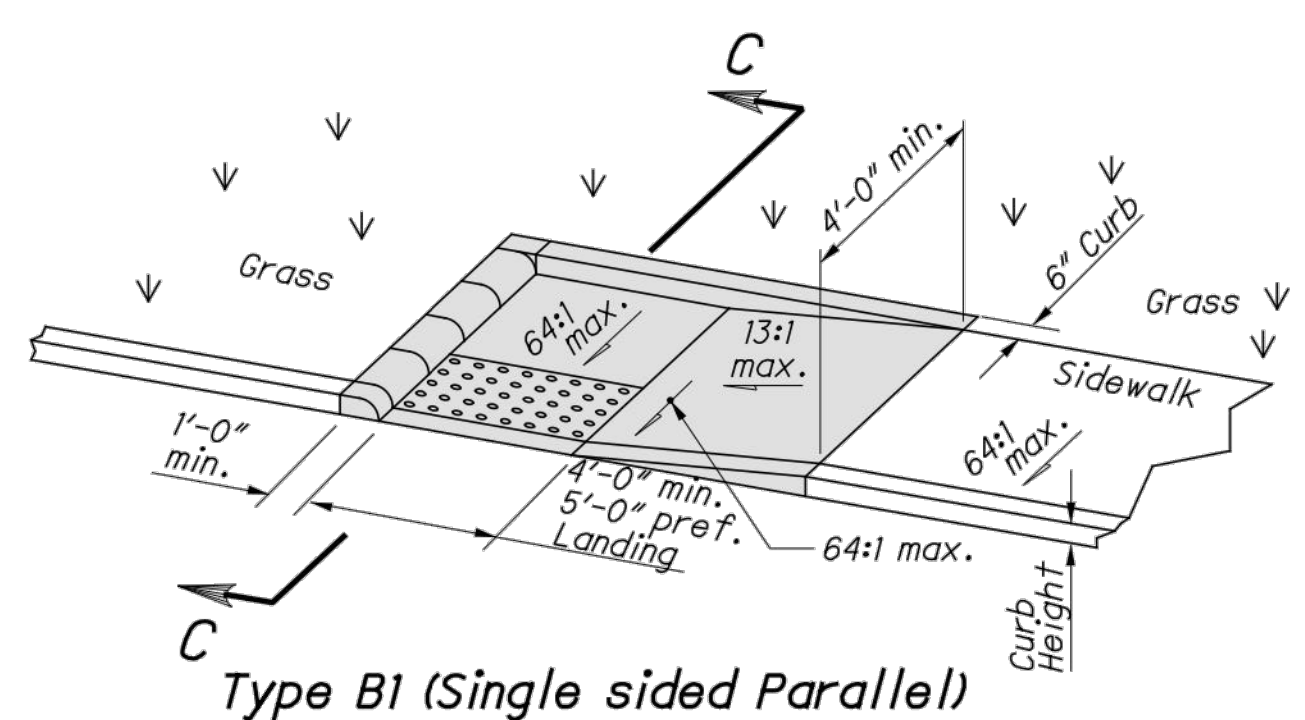


Type C1 (Combined with flared sides)

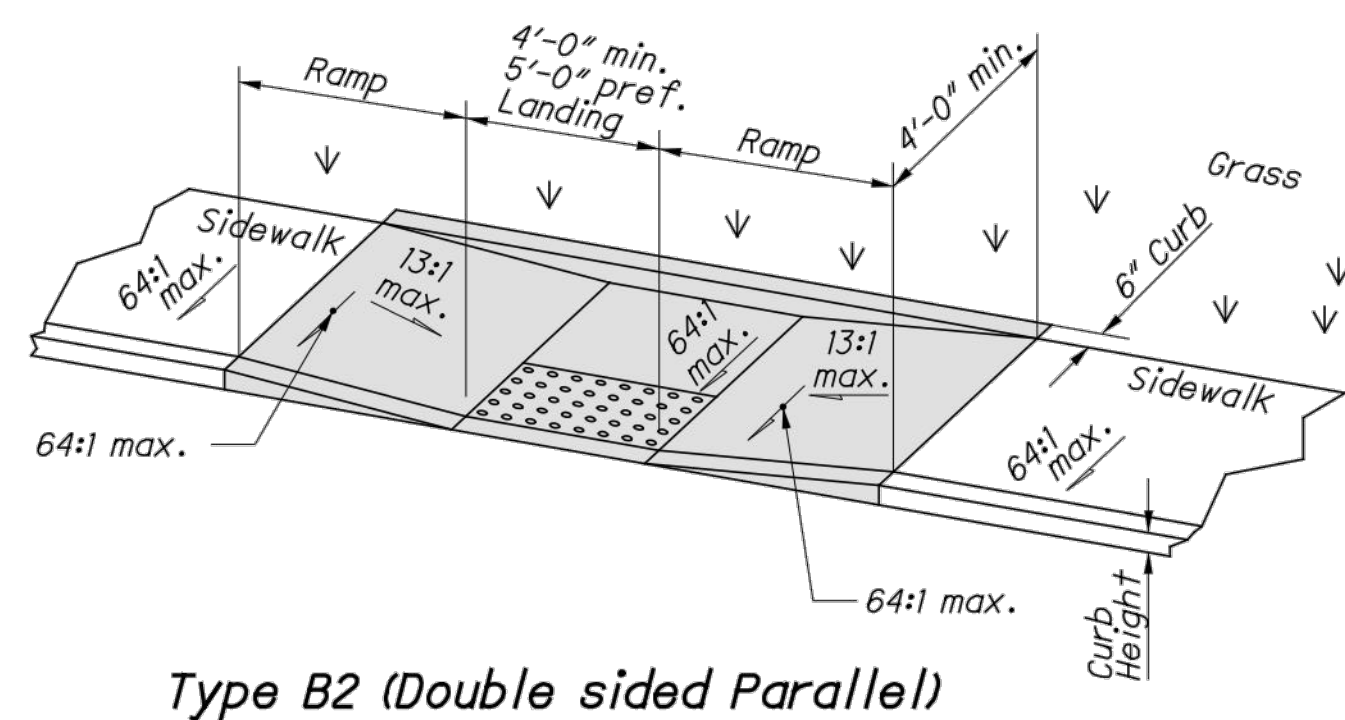


Type C2 (Combined with returned curb)

COMBINED CURB RAMP DETAILS

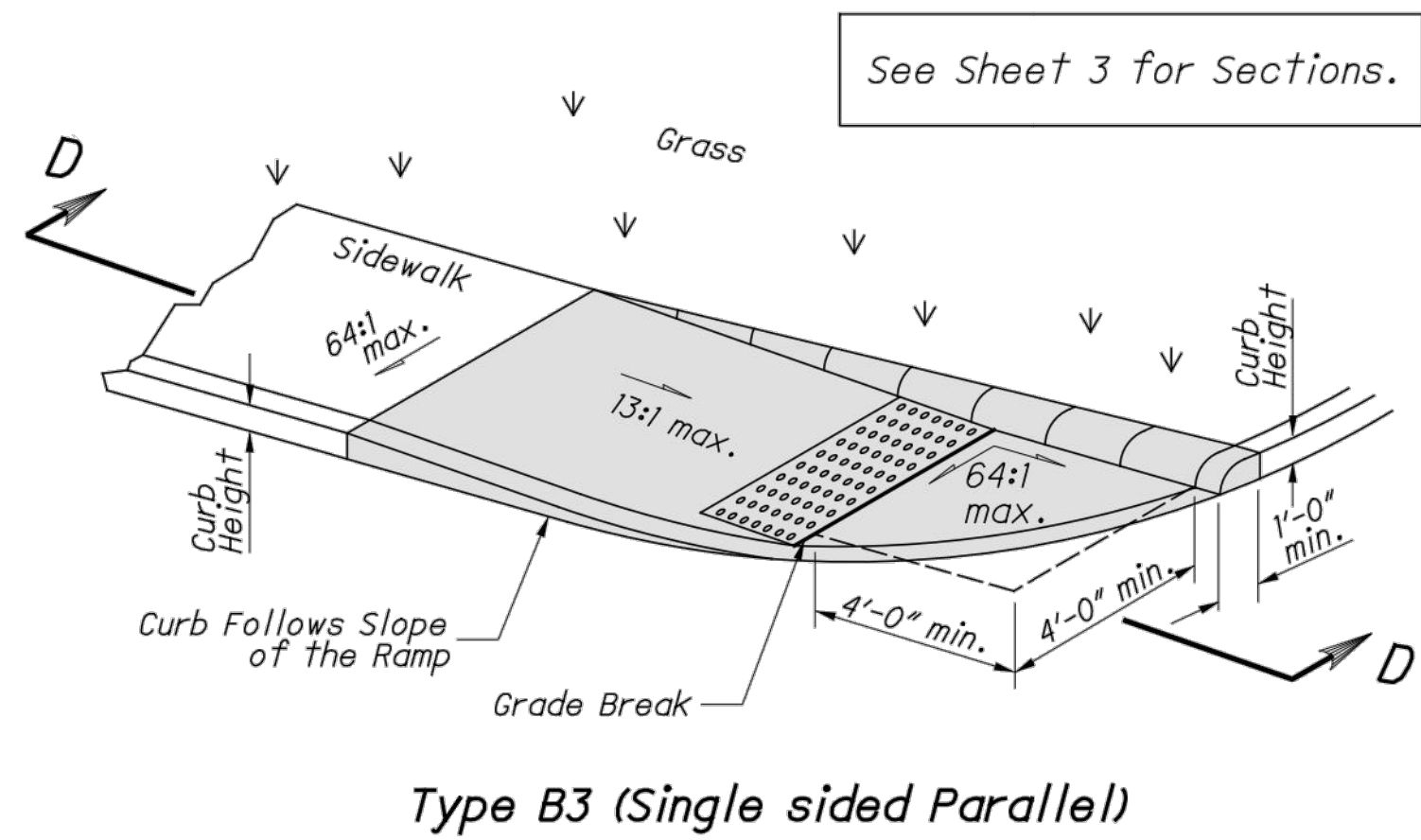


Type B1 (Single sided Parallel)



Type B2 (Double sided Parallel)

PARALLEL CURB RAMP DETAILS



Type B3 (Single sided Parallel)

NOTES CONTINUED

The running slope of the curb ramp shall be a 13:1 maximum or flatter. In existing sidewalks, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

- A) 10:1 for a max. rise of 6",
- B) 8:1 for a max. rise of 3",
- C) 6:1 over a max. run of 2'-0" for historic areas where a flatter slope is not feasible.

To prevent chasing the grade indefinitely, the transition from existing sidewalk to the shaded curb ramp area is not required to exceed 15 feet in length.

While ramps may be skewed to the crosswalk, the entire lower landing area must fall within the cross walk that the ramp serves and cannot be located in the traveled lane of opposing traffic.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transitions shall be 20:1 or flatter.

The bottom edge of the ramp shall change planes perpendicular to the landing.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

Ramp landings shall be 4' min. x 4' min. with a 64:1 or flatter cross slope and running slope.

DETECTABLE WARNINGS: Install Detectable Warnings on each curb ramp with approved materials, as shown on Sheet 3. Install these proprietary products as per manufacturer's written instructions.

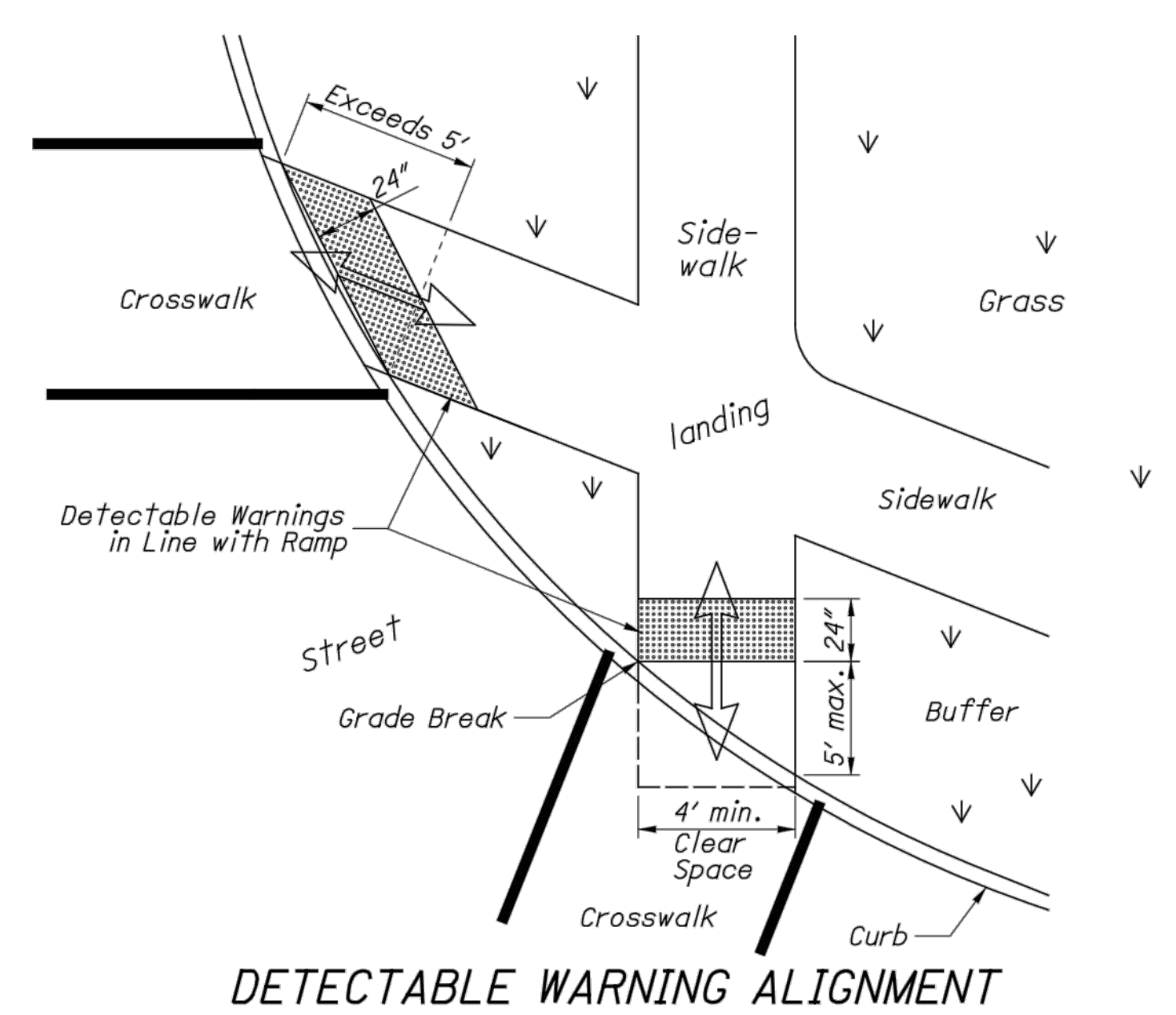
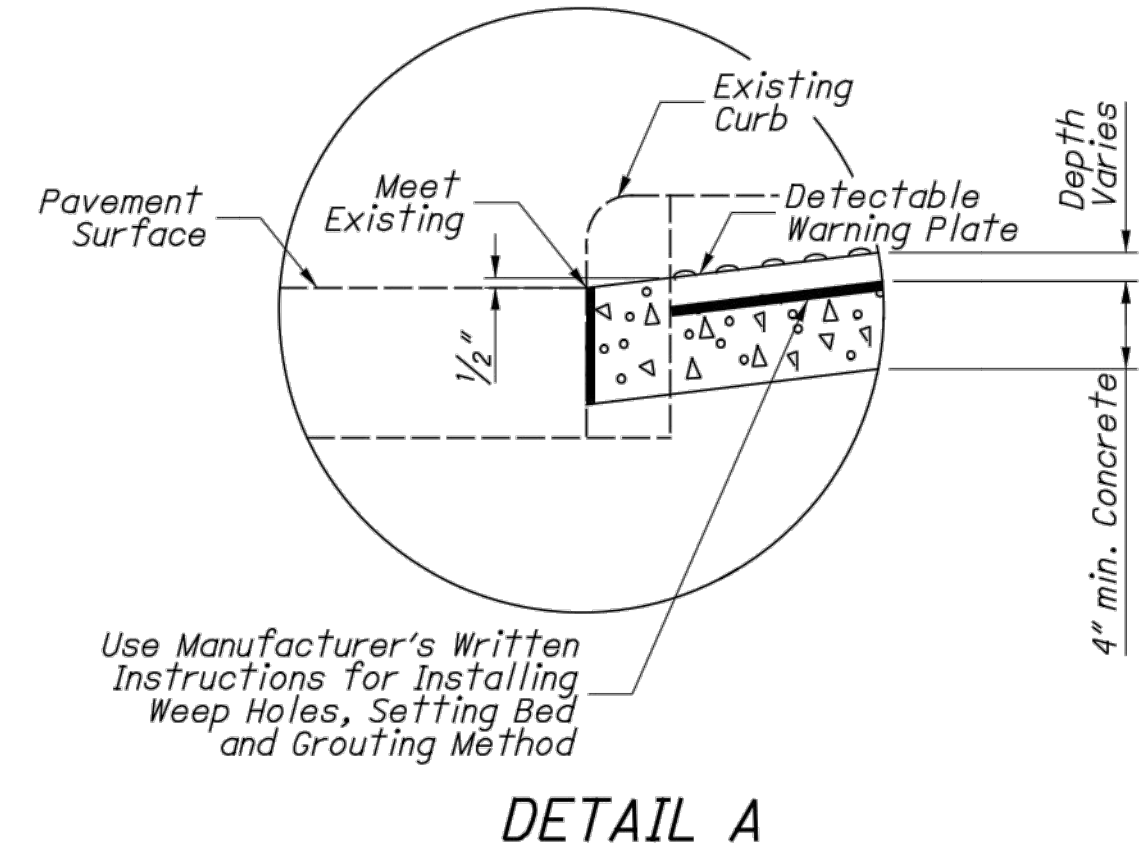
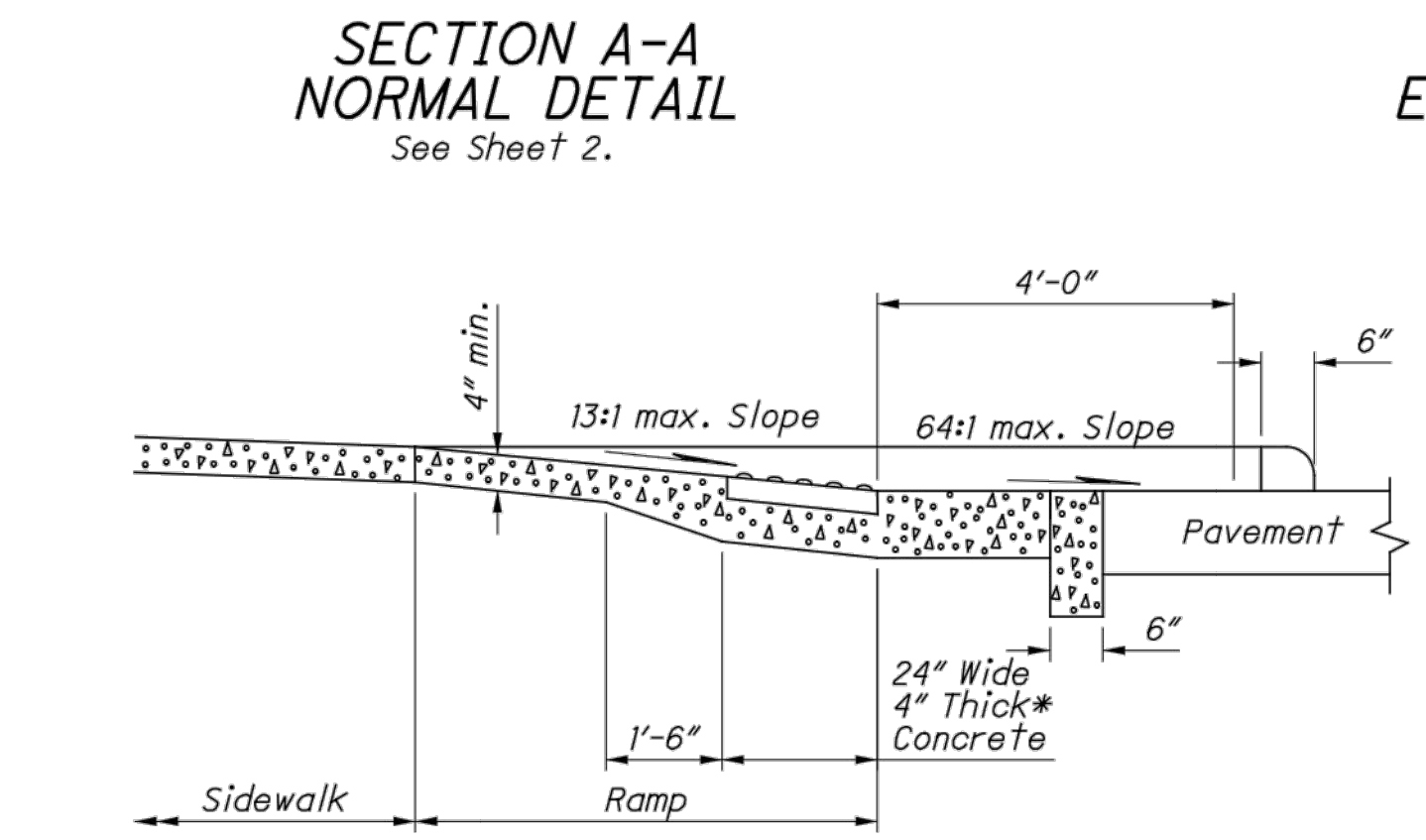
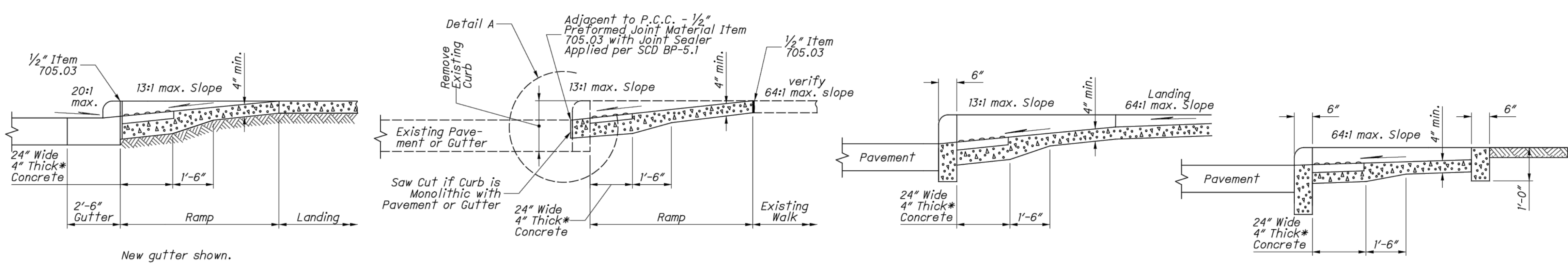
DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding 1/8" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the curb ramp as extensions of walk joints and consistent with Item 608.03 requirements for a new concrete walk. Provide a 1/2" Item 705.03 expansion joint filler around the edge of ramps built in existing concrete walks. Lines shown on this drawing indicate the ramp edges and slope changes, and do not necessarily indicate joint lines.

SCD NUMBER	BP-7.1	OFFICE OF ROADWAY ENGINEERING	CITY ENGINEER	REVISION DATE
			D. Fisher	7-17-2020
STANDARD ROADWAY CONSTRUCTION DRAWING NEW CURB RAMP (with Detectable Warnings)			STATE OF OHIO DEPARTMENT OF TRANSPORTATION ADMINISTRATOR	
THIS DRAWING REPLACES BP-7.1 DATED 7-20-2018.			Brenton Bogard	

MINIMUM OPENING AT STREET SHALL BE 6 FEET TO ACCOMODATE SIDEWALK SNOW PLOWS.



DETECTABLE WARNINGS NOTES

GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.

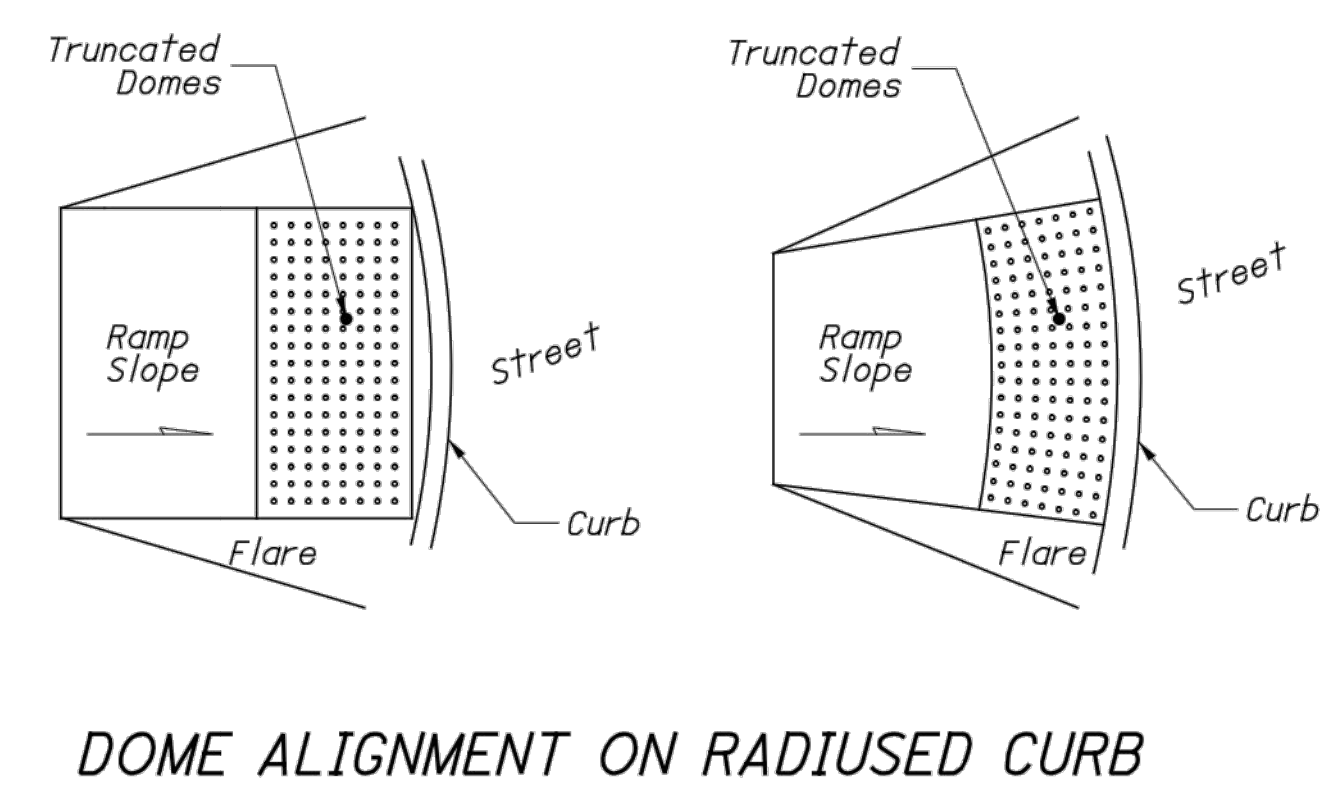
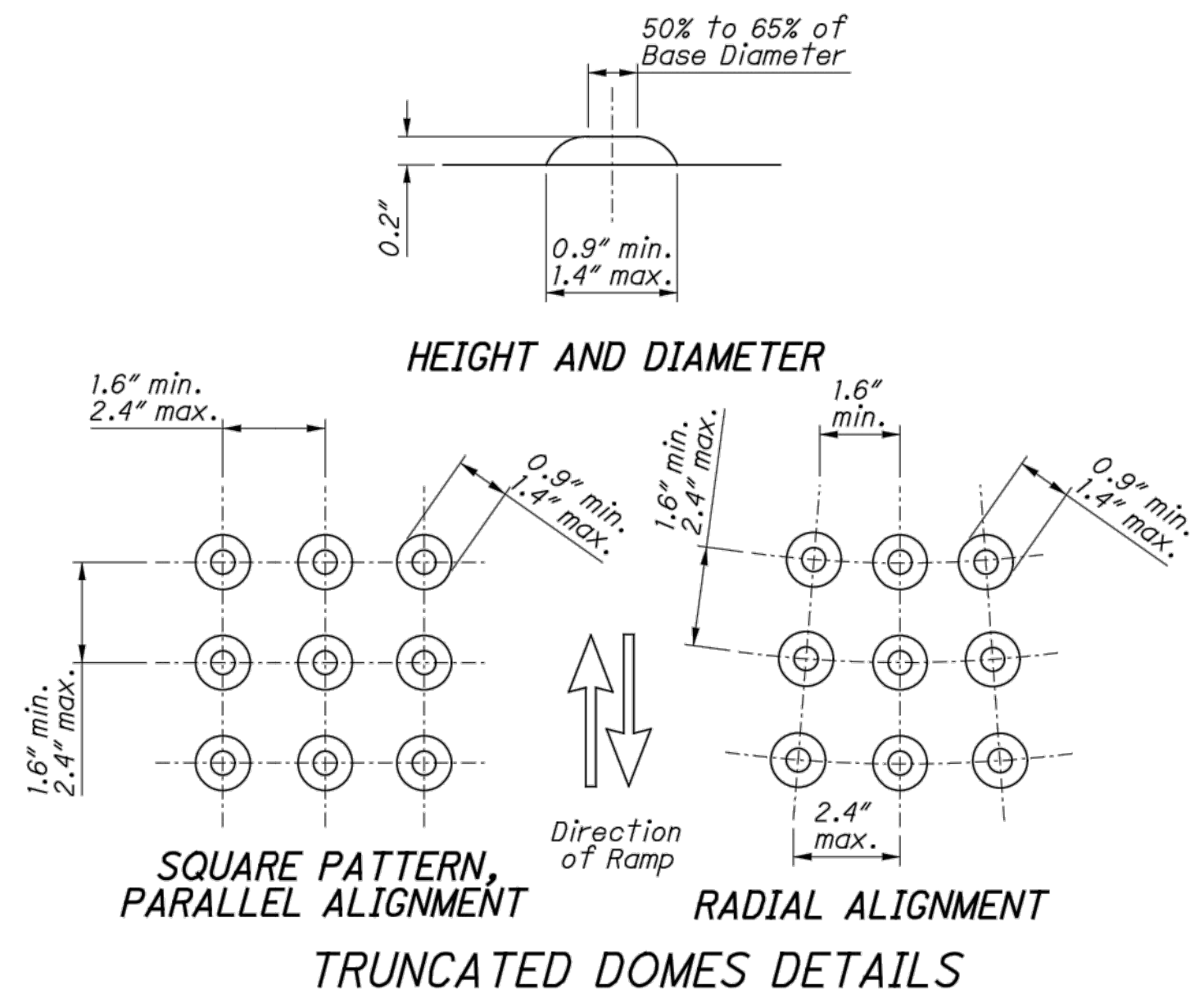
PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. Typical street corner placement locations are shown on Sheet 1.

Some detectable warning products require a concrete border for proper installation. The concrete border should not exceed 2". Where the back of curb edge is tooled to provide a radius, the border dimension should be measured from the end of the radius.

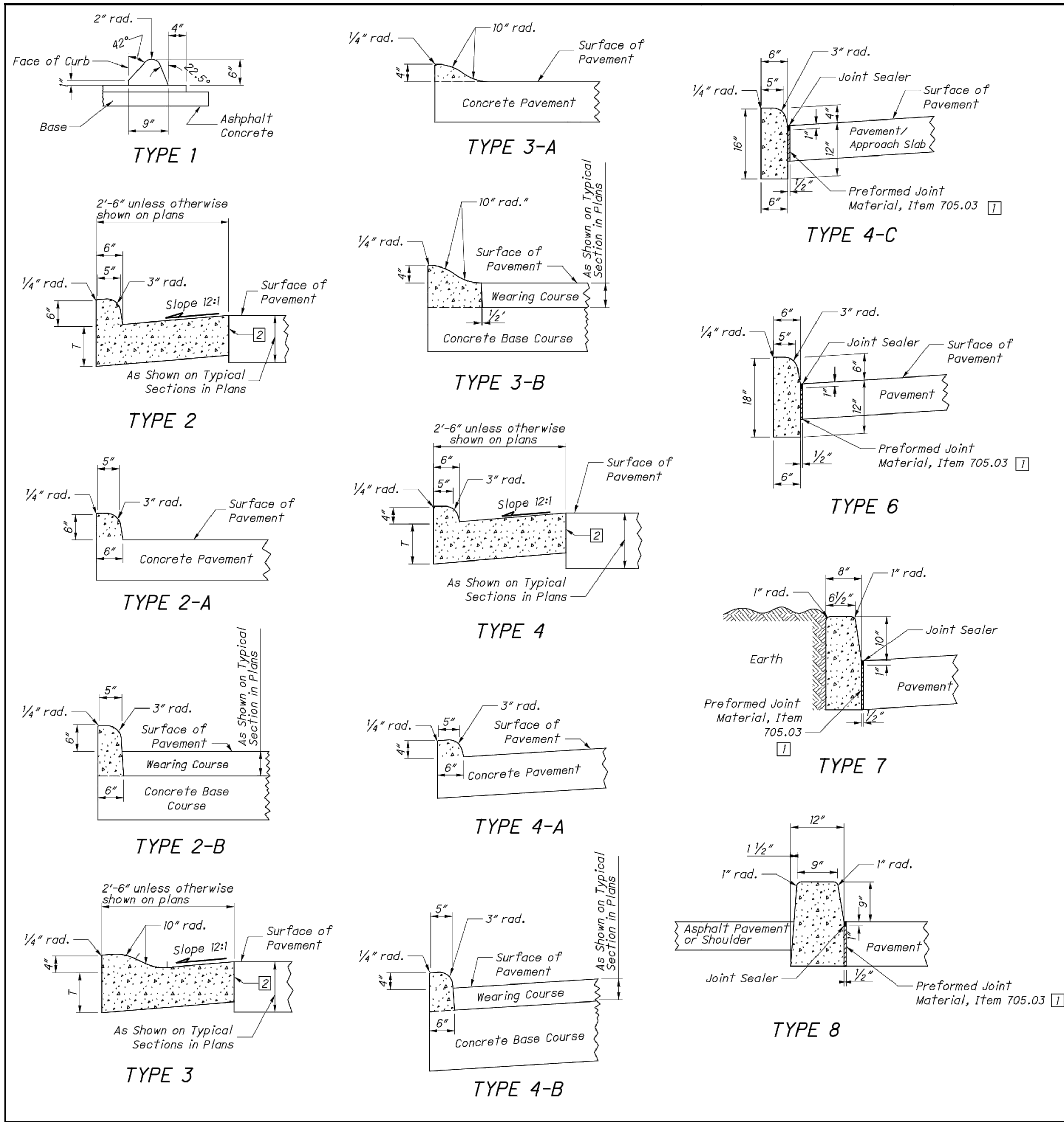
The depth of concrete underneath detectable warning products shall be a minimum of 4". See DETAIL A.

ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but for skewed conditions see DETECTABLE WARNING ALIGNMENT Detail. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.

PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding concrete walk and ramp. Black is not an acceptable color. Approved products and guidance on color may be found on the Office of Roadway Engineering Service's Detectable Warnings Approved List. Install products as per manufacturer's printed instructions.



SCD NUMBER BP-7.1	STANDARD ROADWAY CONSTRUCTION DRAWING NEW CURB RAMP (with Detectable Warnings)	CITY ENGINEER D. Fisher	STATE OF OHIO DEPARTMENT OF TRANSPORTATION ADMINISTRATOR	REVISION DATE 7-17-2020
	THIS DRAWING REPLACES BP-7.1 DATED 7-20-2018.			Brenton Bogard
3				



NOTES

GENERAL: This drawing shows alternate types of curb that may be used on various types of pavement. The typical section of the project shows the type to be used, also the thickness of the edge of the pavement or the edge of the curb and gutter section.

JOINTS: 1" expansion joints shall extend up to the top of the curb and shall be constructed in the curb and gutter section in such a manner that the joint seal will extend the full width of the gutter and into the curb face a sufficient distance to seal the joint to an elevation of a least 2" above the flow line of the gutter. Dowel bars shall be used in the curb and gutter section at expansion joints and to the surface of the pavement.
 Transverse expansion joint material shall meet the requirements of Item 705.03.

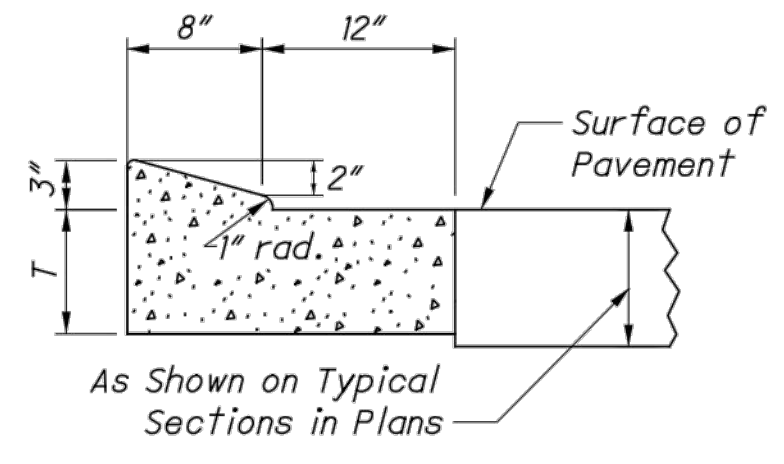
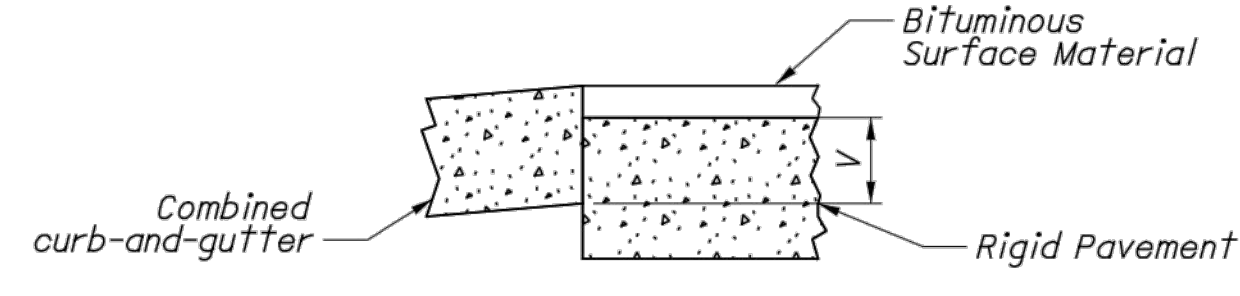
GUTTER PLATE THICKNESS: Thickness of gutter plate "T" shall be 9" unless otherwise shown on the plans.

TOLERANCES: Dimensional tolerances are as follows:
 Curbs: $\pm 1/32"$ to $\pm 1/4"$.
 Gutters: 0 to $\pm 1/2"$.

LEGEND

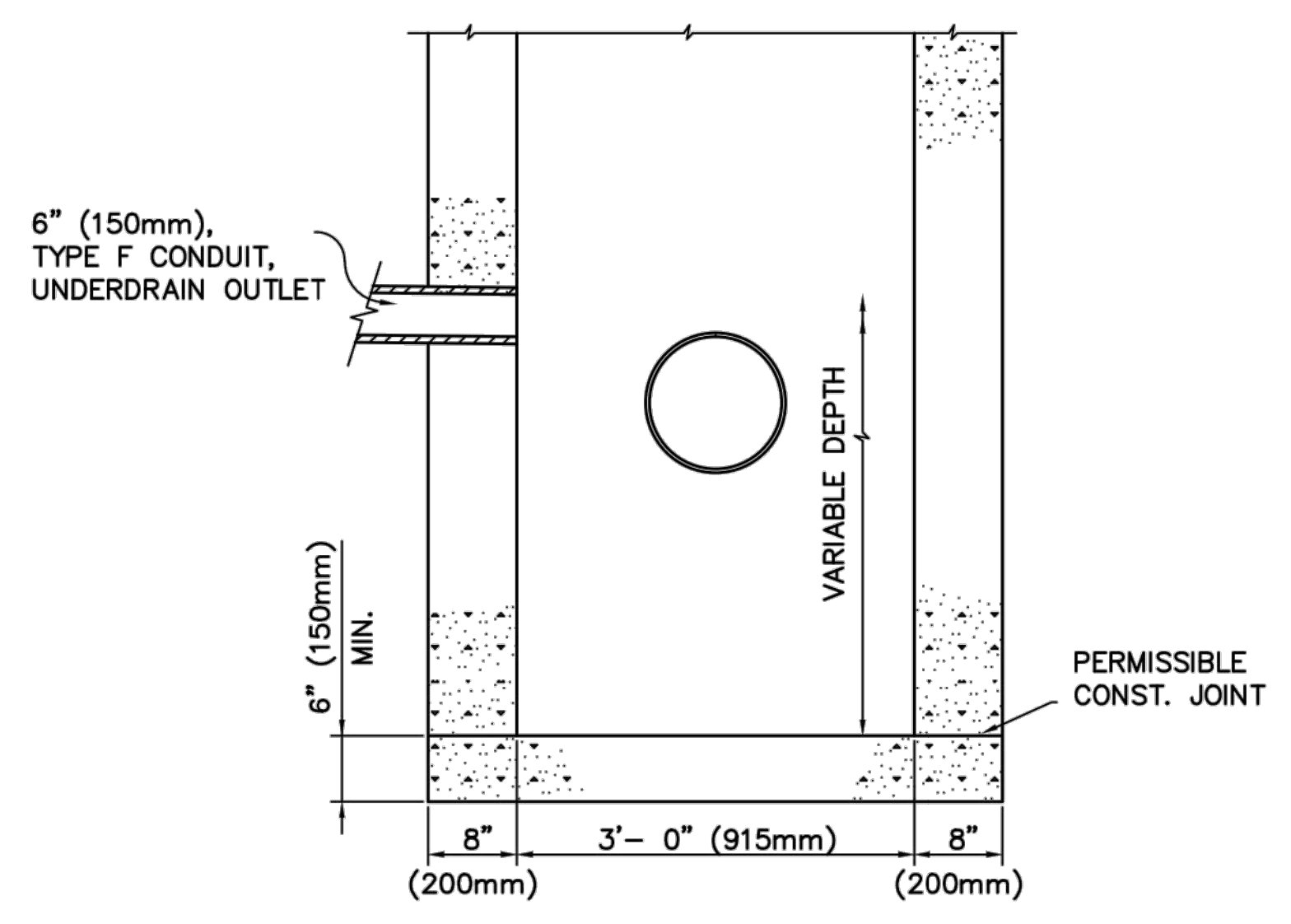
1 Expansion joint material and joint sealer are not required for the portion of the curb that is adjacent to a flexible pavement type. Both materials are required, as detailed, for the full height of rigid pavement and concrete bases.

2 Butt joints shall be provided between combined curb-and-gutter and new or existing rigid pavements, with tie bars or hook bolts provided at intervals of 5'. See SCD BP-2.1 for details of tie bars and hook bolts. If the combined curb-and-gutter adjoins a new rigid base or an existing rigid base or pavement that is to be surfaced with asphalt concrete, a butt joint shall also be provided. However, tie bars or hook bolts shall be omitted when the vertical overlap ("V" in detail below) between the curb-and-gutter and rigid pavement is less than 7".

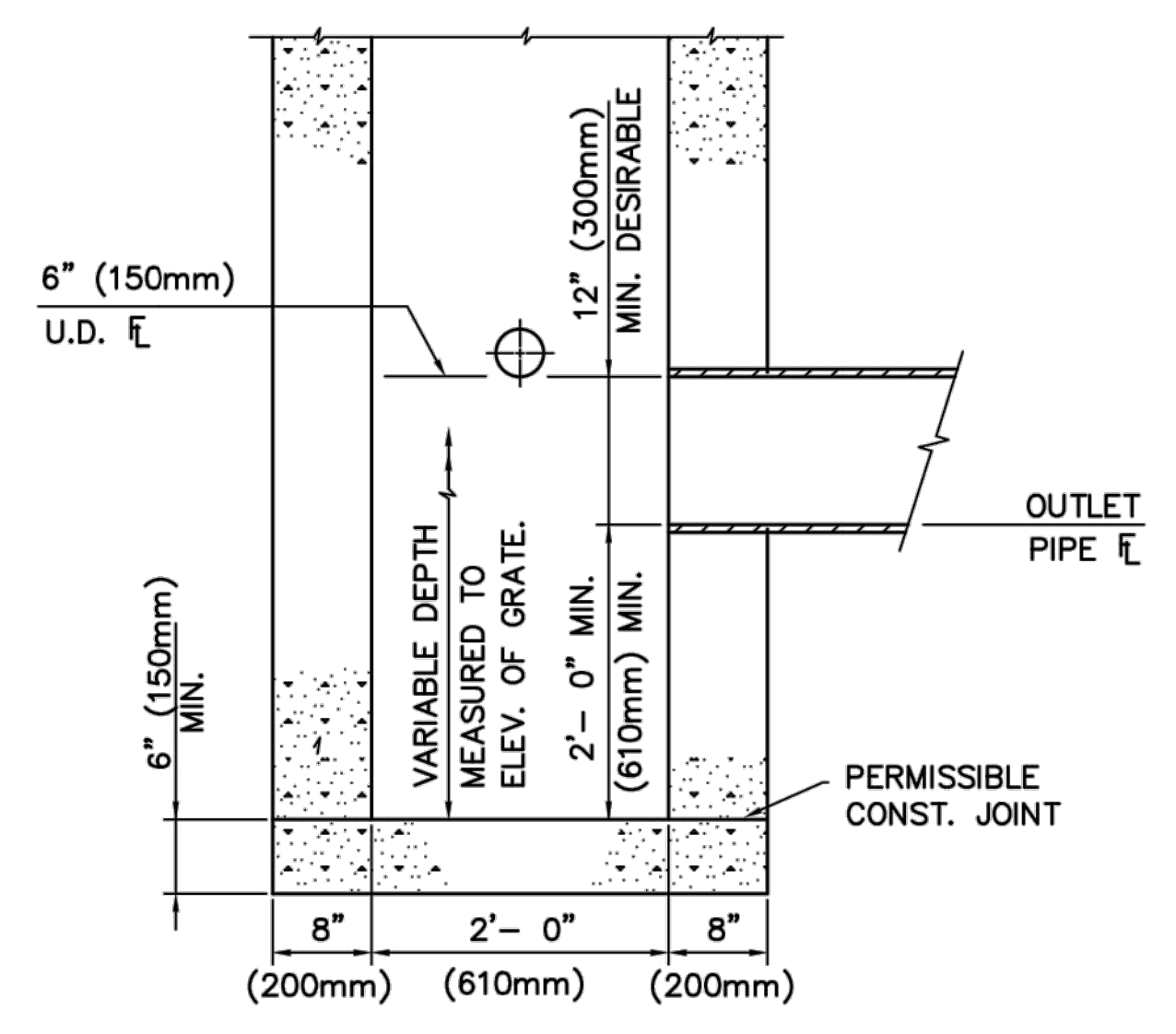


THIS DRAWING REPLACES BP-5.1 DATED 7-20-18.

SCD NUMBER	BP - 5.1
OFFICE OF	ROADWAY ENGINEERING
CITY ENGINEER	D. Fisher
STATE OF OHIO DEPARTMENT OF TRANSPORTATION ADMINISTRATOR	David L. Holstein
REVISION DATE	1-18-2019



***SECTION "B - B"**



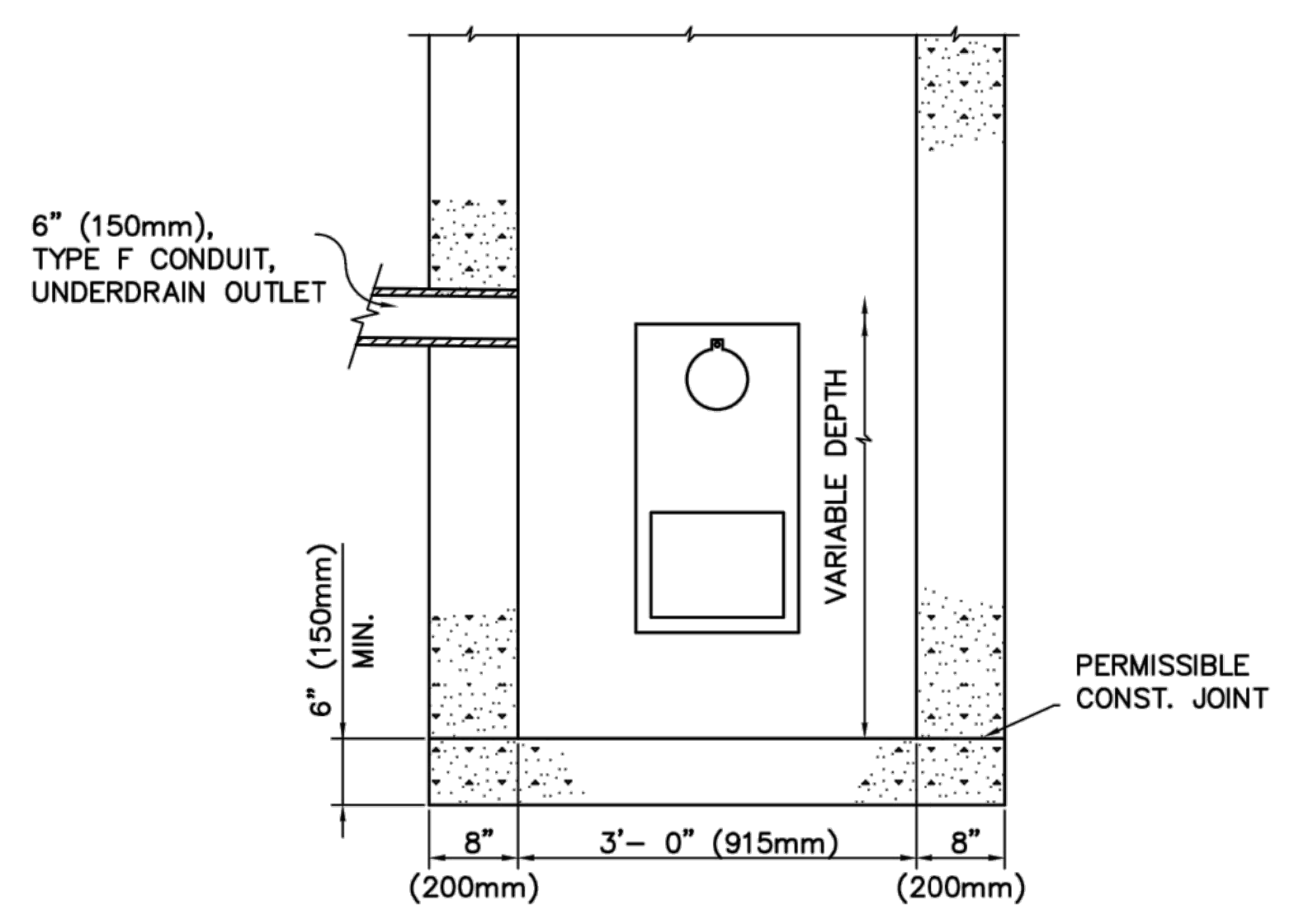
***SECTION "A - A"**

NOTES

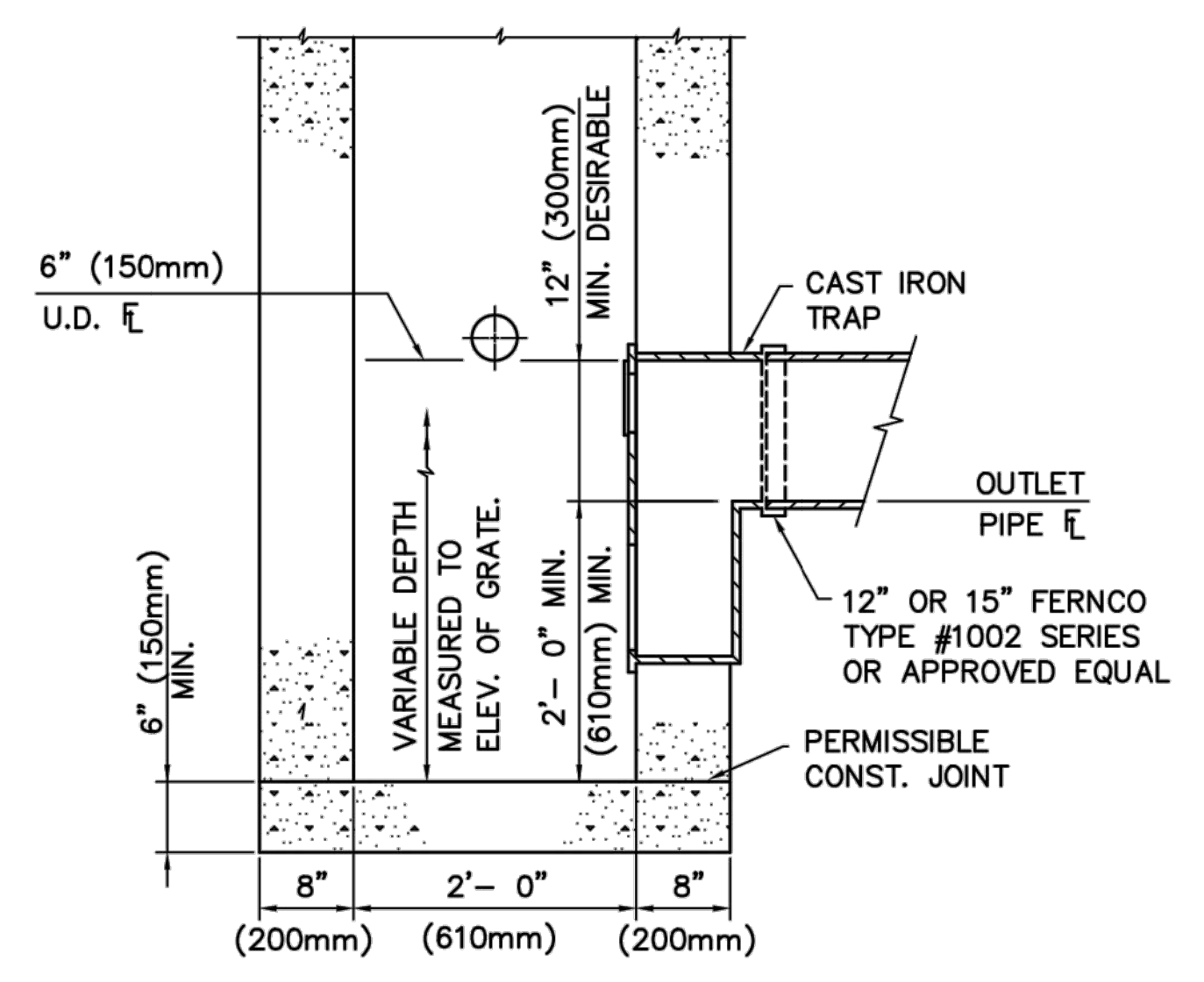
* TO BE USED IN CONJUNCTION WITH THE CUYAHOGA COUNTY ENGINEER'S CONSTRUCTION DRAWING CB-3C (CB-3CM). SUMP AND TRAPS ARE REQUIRED FOR COMBINATION (STORM/SANITARY) SEWER SYSTEMS.

CASTING: CAST IRON TRAP SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF 611.02.G (711.12, ASTM A 48, AND MINIMALLY BE CLASS 35B GRAY IRON), AND SHALL HAVE A MINIMUM WEIGHT OF ONE-HUNDRED AND FORTY-FIVE (145) POUNDS (66 kg) ±5%. PROVIDED THEY COMPLY WITH THE SPECIFICATIONS, DETAILS, DIMENSIONS AND MINIMUM WEIGHTS, NEENAH No. R-3707-12, EAST JORDAN No. 5964-12 OR APPROVED EQUAL CASTINGS ARE ACCEPTABLE. IF FIFTEEN (15) INCH (375mm) OUTLET PIPES ARE REQUIRED, USE NEENAH No. R-3707-15, EAST JORDAN No. 5964-15 OR APPROVED EQUAL CASTINGS HAVING A MINIMUM WEIGHT OF ONE-HUNDRED AND SIXTY (160) POUNDS (73 kg) ± 5%.

PAYMENT: ALL MATERIALS (INCLUDING TRAP), LABOR, EXCAVATION AND BACKFILL SHALL BE PAID UNDER "ITEM 611 - CATCH BASIN, CUYAHOGA COUNTY No. 3C WITH SUMP AND TRAP, AS PER PLAN" OR "ITEM 611 - CATCH BASIN, CUYAHOGA COUNTY No. 3C WITH SUMP, AS PER PLAN".



***SECTION "B - B"**

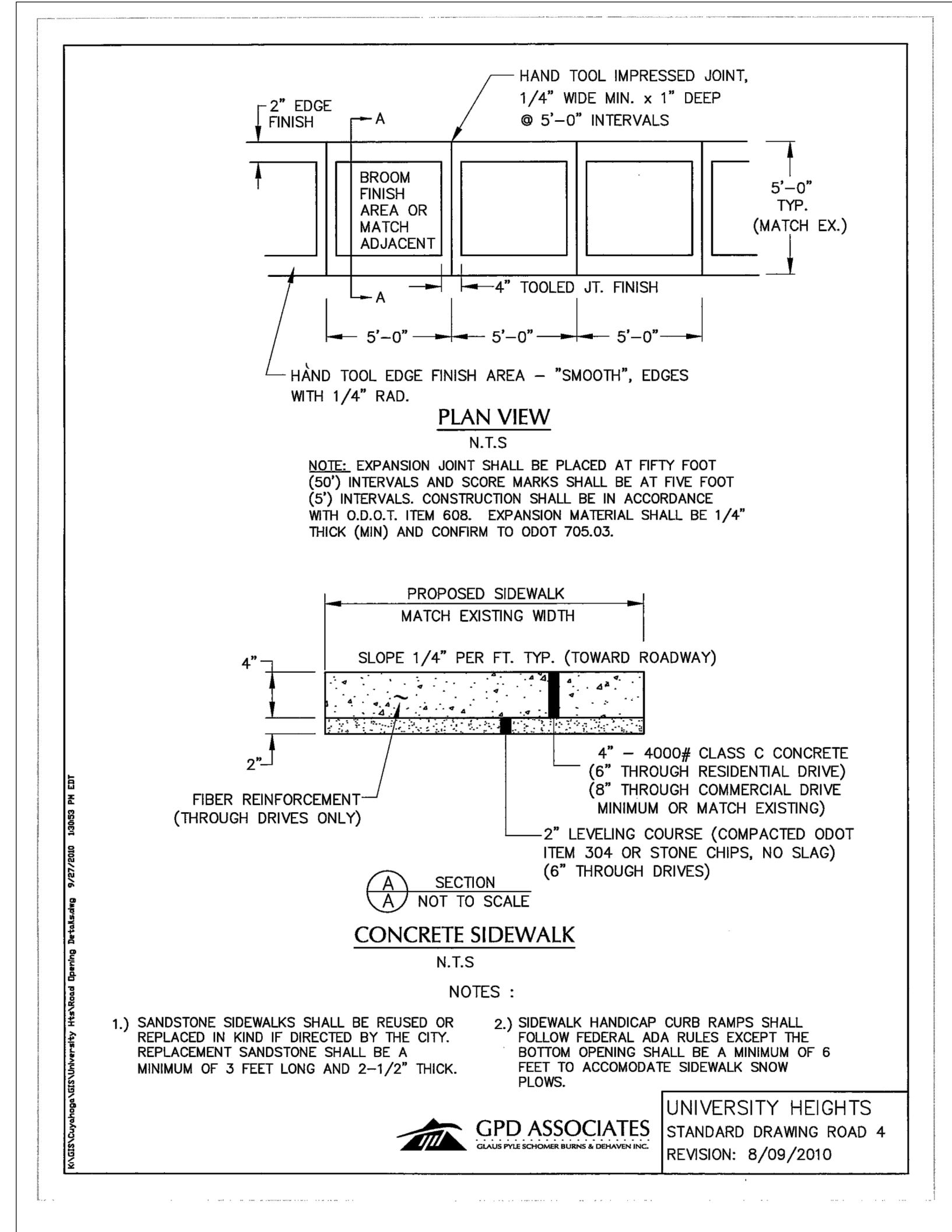
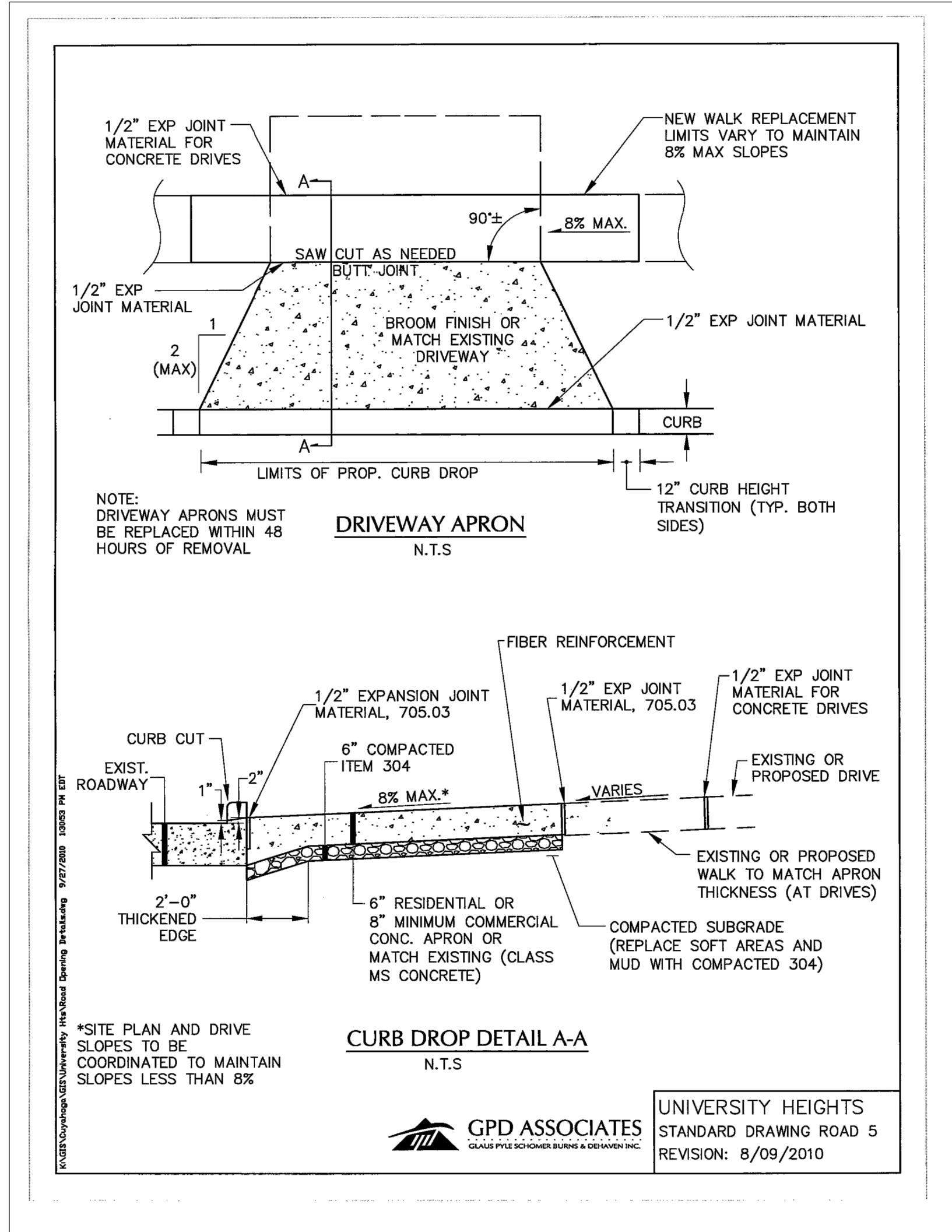


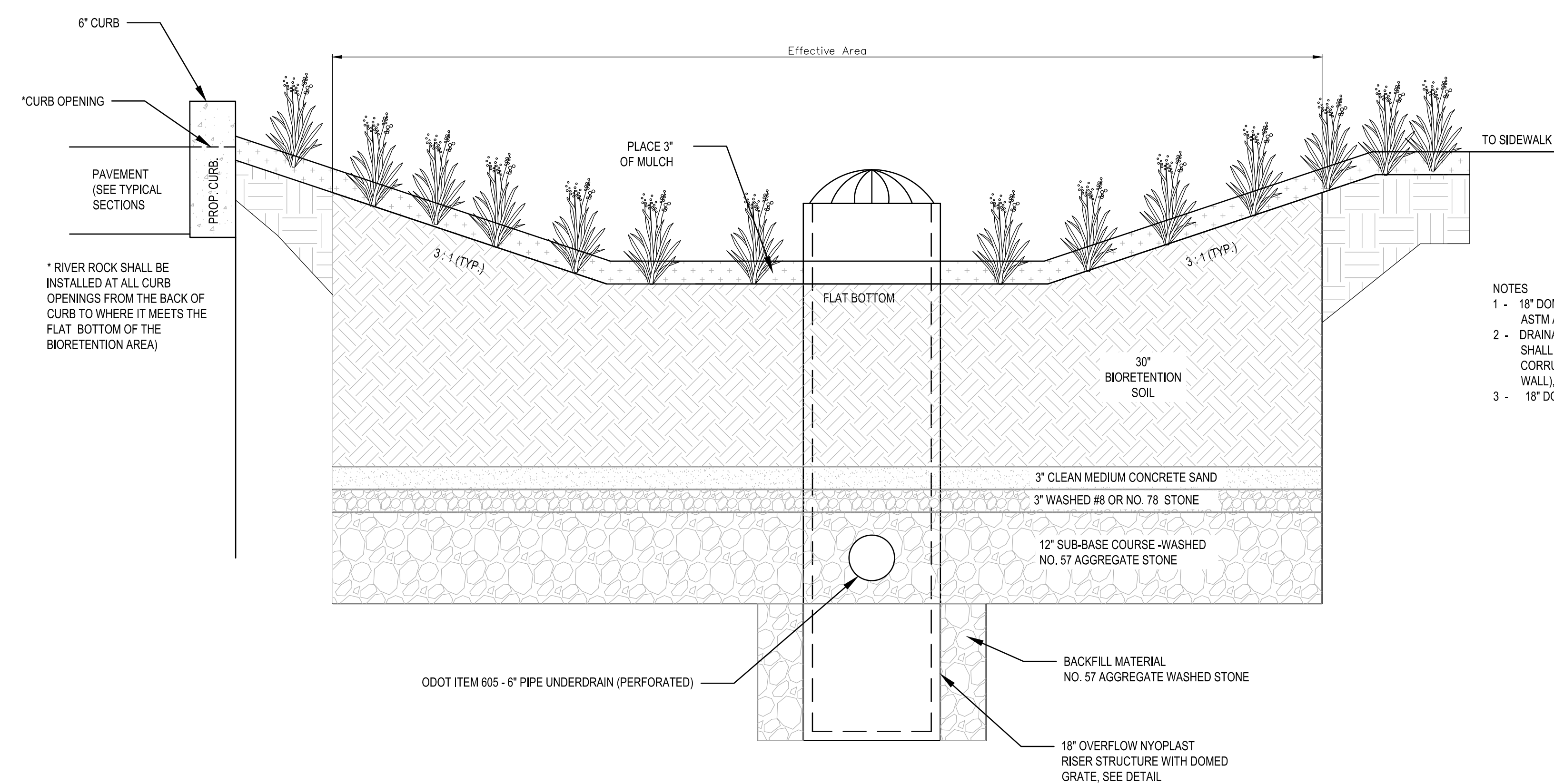
***SECTION "A - A"**

**CUYAHOGA COUNTY 3C CATCH BASIN W/SUMP & TRAP
NO TRAP**

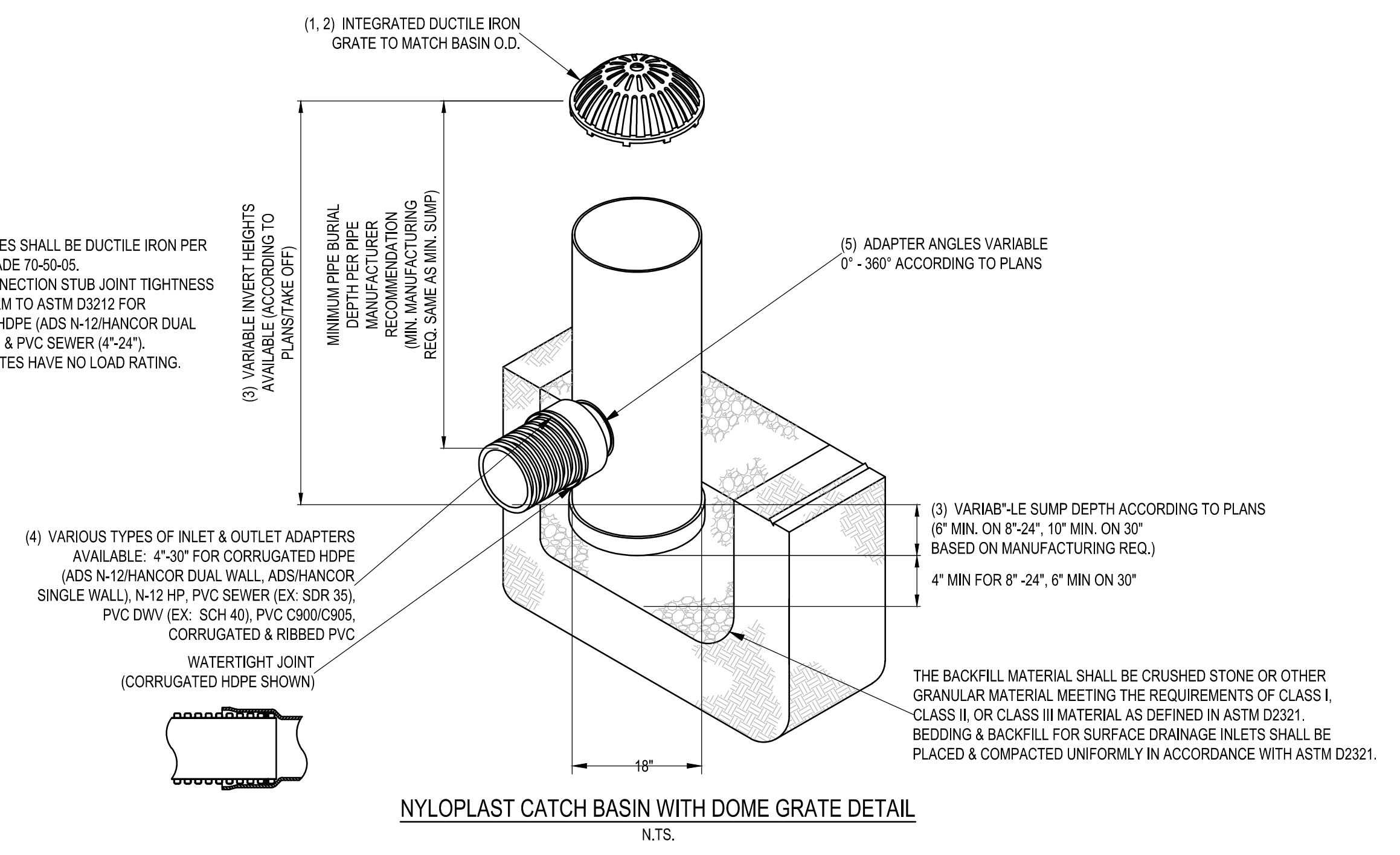
CUYAHOGA COUNTY ENGINEER	
CATCH BASIN WITH SUMP OR WITH SUMP AND TRAP	DATE 12-07-99 10-29-01 07-07-09 10-31-13
CONSTRUCTION DRAWING CB-3C S/T	

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BIORETENTION CELL DETAIL
N.T.S.



NYLOPLAST CATCH BASIN WITH DOME GRATE DETAIL
N.T.S.

- NOTES
- 18" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4"-24").
 - 18" DOME GRATES HAVE NO LOAD RATING.

(3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLAN/STAKE OFF)

MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP)

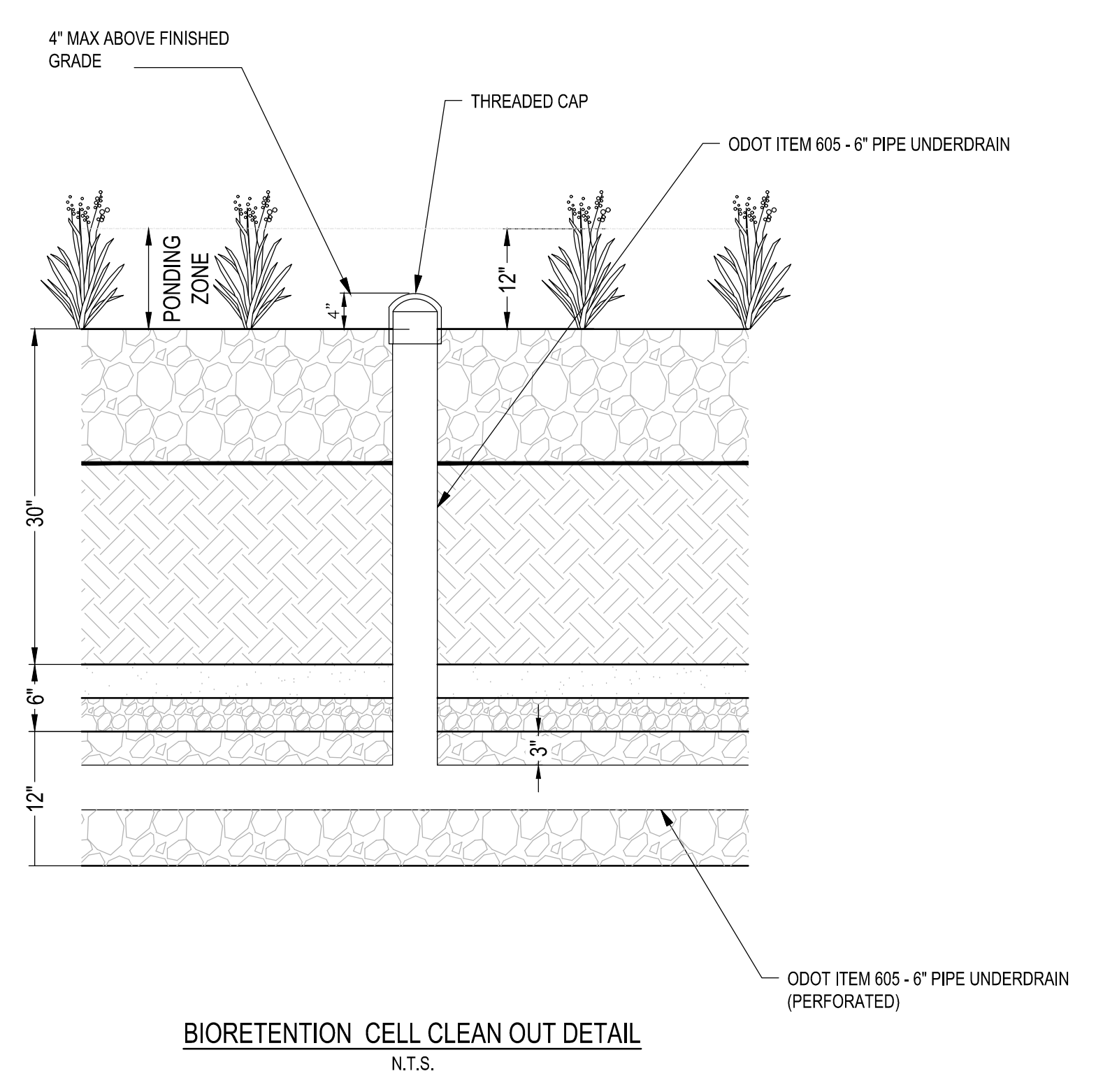
(5) ADAPTER ANGLES VARIABLE 0° - 360° ACCORDING TO PLANS

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4"-30" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADSSHANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC

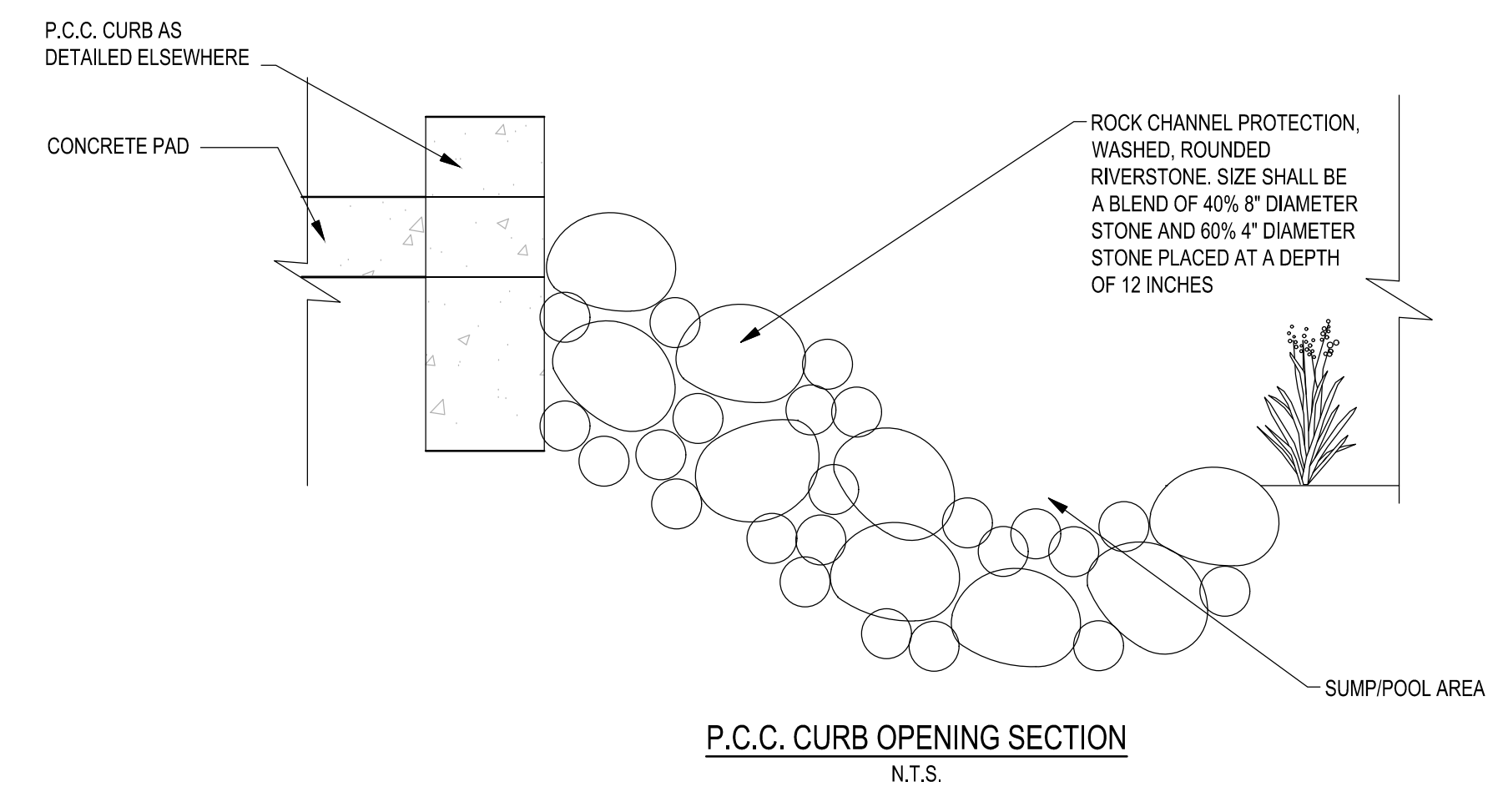
WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)

(3) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN. ON 8"-24", 10" MIN. ON 30" BASED ON MANUFACTURING REQ.)
4" MIN FOR 8"-24", 6" MIN ON 30"

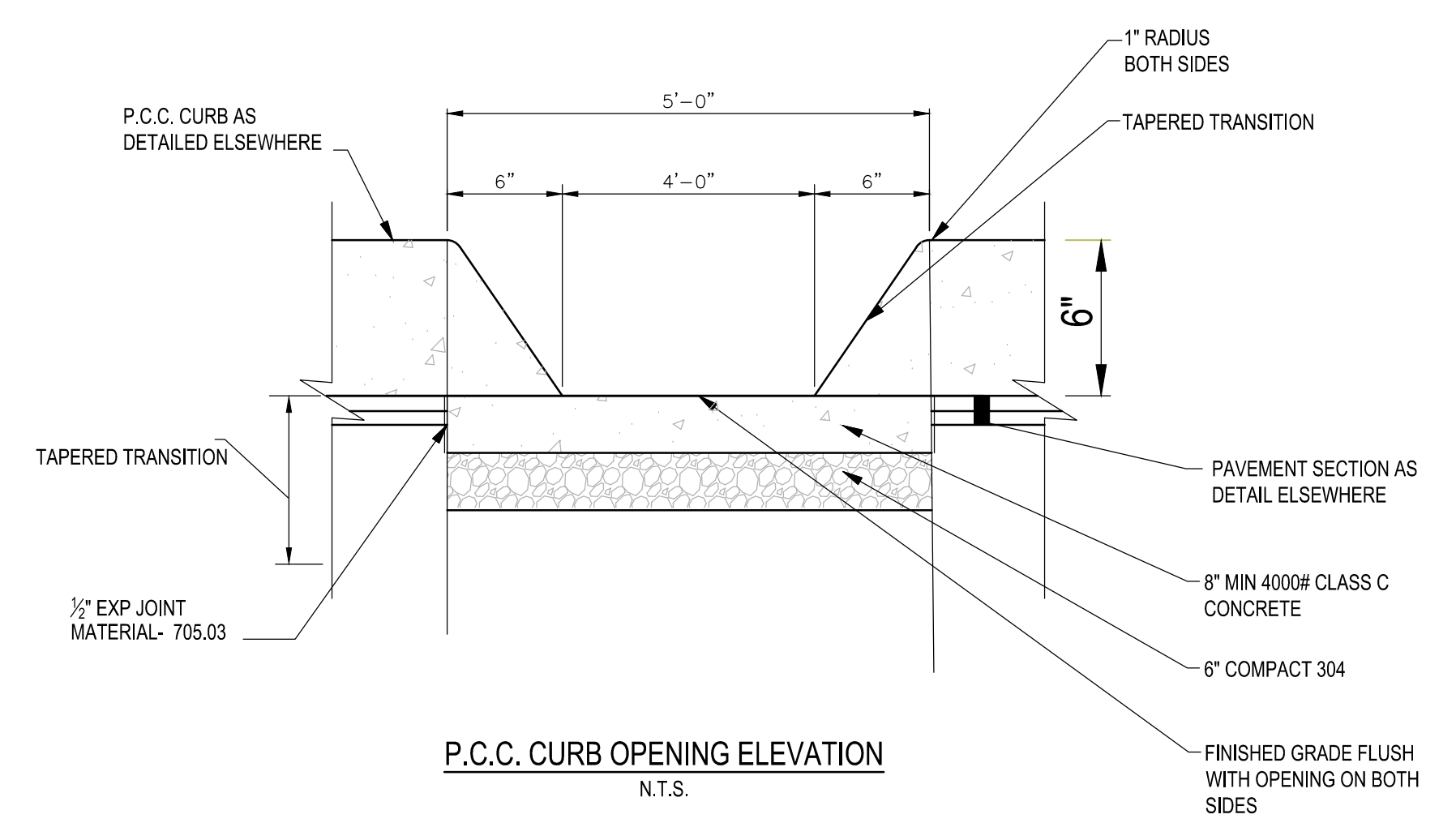
THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.



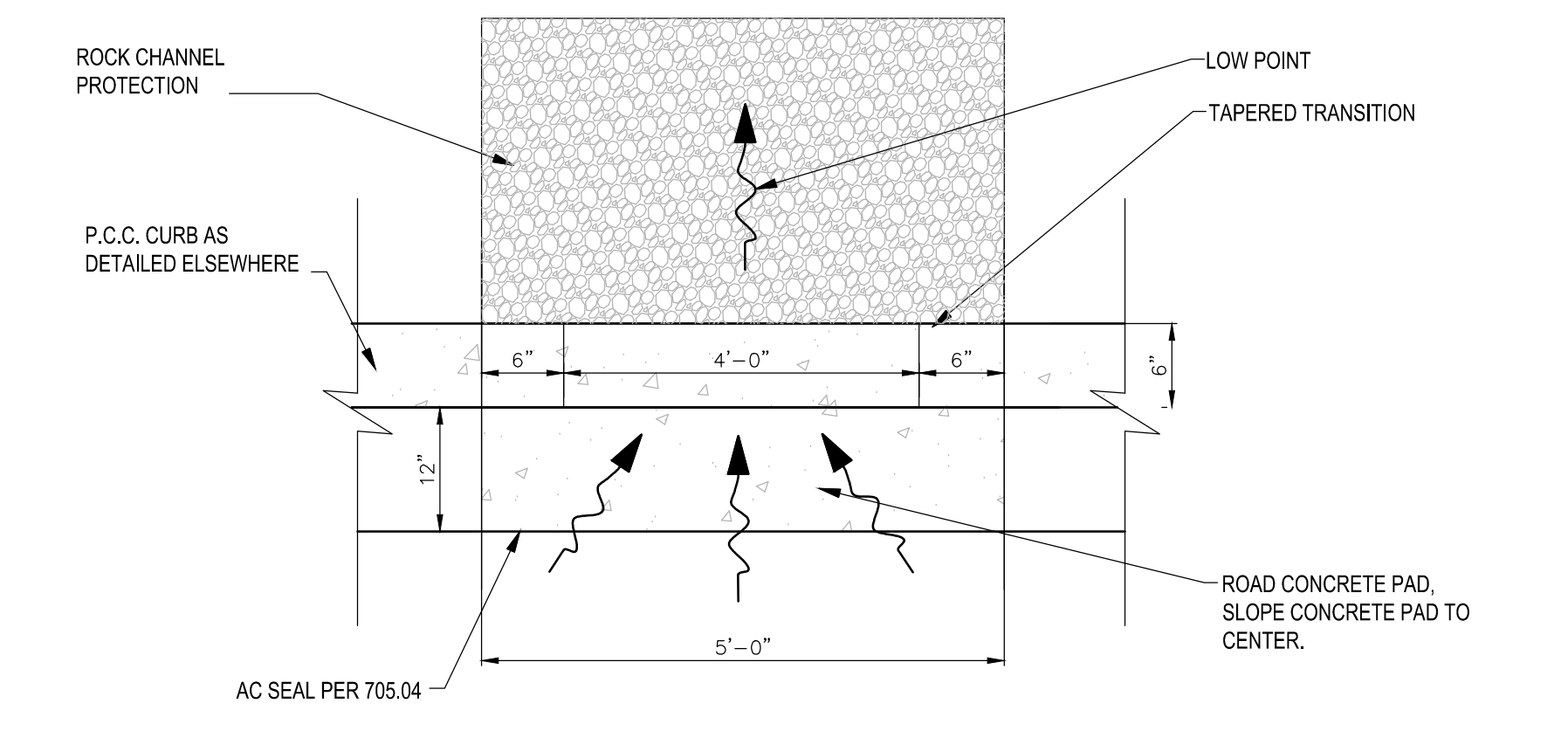
BIORETENTION CELL CLEAN OUT DETAIL
N.T.S.



P.C.C. CURB OPENING SECTION
N.T.S.



P.C.C. CURB OPENING ELEVATION
N.T.S.



P.C.C. CURB OPENING PLAN
N.T.S.

- NOTES
- FOR BIORETENTION NOTES, SEE SHEET 23.
 - FOR SEEDING NOTES, SEE SHEET 8.

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LANDSCAPE NOTES

PLANTING NOTES:

ITEM 661 - PLANTING TREES, SHRUBS, PERENNIALS
 ALL TREES, SHRUBS AND PERENNIALS SHALL BE PLANTED PER ODOT ITEM 661. CONTRACTOR IS TO FURNISH ALL EQUIPMENT, MATERIAL, AND LABOR TO INSTALL PLANTS PER THE PLANS. THIS ITEM INCLUDES THE PLANT PER PLAN, INSTALLATION, STORAGE, PREPARATION, EXCAVATION, MULCH, AND BACKFILL. TREE, SHRUB, AND PERENNIAL PLANTING SHALL BE IN ACCORDANCE WITH ODOT ITEM 661 PLANTING TREES, SHRUBS, AND PERENNIALS. THE ABOVE WORK SHALL BE INCLUDED IN THE UNIT BID PRICE PER EACH FOR ITEM 661- PLANTING TREES, SHRUBS, PERENNIALS.

ITEM 662 - LANDSCAPE WATERING
 CONTRACTOR IS TO FURNISH, DELIVER, APPLY, AND SCHEDULED ALL SUFFICIENT AMOUNT OF WATER TO KEEP IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THIS ITEM INCLUDES ALL EQUIPMENT, MATERIAL AND LABOR NEEDED PER PLAN. THE ABOVE WORK SHALL BE INCLUDED IN THE UNIT BID PRICE PER MGAL FOR ITEM 662-LANDSCAPE WATERING.

THE FOLLOWING ESTIMATED QUANTITY HAS BEEN CARRIED TO THE GENERAL SUMMARY

ITEM 662 - LANDSCAPE WATERING 5 MGAL

ITEM SPECIAL - BIORETENTION AREA (A, B, C)
 CONTRACTOR IS TO FURNISH ALL EQUIPMENT, MATERIAL, AND LABOR TO INSTALL THE BIORETENTION SOIL MEDIA PER PLAN. THIS ITEM INCLUDES ALL SOIL, GRAVEL, AND SAND LAYERS AND THEIR INSTALLATION, STORAGE, PREPARATION, EXCAVATION, AND BACKFILL. THE ABOVE WORK SHALL BE INCLUDED IN THE UNIT BID PRICE PER EACH FOR ITEM SPECIAL - BIORETENTION SOIL MEDIA. THE QUANTITY HAS BEEN CARRIED OVER TO THE GENERAL SUMMARY.

BIORETENTION NOTES

1. SOIL MEDIA
 TEXTURE CLASS: LOAMY SAND HAVING NO LESS THAN 80% SAND AND NO GREATER THAN 10% CLAY CONSIDERING ONLY THE MINERAL FRACTION OF THE SOIL

 PH RANGE: 5.2-8.0

 SOLUBLE SALTS: 500 PPM MAXIMUM

 DECOMPOSED ORGANIC MATTER: 3-5% BY WEIGHT

 PHOSPHOROUS: PHOSPHORUS OF THE PLANTING SOIL SHALL FALL BETWEEN 15 AND 60 MG/KG AS DETERMINED BY THE MEHLICH III TEST

 SAND ADDED SHALL BE CLEAN AND MEET AASHTO M-6 OR ASTM C-33 WITH GRAIN SIZE OF 0.02-.04"
2. FILTER LAYER:
 3" OF CLEAN MEDIUM CONCRETE SAND (ASTM C-33) OVER 3" OF #8 OR # 78 STONE (PEA GRAVEL)
3. GRAVEL LAYER AND UNDERDRAIN SYSTEM GRAVEL BED:
 SHALL CONSISTS OF #57 WASHED STONE

BIORETENTION CONSTRUCTION NOTES:

- A) TIMING OF CONSTRUCTION CONSTRUCTION SHALL TAKE PLACE AFTER LAND GRADING IS COMPLETE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. CONSTRUCTION SHALL NOT TAKE PLACE DURING PERIODS OF PRECIPITATION SINCE CLOGGING OF SOILS, BEDDING, FILTER OR PLANTING SOIL MAY OCCUR.
- B) CONSTRUCT THE BIORETENTION CELL(S) AFTER ALL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED AS SHOWN ON THE CONTRACT PLANS AND TO THE SATISFACTION OF THE ENGINEER. DO NOT USE THE COMPLETED BIORETENTION CELL(S) AS TEMPORARY SEDIMENT CONTROL FACILITIES DURING CONSTRUCTION. DO NOT OPERATE HEAVY EQUIPMENT WITHIN THE PERIMETER OF A BIORETENTION FACILITY DURING EXCAVATION, UNDERDRAIN PLACEMENT, BACKFILLING, PLANTING, OR MULCHING OF THE FACILITY. USE ALL SUITABLE EXCAVATED MATERIAL IN THE WORK. ALTERNATIVELY, LEGALLY USE, RECYCLE, OR DISPOSE OF ALL EXCAVATED MATERIALS.
- C) EXCAVATE THE BIORETENTION CELL(S) TO THE DIMENSIONS SIDE SLOPES, AND ELEVATIONS SHOWN ON THE CONTRACT PLANS. MINIMIZE THE COMPACTION OF THE BOTTOM OF THE BIORETENTION FACILITY BY THE METHOD OF EXCAVATION.
- D) THE BIORETENTION SOIL SHALL BE A UNIFORM MIX THAT IS FREE OF STONES, STUMPS, ROOTS, OR ANY OTHER OBJECT THAT IS LARGER THAN ONE INCH. THE SOIL MAY CONSIST OF EXISTING SOIL, FURNISHED SOIL, OR A COMBINATION OF BOTH PROVIDED THAT IT MEETS THE FOLLOWING REQUIREMENTS:
- E) THOROUGHLY MIX THE BIORETENTION SOIL PRIOR TO PLACEMENT. TEST AND ADJUST THE PH AS NEEDED.
- F) CONSTRUCT THE UNDERDRAIN SYSTEM. PLACE THE GRANULAR BACKFILL MATERIAL TO THE INVERT OF THE BIORETENTION SOIL. ENSURE A MINIMUM OF 3" OF GRANULAR COVER OVER THE UNDERDRAIN PRIOR TO PLACEMENT OF THE BIORETENTION SOIL.
- G) PLACE CLEANOUTS WHERE SHOWN IN THE PLANS. CONNECT THE CLEANOUTS TO THE PER-FORATED UNDERDRAIN WITH THE APPROPRIATE MANUFACTURED CONNECTIONS. THE CLEANOUTS SHALL EXTEND 6 INCHES ABOVE THE TOP ELEVATION OF THE BIORETENTION FACILITY. CAP THE CLEANOUTS WITH A THREADED SCREW CAP. CAP THE ENDS OF UNDERDRAIN PIPES NOT TERMINATING IN AN OBSERVATION CLEANOUT OR CONNECTED TO OTHER CONDUITS.
- H) EXCAVATION, SOILS AND LINERS - EXCAVATE THE TRENCH TO PLAN DIMENSIONS BEING CAREFUL TO PROTECT IN-SITU SOILS BY AVOIDING COMPACTION OF THE TRENCH WITH EQUIPMENT AND FOOT TRAFFIC.
- I) MEET THE REQUIREMENTS SPECIFIED. DOCUMENTATION OF CERTIFICATION/TESTING SHALL BE AVAILAIBLE ONSITE TO SITE INSPECTORS. THE SOIL MEDIA SHALL BE PLACED IN 12" LIFTS AND LIGHTLY SETTLED BY GENTLE SOAKING WITH WATER. SOIL MEDIA SHALL BE PLACED TO A DEPTH OF APPROXIMATELY 5% HIGHER THAN THE FINISHED GRADE TO ALLOW SETTLING.

PLANT LIST

Symbol	Botanical Name	Common Name	Qty.	Min. Size	Remarks
Cv	Carex vulpinoidea	Fox Sedge	471	#1 Cont	24" O/C
Hh	Hemerocallis 'Going Bananas'	Going Bananas Daylily	419	#1 Cont	30" O/C
Iv	Iris versicolor	Blue Flag	202	#1 Cont	30" O/C
Sn	Symphotrichum novae-angliae	New England Aster	67	#1 Cont	24" O/C
		'Purple Dome'			'Purple Dome'

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LANDSCAPE NOTES

INTERSECTION
 MODIFICATIONS

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BIORETENTION MAINTENANCE AND OPERATION NOTES

1. RESPONSIBLE PARTIES CONTACTS

POST-CONSTRUCTION RESPONSIBLE PROPERTY
 PROPERTY OWNER: UNIVERSITY HEIGHTS
 ADDRESS:
 PHONE:
 CONTACT:
 EMAIL:

RESPONSIBLE PARTY DURING CONSTRUCTION
 PROPERTY OWNER:
 ADDRESS:
 PHONE:
 CONTACT:
 EMAIL:

2. BIORETENTION / INFILTRATION BASIN GOAL

THE MAIN GOAL OF THIS MANUAL IS TO PROVIDE THE INSTRUCTION FOR THE UPKEEP AND MAINTENANCE OF THE BIORETENTION CELLS IN THE WASHINGTON BOULEVARD, SILSBY ROAD, SAYBROOK ROAD INTERSECTION MODIFICATIONS PROJECT. THE PURPOSE OF THE BIORETENTION CELLS IS TO INTERCEPT AND TREAT STORMWATER RUNOFF FROM THE STREET BEFORE IT MIGRATES TO NEARBY LAKES AND STREAMS, BY MAKING THE INTERCEPTED STORMWATER EITHER ABLE TO BE USED BY PLANTS OR CLEANED AND RETURNED TO THE GROUNDWATER SYSTEM. THE PROPOSED PLANTS ARE ENVISIONED TO CREATE A SUSTAINABLE PLANT COMMUNITY THAT AIDES IN TREATING RUNOFF BEFORE IT ENTERS THE GROUNDWATER SYSTEM. THE PLANTED BIORETENTION AREAS MUST REMAIN CLEAR OF OBSTRUCTIONS AND REMAIN IN A POSITIVE FLOWING CONDITION AND BE OBSERVED WITH REGULARITY TO ENSURE PROPER OPERATION.

3. MAINTENANCE TASKS

SEE FORM ON THIS SHEET OF THE TASKS AND DUTIES AND HOW OFTEN THEY ARE PERFORMED TO MAINTAIN THE BIORETENTION SYSTEMS THROUGHOUT ITS SHORT TERM AND LONG TERM USE.

4. OPERATIONS AND MAINTENANCE CONSIDERATIONS

A) EROSION CONTROL PREVENTION AND MAINTENANCE THE BIORETENTION BASINS WILL REQUIRE ADDITIONAL CARE DURING ITS FIRST YEAR OF OPERATION. SOIL ON THE SIDES OF THE BASIN MAY TEND TO WASH OUT AND ERODE UNTIL THE PLANTINGS HAVE HAD A CHANCE TO FULLY ESTABLISH. INSTALLATION OF EROSION CONTROL MATING WILL HELP TO MINIMIZE EROSION AND ALLOW VEGETATION TO ESTABLISH. ERODED SOIL, MULCH AND WASHED OUT PLANTS SHALL BE REPAIRED AND REPLACED AS NECESSARY.

IN RELATION TO THE BASINS SUSCEPTIBILITY OF EROSION, ATTENTION SHALL BE GIVEN TO THE CURB CUTS ALONG THE ROADWAY TO ENSURE THEY ARE CLEAR OF MULCH, SOIL AND OTHER DEBRIS. ATTENTION SHALL ALSO BE GIVEN TO THE ODOT ROCK CHANNEL PROTECTION, THAT IT REMAINS CLEAR OF SOIL, MULCH AND DEBRIS TO ALLOW WATER FLOW FROM THE ROADWAY.

B) WEEDY AND INVASIVE PLANT SPECIES PREVENTION AND MAINTENANCE

UNTIL LANDSCAPE PLANTS HAVE A CHANCE TO ESTABLISH CARE WILL BE GIVEN TO ENSURE THE BIORETENTION CELLS REMAIN CLEAR OF WEEDY AND INVASIVE SPECIES. IT IS EASY TO READILY IDENTIFY AND ADDRESS WEEDS IN PLANTED AREAS IF WEED SCOUTING IS DONE EARLY AND FREQUENTLY AFTER PLANTING. WEEDS CAN BE HAND-PULLED OR TREATED SELECTIVELY WITH HERBICIDES. THE HERBICIDE MUST BE SPECIFIC TO THE WEED, WITH NO CHANCE OF TRANSLOCATION. ALWAYS FOLLOW INSTRUCTION ON THE HERBICIDE LABEL. HERBICIDES CAN BE APPLIED TO INDIVIDUAL PLANTS USING A SPRAY BOTTLE OR A DAUBER CONSTRUCTED OF PVC PIPE AND A SPONGE TIP.

THE DAUBER DISTANCES THE WORKER FROM THE CHEMICAL AND DOES NOT REQUIRE TO APPLY THE HERBICIDE.

C) INFORMED MAINTENANCE CREWS

THE SITE FACILITY MAINTENANCE INDIVIDUALS SHALL BE PROVIDED THE TABLE-1 REQUIREMENTS AS WELL AS ACCESS TO THE MAINTENANCE LOG FOR EVENT ENTRIES. THE INDIVIDUALS RESPONSIBLE FOR THE EVERYDAY AND REGULAR MAINTENANCE OF THE BIORETENTION AREAS SHALL BE INFORMED ON HOW THESE LIVING WATER QUALITY FEATURES WORK TO ENSURE PREMATURE FAILURE DOES NOT OCCUR.

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL TO SUSTAIN THE EFFECTIVE OPERATION OF BIORETENTION FACILITIES AS DESIGNED. THE UP TO DATE MAINTENANCE LOG WILL PROVIDE AN ACCURATE HISTORY OF THE FUNCTIONALITY OF THE BIORETENTION AREA WHICH WILL ALSO BE USED FOR FUTURE MAINTENANCE TASKS DECISIONS AND TASK DUE DATES. MAINTENANCE RESPONSIBILITY FOR A BIORETENTION AREA SHOULD BE VESTED WITH A RESPONSIBLE AUTHORITY BY MEANS OF A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT THAT IS EXECUTED AS A CONDITION OF PLAN APPROVAL.

D) ADDITIONAL SOIL MAINTENANCE

THE SURFACE OF THE PONDING ARE MAY BECOME CLOGGED WITH FINE SEDIMENT OVER TIME. CORE AERATION OR CULTIVATION OF VEGETATED AREAS MAY BE REQUIRED TO ENSURE ADEQUATE FILTRATION. SHOULD PONDING PERSIST SOIL MEDIA TESTS SHALL BE COMPLETED BY A QUALIFIED TESTING FACILITY. SOIL MEDIA MAY BE REMOVED AND REPLACED PERIODICALLY WITH THE SPECIFIED MIX IN THE CURRENT ENVIRONMENTAL REGULATIONS AND CURRENT STANDARD PRACTICES FOR BIORETENTION AREAS.

E) ADDITIONAL PLANT CARE

THERE IS NO SET RULE AS TO WHEN TO DIVIDE PERENNIAL. SOME MAY NEED DIVISION EVERY 3-5 YEARS, SOME 8-10 YEARS AND SOME NOT AT ALL. MOST PERENNIALS CAN BENEFIT FROM BEING DIVIDED TO PROMOTE NEW GROWTH. IT SHALL BE THE RESPONSIBILITY OF THE MAINTENANCE STAFF TO EDUCATE THEMSELVES ON THE PLANTS PRESENT WITHIN THE BIORETENTION CELLS AND TO UNDERSTAND THE SIGNS OF A PLANT THAT COULD BENEFIT FROM DIVISION.

Task	Frequency	Maintenance Notes	Completion Date/Initials
Activity Log	Every event related the bioretention area	Maintain an active neatly organized log of all events, maintenance activities. Keep log available for officials to review at any time.	
Mulching	1-2 times / year	Use triple-shredded hardwood mulch, remove and replace when erosion is evident. Mulch depth shall not exceed 3 inches.	
Mulch removal	1 time/2-3 years	Mulch accumulation reduces available water storage volume. Removal of mulch also increases surface infiltration rate of fill soil.	
Watering	1 time/2 -3 days for first 1-2 months. Sporadically after establishment	If drought conditions are noted, watering after the initial year may be required.	
Fertilization	1 time initially	One time spot fertilization for "first year" vegetation only.	
pH testing	1 time / year	The planting soils should be tested for pH to establish acidic levels. If the pH is below 5.2, limestone should be applied. If the pH is above 7.0 to 8.0, then iron sulfate plus sulfur can be added to reduce the pH	
Remove and replace dead plants	1 time / year	Within the first year, 10 percent of plants may die. Survival rates increase with time.	
Miscellaneous upkeep	12 times / year and as necessary	Tasks include trash collection, spot weeding, and removing mulch and other debris from roadway curb cuts.	
Soil Media Replacement	As Required	Tasks include soil testing of physical and chemical properties by a qualified facility. Replace soil as needed in accordance with current environmental regulations and standard practices.	

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BIORETENTION MAINTENANCE AND OPERATION NOTES

INTERSECTION MODIFICATIONS

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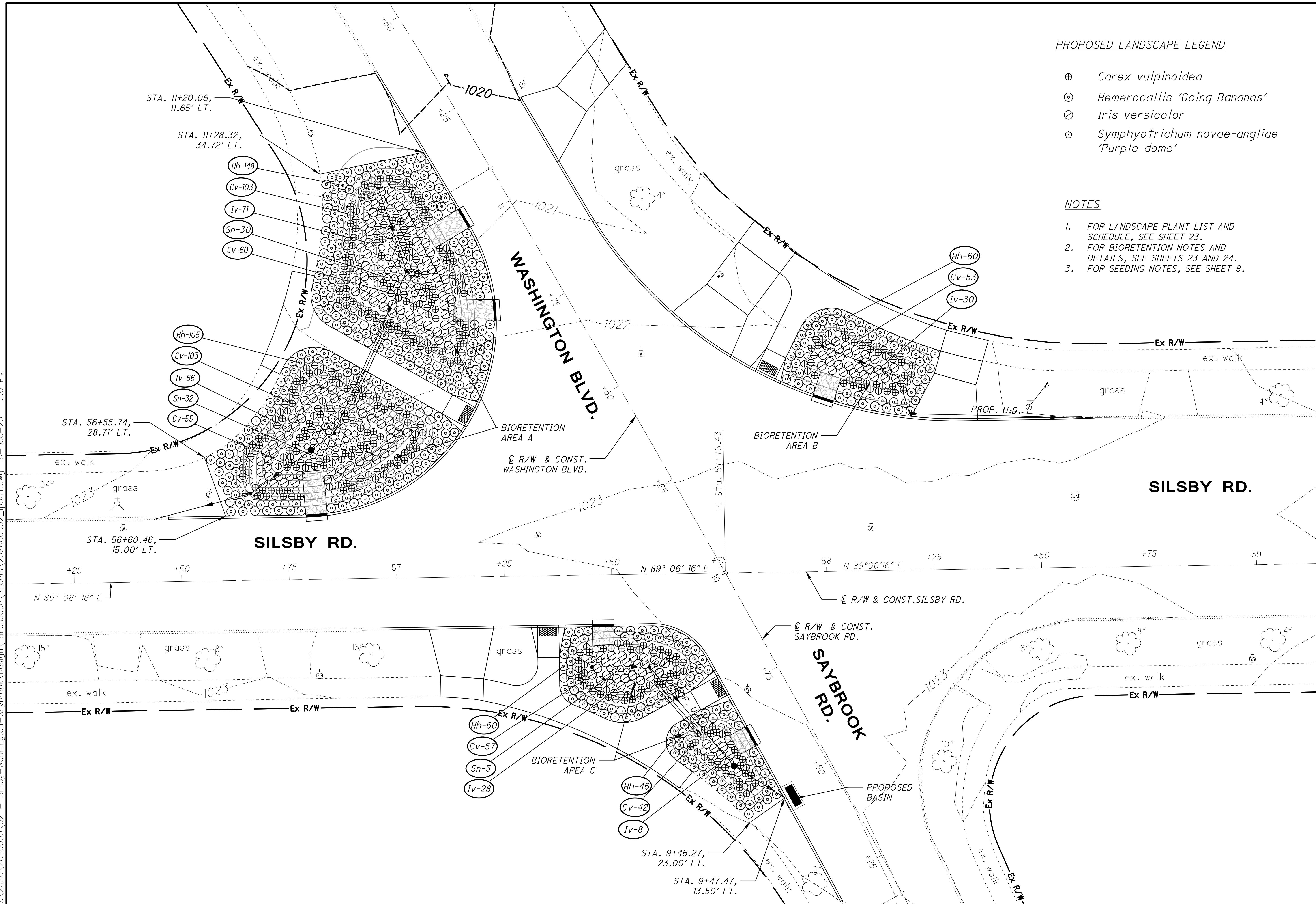
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PROPOSED LANDSCAPE LEGEND

- ⊕ *Carex vulpinoidea*
- ⊙ *Hemerocallis 'Going Bananas'*
- ⊖ *Iris versicolor*
- ⊕ *Symphyotrichum novae-angliae 'Purple dome'*

NOTES

1. FOR LANDSCAPE PLANT LIST AND SCHEDULE, SEE SHEET 23.
2. FOR BIORETENTION NOTES AND DETAILS, SEE SHEETS 23 AND 24.
3. FOR SEEDING NOTES, SEE SHEET 8.



LANDSCAPE PLAN

INTERSECTION
MODIFICATIONS

25
25



TO: City Council
FROM: Geoff Englebrecht, Director of Housing and Community Development
DATE: May 12, 2022
RE: NOACA TLCI Grant for Curb Bump-outs at Traymore and Hillbrook

Within your packet, you should have a copy of the presentation made to NOACA regarding the plan for curb bump-outs at Traymore and Hillbrook Roads. The presentation includes renderings which were part of the City's 2015 Cedar and Warrensville Center Roads Multimodal Transportation Plan for the curb bump-outs. Additionally, you should have a copy of Ordinance 2021-43 which was part of the City's submission for the grant application, a copy of an email to NOACA containing the City's D12-LPA application, and a copy of the NOACA 2022 Transportation for Livable Communities Initiative (TLCI) Sponsor Partnership Responsibilities letter. The Mayor's signature on the letter is a requirement by NOACA for the grant's implementation.

I respectfully request that Council allow for the Department to proceed with working in partnership with NOACA to bring the curb bump-outs into fruition, by granting permission for the Mayor's signature on the letter.

Thank you,

Geoff Englebrecht
Director of Housing and Community Development
(216) 932-7800 Ext. 202
GEnglebrecht@universityheights.com
<https://www.universityheights.com/departments/housing/>

RESOLUTION 2021 - 43

INTRODUCED BY: MAYOR MICHAEL DYLAN BRENNAN

**AN RESOLUTION SEEKING GRANT FUNDING FOR BUMP
OUTS AND CROSSWALKS TO BE LOCATED AT HILLBROOK
AND TRAYMORE ROADS ALONG WARRENSVILLE CENTER
ROAD UP TO \$300,000 AND DECLARING AN EMERGENCY.**

WHEREAS, with NOACA, the City completed the Warrensville Center Road and Cedar Road Multimodal Transportation Plan which was passed with public input during the year 2015.

WHEREAS, the study recommended low and medium cost improvements and included modifications for nine intersections and midblock crossings; and

WHEREAS, the crossings which the City is looking at funding through NOACA's TLCI grant are located at the intersections of Hillbrook and Traymore Roads along Warrensville Center Road; and

WHEREAS, the closest crosswalks across Warrensville are .42 of a mile in distance from themselves between Silsby and Meadowbrook, with Warrensville being 65 feet wide throughout its entirety within the City of University Heights; and

WHEREAS, the plan calls for installing two new crosswalks at the Hillbrook and Traymore Road intersections, along with installing curb extensions (or bump outs) to shorten the crossing distance and enhance pedestrian visibility while adding new green space.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of University Heights, State of Ohio:

Section 1. The City of University Heights request funding from NOACA's 2022 TLCI Implementation Program Application will not exceed \$300,000.00, but will require a local match of 20% as the City of University Heights is designated as an Urban Core Community.

Section 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements.

Section 3. This Resolution constitutes an emergency measure for the immediate preservation of public peace, health, and safety of the citizens of the City of University Heights, Ohio, and provided it receives the affirmative vote of not less than five (5) members of Council, it shall take effect immediately upon its passage and approval of the Mayor; otherwise, it shall become effective at the earliest time allowed by law.

CITY OF UNIVERSITY HEIGHTS, OHIO


MICHAEL DYLAN BRENNAN, MAYOR

PASSED: 10/04/2021

ATTEST:


KELLY M. THOMAS, CLERK OF COUNCIL

APPROVED AS TO FORM:


LUKE F. MCCONVILLE, LAW DIRECTOR



March 15, 2022

2022 NOACA BOARD OF DIRECTORS

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- First Vice President**
- William Hutson, Medina County Commissioner
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- Timothy J DeGoster, Mayor, City of Parma
- James DeRosa, Interim Director of Capital Projects, City of Cleveland
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- Kyle Dreyfuss-Wells, Chief Executive Officer, NEORSO
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- James R. Gills, P.E., P.S., County Engineer, Lake County
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- Dale Miller, Cuyahoga County Councilman, District 2
- John Picuni, P.E., District 12 Deputy Director, ODOT
- John Pilecki, Lake County Commissioner
- Khalid Seren, Mayor, City of Cleveland Heights
- Ralph Spidlar, Geauga County Commissioner
- Kim Thomas, Mayor, City of Richmond Heights
- Ron Young, Lake County Commissioner
- Ex Officio Members:**
- Kurt Plonick, District Chief, Northeast District Office, Ohio Environmental Protection Agency
- Ferzan M. Ahmed, P.E., Executive Director, Ohio Turnpike and Infrastructure Commission

Executive Committee Members
Grace Gallucci, NOACA Executive Director

Michael Dylan Brennan
Mayor
City of University Heights
2300 Warrensville Center Road
University Heights, OH 44118

Dear Mayor Brennan,

Congratulations! On March 11, 2022, the Northeast Ohio Areawide Coordinating Agency (NOACA) Board of Directors approved funding for the Pedestrian Improvements along Warrensville Center Rd. at Traymore and Hillbrook Intersections project through the Transportation for Livable Communities Initiative (TLCI) Implementation program.

NOACA will provide 100% of the eligible costs, up to a maximum of \$251,000, utilizing Toll Revenue Credits to meet Federal Matching requirements. Please note that TLCI Implementation program funds are only allowable for construction related expenses. Preliminary engineering and design phase related costs are the responsibility of the project sponsor. NOACA staff will work with you to determine appropriate milestone dates for the project.

NOACA received a total of 17 applications for the 2022 program, requesting about \$8.1 million in funding. This year there was \$1.8 million in available TLCI program funds for projects, resulting in a highly competitive selection process.

Attached to this communication are the next steps to be undertaken to properly program your project for implementation. Please contact Jim Thompson, Senior Planner, at 216-241-2414 extension 275, or jthompson@mpo.noaca.org, if you have any questions.

On behalf of NOACA, we are excited to advance your project and look forward to a collaborative and meaningful working relationship.

Respectfully,

Grace Gallucci
Executive Director

CC: Geoffrey Englebrecht, Director of Housing and Community Development, City of University Heights; Keri Welch, District Planning Engineer, ODOT District 12; Natalie Conley, LPA Manager, ODOT District 12;

Attachments: Sponsor Partnership Responsibilities; TLCI Project Programming Next Steps

NOACA 2022 Transportation for Livable Communities Initiative (TLCI) Sponsor Partnership Responsibilities

Sponsor Agency: University Heights

Project(s):

Project Name	NOACA Funding	Work Phase	SFY
Pedestrian Improvements along Warrensville Center Rd. at Traymore and Hillbrook Intersections	\$251,000 (100% TLCI)	Construction	2023

The sponsor shall work with NOACA as a partner in the development and implementation of the stated project(s). To ensure NOACA program objectives are being met, NOACA participation and approval is required for each activity listed below. If these conditions are not met, NOACA reserves the right to cancel this agreement and withdraw or reduce its funding commitment.

- 26. NOACA participation in the project kick off/scope meeting between the sponsor, its consultants, ODOT, and other stakeholders (as applicable).
- 27. NOACA participation in any formed project steering and stakeholder committee, inclusive of agenda setting and schedule of meetings (if applicable).
- 28. NOACA review and approval of the original, and any proposed modifications to, project scope of services, delivery milestone dates, and staged design plans.
- 29. NOACA participation in and approval of the project public engagement and involvement process and related materials.
- 30. NOACA participation in and approval of Media, press releases and other widespread external communications and events regarding the project.

NOACA will provide timely coordination and review in the issuance of any comments and approval of these items in its role as project partner.

After we receive your signed acknowledgement of Sponsor Partnership Responsibilities, NOACA will work with the appropriate state and federal agencies to program the project in the TIP for the stated funding amount and indicated year of implementation.

Authorized Agency Representative

Date

Grace Gallucci, Executive Director, NOACA

Date

Geoff Englebrecht

From: Keri.Welch@dot.ohio.gov
Sent: Monday, May 9, 2022 4:10 PM
To: Geoff Englebrecht
Cc: Natalie.Conley@dot.ohio.gov; Jim Thompson
Subject: RE: University Heights NOACA TLCI- D12-LPA Scope of Services form

Geoff,

Thanks for submitting your project information. Your request to program the project will be processed. Once it is programmed, I will send you a PID for tracking and information regarding the next steps.

Keri J. Welch, PE
District Planning Engineer
ODOT District 12: Cuyahoga, Geauga & Lake counties
5500 Transportation Blvd., Garfield Heights, Ohio 44125
(p) 216.584.2166 (m) 216.956.0692
transportation.ohio.gov



From: Geoff Englebrecht <GEnglebrecht@universityheights.com>
Sent: Friday, April 29, 2022 4:23 PM
To: Conley, Natalie <Natalie.Conley@dot.ohio.gov>
Cc: Welch, Keri <Keri.Welch@dot.ohio.gov>
Subject: University Heights NOACA TLCI- D12-LPA Scope of Services form

This message was sent from the City of University Heights.

Hello Natalie and Keri-

Attached please find University Heights D12-LPA form. If you have any questions, feel free to reach me by email or by phone.

Thanks!

Geoff Englebrecht
Director of Housing and Community Development
(216) 932-7800 Ext. 202
GEnglebrecht@universityheights.com
<https://www.universityheights.com/departments/housing/>

CAUTION: This is an external email and may not be safe. If the email looks suspicious, please do not click links or open

attachments and forward the email to csc@ohio.gov or click the Phish Alert Button if available.

L P A S C O P E O F S E R V I C E S F O R M

A. Project Identification

County-Route-Section: CUY-CR04-6.06 – Warrensville Center Road Pedestrian Crossings
(Project Name)

Project Sponsor / Maintenance Responsibility: City of University Heights

Local Let

ODOT Let

PID (ODOT assigned): _____

Scope Field Review: _____

Scope Meeting: _____

Proposed Sale Date: _____

State Fiscal Year: 2023

Highway Functional Classification: Principal Arterial

NHS Route: Yes

B. Design Standard

ODOT Location and Design Manual, Ohio Manual of Uniform Traffic Control Devices, Traffic Engineering Manual

C. Project Description

Description of Project:
(detail transportation issues to be improved) Construction of 2 pedestrian crossings at each of the intersections Warrensville Center Road and Traymore Road and Hillbrook Road. Crossings will include curb bump outs to shorten the walk distance from 64' to approximately 52', increased greenspace, high visibility crosswalks, and rectangular rapid flashing beacons (RRFB).

Prior studies / plans: Warrensville Center Road and Cedar Road Multimodal Transportation Plan (TLCI), November 2015

Project Limits: <i>(identify start and end locations)</i>	<u>Warrensville Center/Traymore Road intersection, Warrensville Center/Hillbrook Road intersection</u>
Estimate Project Length: <i>(begin pavement to end pavement including bridge)</i>	<u>900'</u>
Work Length: <i>(including project length & approach work)</i>	<u>900'</u>

Alignment: Existing
 Relocated (explain) _____

Profile: Existing
 New (explain) _____

Logical Termini: Pedestrian crossings at two separate intersections. Locations determined as part of 2015 TLCI study.

D. Typical Sections

Existing	Pavement Width:	<input checked="" type="checkbox"/> curb to curb	Graded Shoulder:	
	64'	<input type="checkbox"/> edge to edge	Treated Shoulder:	
	R/W Width:			
	90'			
	Bridge Width:	<input type="checkbox"/> f/f of rails, <input type="checkbox"/> t/t of curbs, or <input type="checkbox"/> t/t of parapets		
	N/A			

Existing	Yes	No	Comment / Type
Median	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Curbs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Curb ramps	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Width: 5'
Guardrail	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Additional Things To Note About **Existing** Typical Section: _____

Proposed	Pavement Width:	<input checked="" type="checkbox"/> curb to curb	Graded Shoulder:	
	52'	<input type="checkbox"/> edge to edge	Treated Shoulder:	
	R/W Width:			
	90'			
	Bridge Width:	<input type="checkbox"/> f/f of rails, <input type="checkbox"/> t/t of curbs, or <input type="checkbox"/> t/t of parapets		
	N/A			

Proposed	<u>Yes</u>	<u>No</u>	<u>Comment / Type</u>
Median	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Curbs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Curb ramps (*)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reconstruct to ADA</i>
Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Width: <u>5'</u>
Guardrail	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Note () – Curb ramps must be updated to current ADA standards.*

Additional Things To Note About **Proposed** Typical Section: _____

Supplemental Information:

ADT	<u>20,455</u>	Design ADT	<u>20,455</u>
DHV	<u>1,750</u>	Certified Traffic	<u>no</u>
T24	<u>2.7%</u>		
Design Speed	<u>40 mph</u>	Legal Speed	<u>35 mph</u>
Comments:	_____		

E. Environmental

Note: All required environmental studies must be performed by prequalified consultants (unless noted with “(*)” below) and the document must be completed using ODOT’s EnviroNet System.

These are actions and/or items the District Environmental Staff deems necessary to address as part of the LPA project environmental documentation. This form is not all inclusive, and more items may be required upon initiation of agency coordination and field studies.

Categorical Exclusion (CE) Environmental Document *(select document type)*

- C1 C2 D1 D2 D3 EA EIS

Required		Note: (*) – prequalified consultant is NOT required	Responsibility/Notes
Yes	No		
Cultural Resources			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Section 106 – Scoping Request Form (*)	
<input type="checkbox"/>	<input type="checkbox"/>	Phase I Cultural Resources Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase I History/Architecture Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase I Archaeology Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase II Cultural Resources Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase II History/Architecture Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase II Archaeology Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Phase III Archaeology Data Recovery	
<input type="checkbox"/>	<input type="checkbox"/>	Addendum reports/submissions	
<input type="checkbox"/>	<input type="checkbox"/>	Documentation for Consultation/MOA	
<input type="checkbox"/>	<input type="checkbox"/>	HABS/HAER/Cultural Documentation	
Section 4(f) / Section 6(f)			
<input type="checkbox"/>	<input type="checkbox"/>	Determination Request Form	
<input type="checkbox"/>	<input type="checkbox"/>	Individual Section 4(f) Evaluation	
<input type="checkbox"/>	<input type="checkbox"/>	Section 6(f) Documentation	
Ecological Resources			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Ecological Exempt Form (*) – use <i>EnviroNet Tab</i>	
<input type="checkbox"/>	<input type="checkbox"/>	Level 1 Ecological Survey Reports – use <i>EnviroNet Tab</i>	
<input type="checkbox"/>	<input type="checkbox"/>	Level 2 Ecological Survey Reports – use <i>EnviroNet Tab</i>	
<input type="checkbox"/>	<input type="checkbox"/>	Level 3 Ecological Survey Reports	
<input type="checkbox"/>	<input type="checkbox"/>	UNIONID Mussel Survey Report	
<input type="checkbox"/>	<input type="checkbox"/>	Biological Assessment	
<input type="checkbox"/>	<input type="checkbox"/>	Coastal Zone Management	
Sole Source Aquifer			
<input type="checkbox"/>	<input type="checkbox"/>	Sole Source Aquifer Coordination	
Farmland Policy Protection Act (FPPA)			
<input type="checkbox"/>	<input type="checkbox"/>	Farmland Conversion Impact Rating-Form	
Waterway Permits			
<input type="checkbox"/>	<input type="checkbox"/>	Permit Determination Request Package	
<input type="checkbox"/>	<input type="checkbox"/>	Conceptual Stream/Wetland Mitigation Reports	
<input type="checkbox"/>	<input type="checkbox"/>	Section 404/401 Applications	
<input type="checkbox"/>	<input type="checkbox"/>	USACE Pre-Construction Notification (PCN) Applications	
<input type="checkbox"/>	<input type="checkbox"/>	Ohio EPA Isolated Wetland Permit Pre-Activity Notification (PAN)	
<input type="checkbox"/>	<input type="checkbox"/>	Coastguard Section 9 Application	
<input type="checkbox"/>	<input type="checkbox"/>	ACOE Section 10 Permit	
<input type="checkbox"/>	<input type="checkbox"/>	Flood Plain Permit Application	

Required		Note: (*) – prequalified consultant is NOT required	Responsibility/Notes
Yes	No		
Environmental Site Assessment			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Regulated Materials Screening (RMR) (*)	
<input type="checkbox"/>	<input type="checkbox"/>	RMR Assessment	
<input type="checkbox"/>	<input type="checkbox"/>	RMR Investigation	
<input type="checkbox"/>	<input type="checkbox"/>	Asbestos Survey	
Noise			
<input type="checkbox"/>	<input type="checkbox"/>	Traffic Noise Analysis Report	
<input type="checkbox"/>	<input type="checkbox"/>	Noise Barrier Public Involvement Summary	
Public Involvement Activities			
<input type="checkbox"/>	<input type="checkbox"/>	Public Involvement Plan	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Public Involvement Activities	

Any Known Environmental Concerns (ex. Historic properties on National Register, wetlands, underground storage tanks, stream relocation): _____

F. Right-of-Way

	Yes	No	Remarks
Right-of-Way Plan:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Approximate Number of Parcels:			_____
Known Relocations:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Railroad Involvement:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Railroad Name:			_____
Encroachments:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Airway Highway Clearance:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Airport Name:			_____
Comments:			_____

Note: Provide a footprint of proposed and existing right of way limits as soon as available to the District Environmental Coordinator and District Real Estate Administrator.

Caution: Environmental needs to be clear prior to the beginning of right of way acquisition. A Local Public Agency, utilizing their own monies, assumes many risks by proceeding with acquisition prior to environmental being cleared. These risks include purchasing r/w that may never be used for the project and purchasing a site that contains the need for a hazardous waste cleanup.

G. Utilities

		Yes	No	Name of Company			
Aerial	Phone	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
	Cablevision	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
	Power	<input checked="" type="checkbox"/>	<input type="checkbox"/>	First Energy			
Underground	Phone	<input checked="" type="checkbox"/>	<input type="checkbox"/>	AT&T			
	Cablevision	<input type="checkbox"/>	<input type="checkbox"/>				
	Power	<input checked="" type="checkbox"/>	<input type="checkbox"/>	First Energy			
	Gas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dominion			
	Pipelines:	<input type="checkbox"/>	<input type="checkbox"/>				
					<u>Private</u>	<u>Public</u>	<u>Name of Company</u>
	Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cleveland Water Department	
Sanitary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	University Heights		
Storm	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	University Heights		
Other: _____							
Comments: _____							

H. Structure Requirements

Existing Structure Information:	Structure type:	N/A				
	Bridge No.:	_____	Structural File No.:	_____		
	Sufficiency Rating:	_____	General Appraisal:	_____		
	Crossing:	_____				
	Bridge Length:	_____	Number of Spans:	_____		
	Eligible for the National Historical Register:	<input type="checkbox"/> Yes <input type="checkbox"/> No				

Proposed Structure Information:	New Structure: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Rehabilitate Existing Bridge by: _____
	Structure Type: _____
	Beam Type: <input type="checkbox"/> Concrete Box; <input type="checkbox"/> Steel; <input type="checkbox"/> n/a
	Structure Width: _____ Number of Spans: _____
	Other Design Considerations / Explanation of Change in Line/Grade: _____
	Guardrail Type: _____

I. Design Exception(s) Required

Yes Explain: _____
 No

J. Traffic Control

	<u>Yes</u>	<u>No</u>	<u>Remarks</u>
Signing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>RRFB and crosswalk signs</u>
Striping:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>High visibility crosswalks</u>
Lighting:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
Signals (**):	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
RPMs:	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____

*Note (**)* – If signals are “Yes” complete the Traffic Signal Scope Form.

K. Maintenance of Traffic

Type of MOT: Detour, Part Width, Daily Flagging
 Remarks/Describe: Maintain two lanes in each direction
 Will Pedestrian Traffic need to be maintained? yes
 Remarks/Describe: _____

L. Driveways

Yes Type: _____
 No

M. Project Funding

Project Cost Estimate: \$302,228

Quantity splits needed in plans to differentiate funding participation: Yes Comments: _____
 No

Coordination with Concurrent Projects Required: Yes Comments: _____
 No

Cost Estimates:

	<u>Total Federal or State Funds</u>	<u>Percent Split</u>	<u>Total Local Funds</u>	<u>Percent Split</u>
Preliminary Engineering (PE)	\$ _____	0 %	\$ 25,500	100 %
Right-of-Way (RW)	\$ 0	0 %	\$ 0	0 %
Utilities	\$ 0	0 %	\$ 0	0 %
Construction (CO) - TLCI	\$ 207,452	100 %	\$ 0	0 %
Construction (CO) - Toll Revenue Credits	\$ 23,050	100 %	\$ 0	0 %
Construction (CO) - Local	<u>\$ 0</u>	<u>0 %</u>	<u>\$ 25,728</u>	<u>100 %</u>
Construction Eng. (CE) - TLCI	<u>\$ 18,448</u>	<u>100 %</u>	<u>\$ 25,728</u>	<u>100 %</u>
Construction Eng. (CE) - Toll Revenue Credits	<u>\$ 2,050</u>	<u>100 %</u>	<u>\$ 0</u>	<u>100 %</u>
Total	\$ 251,000	83 %	\$ 51,228	17 %

Additional remarks about funding: _____

N. Roles/Responsibilities

Note: Consultants used for development of Construction plans, R/W plans, R/W acquisition/appraisals, and Construction inspection must be pre-qualified by ODOT.

Construction Plan Development: City of University Heights

Proposal/Specification Development: ODOT

LPA Agreement: ODOT

Form and Preliminary Legislation: ODOT

Advertising and Award of Contract: ODOT

Construction Inspection: ODOT

R/W Plan Development: N/A

R/W Acquisition / Appraisals: N/A

Utility Relocation: N/A

O. Field Review

Representatives Present:		Date:
Name	Company	Phone / E-mail

P. Commitment Dates

ODOT-Let Local-Let Reservoir

<u>Activity</u>	<u>Milestone Date</u>
Authorization to Proceed	5/30/2022
Stage 1 Submitted for Review <i>(Allow ODOT 30 days for review)</i>	7/8/2022
Environmental Document Approved	
Stage 2 Submitted for Review <i>(includes Preliminary R/W Plans)</i>	-
R/W Plans Approved – or – R/W Plans Not Required (“N/A”)	-
Stage 3 Submitted for Review <i>(includes Bid Document and Estimate)</i> <i>(Allow ODOT 30 days for review)</i>	9/16/2023
Final Tracings – or – PS&E Package to District <i>(includes Final Plans, Bid Document and Estimate)</i>	11/4/2023
R/W and Utility Clearance by District <i>(District certifies clearance to FHWA. LPA should certify to the District one (1) month before this date.)</i>	11/4/2023
Plan Package to C. O. (File Date)	11/18/2023
<i>(For Local Let projects, allow 45 days to Sale Date which includes processing the request for Authorization and three (3) weeks minimum for advertising.)</i>	
Sale Date (Bid Opening Date)	1/2023
Award Date <i>(LPA should submit a summary of bid tabs and the identity of the awarded contractor to the District no later than one (1) week after the award.)</i>	2/2023
Estimated Begin Construction	5/1/2023
Estimated End Construction	8/1/2023

Other due dates of interest:

- LPA certifies R/W and utility clearance to the District
- LPA submits bid results (award package) to District

Project Schedule Approval:

Environmental Coordinator

Real Estate Administrator

Program Manager

Project Manager



Pedestrian Crosswalks and Bump-Outs at Traymore and Hillbrook Roads

**2022 TLCI Program-Implementation Applicant
Presentation**

November 3, 2021 4:00PM

City of University Heights

An aerial photograph of a large, multi-story brick university building with a prominent central tower. The building features a courtyard with a green lawn and several trees. The surrounding area includes other campus buildings, parking lots, and greenery.

City Information

University Heights is an urban suburb that celebrates diversity. Our community's mosaic is replete with educational and religious institutions, walkable neighborhoods, local eateries, shopping and nearby amenities, offering residents the opportunity to build a life by design, find their forever homes and plant roots.

Population: 13,914 (2020 Census)

Land area: 1.826 sq mi

Population density: 7,603.28/sq mi

Nickname: City of Beautiful Homes

Home of John Carroll University

Warrensville Center Road and Cedar road Multimodal Transportation Plan

- Plan stemmed from a need to improve connectivity for pedestrians, transit riders, and bicyclists.
- Goal was to create better multimodal transportation connectivity by improving existing infrastructure.

Plan Accomplishments

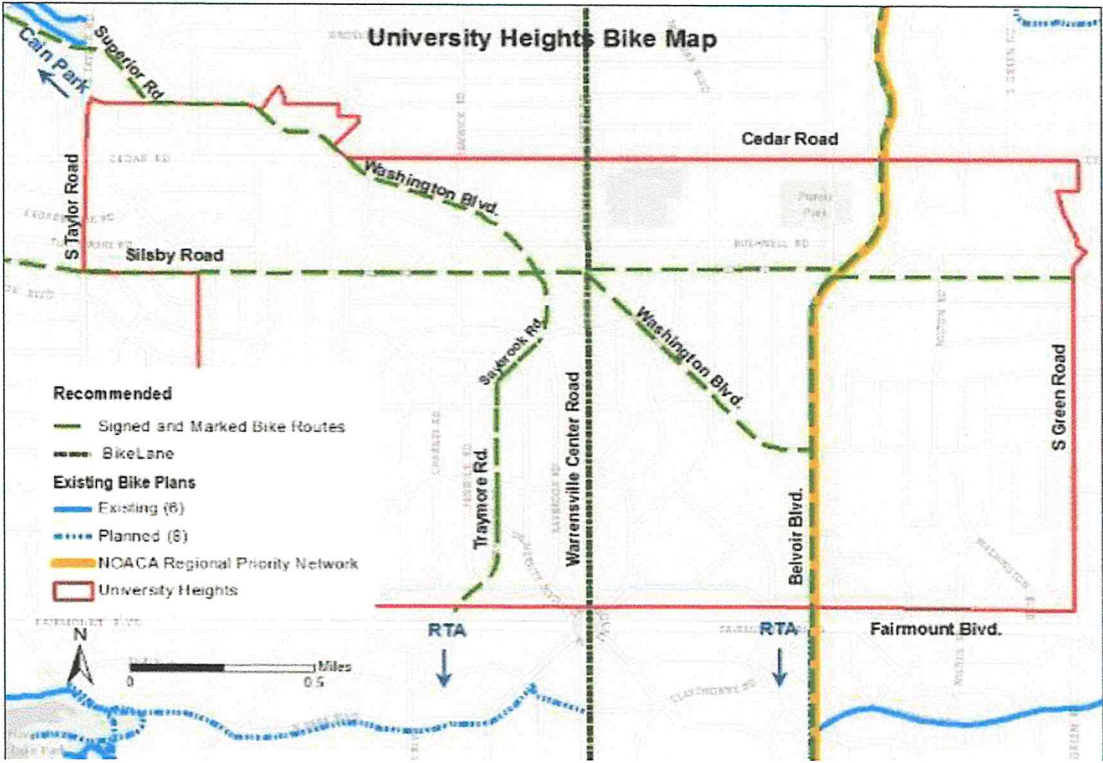
- To date, the City has applied for and received funding for the completion of two pedestrian midblock crossings with median refuge island crosswalks along Warrensville Center Road.
- First location: Between Hillbrook and Traymore Roads
- Second location: Between Meadowbrook and Fairmount Boulevards
- Removal of on-street parking in order to implement bicycle lanes along Warrensville Center Road

Future Plans For Implementation of TLCI-Plan

- To date, approximately 10% or less of the total plan has been implemented.
- City will continue to seek funding for the remaining portions of the TLCI-Plan.
- City is presently seeking funding for resurfacing of Warrensville Center Road through the Ohio Public Works Commission.
- City is currently researching funding through Cuyahoga County Department of Development for the Bicycle Masterplan, part of TLCI-Plan.

University Heights Bicycle Masterplan

Warrensville Center Road Completed





Warrensville Center Road

- **Warrensville Center Road is 65 feet wide throughout it's 1.04 miles stretch within the city.**
- **Connects the City's major assets, including the commercial district north of Slisby Road, residential areas to the south, and John Carroll University northeast of Fairmount Circle.**
- **Lined with two-family and mult-unit properties south of Silsby Road to Fairmount Circle.**
- **Regional thoroughfare- over 8,000 car trips daily.**

CUY-UNIVERSITY HEIGHTS TLCI
 CITY OF UNIVERSITY HEIGHTS
 TRAYMORE & HILLBROOK BUMPOUTS @ WARRENSVILLE CENTER ROAD
 ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST
 8 SEPTEMBER 2021



CATEGORY	REF.	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT \$	TOTAL \$
ROADWAY	1	PAVEMENT REMOVED, AS PER PLAN	3450	SF	\$5.00	\$17,250.00
	2	WALK REMOVED	400	SF	\$5.00	\$2,000.00
	3	CURB REMOVED	410	FT	\$8.00	\$3,280.00
	4	CATCH BASIN REMOVED	8	EACH	\$250.00	\$2,000.00
	5	CURB RAMP	16	EACH	\$1,000.00	\$16,000.00
	6	4" CONCRETE WALK	2500	SF	\$10.00	\$25,000.00
ROADWAY Total						\$65,530.00
EROSION CONTROL	7	SEEDING AND MULCHING, CLASS 1	3450	SF	\$2.00	\$6,900.00
	8	EROSION CONTROL	2500	EACH	\$1.00	\$2,500.00
EROSION CONTROL Total						\$9,400.00
DRAINAGE	9	6" UNCLASSIFIED PIPE UNDERDRAINS	500	FT	\$15.00	\$7,500.00
	10	12" CONDUIT	100	FT	\$65.00	\$6,500.00
	11	CATCH BASIN	8	EACH	\$4,000.00	\$32,000.00
DRAINAGE Total						\$46,000.00
PAVEMENT	12	CURB, TYPE 6	500	FT	\$75.00	\$37,500.00
PAVEMENT Total						\$37,500.00
TRAFFIC CONTROL	13	GROUND MOUNTED SIGN, REMOVE AND RELOCATE	16	EACH	\$250.00	\$4,000.00
	14	SIGNING, MISC.: SOLAR POWERED RECTANGULAR RAPID FLASHING BEACON (RRFB) SIGN ASSEMBLY	4	EACH	\$7,000.00	\$28,000.00
	15	PAVEMENT MARKINGS	1	LS	\$10,000.00	\$10,000.00
	16	REMOVAL OF PAVEMENT MARKINGS	1	LS	\$5,000.00	\$5,000.00
TRAFFIC CONTROL Total						\$47,000.00
INCIDENTALS	17	MAINTAINING TRAFFIC	1	LS	\$20,000.00	\$20,000.00
	18	CONSTRUCTION LAYOUT STAKES AND SURVEYING	1	LS	\$2,000.00	\$2,000.00
	19	MOBILIZATION	1	LS	\$5,000.00	\$5,000.00
	20	ROADWAY, MISC.: PRE-CONSTRUCTION VIDEO	1	LS	\$500.00	\$500.00
	21	10% CONTINGENCY	1	LS	\$23,300.00	\$23,300.00
INCIDENTALS Total						\$50,800.00
Grand Total						\$256,230.00

Project Components

- Road Diet
- Crosswalk Enhancements



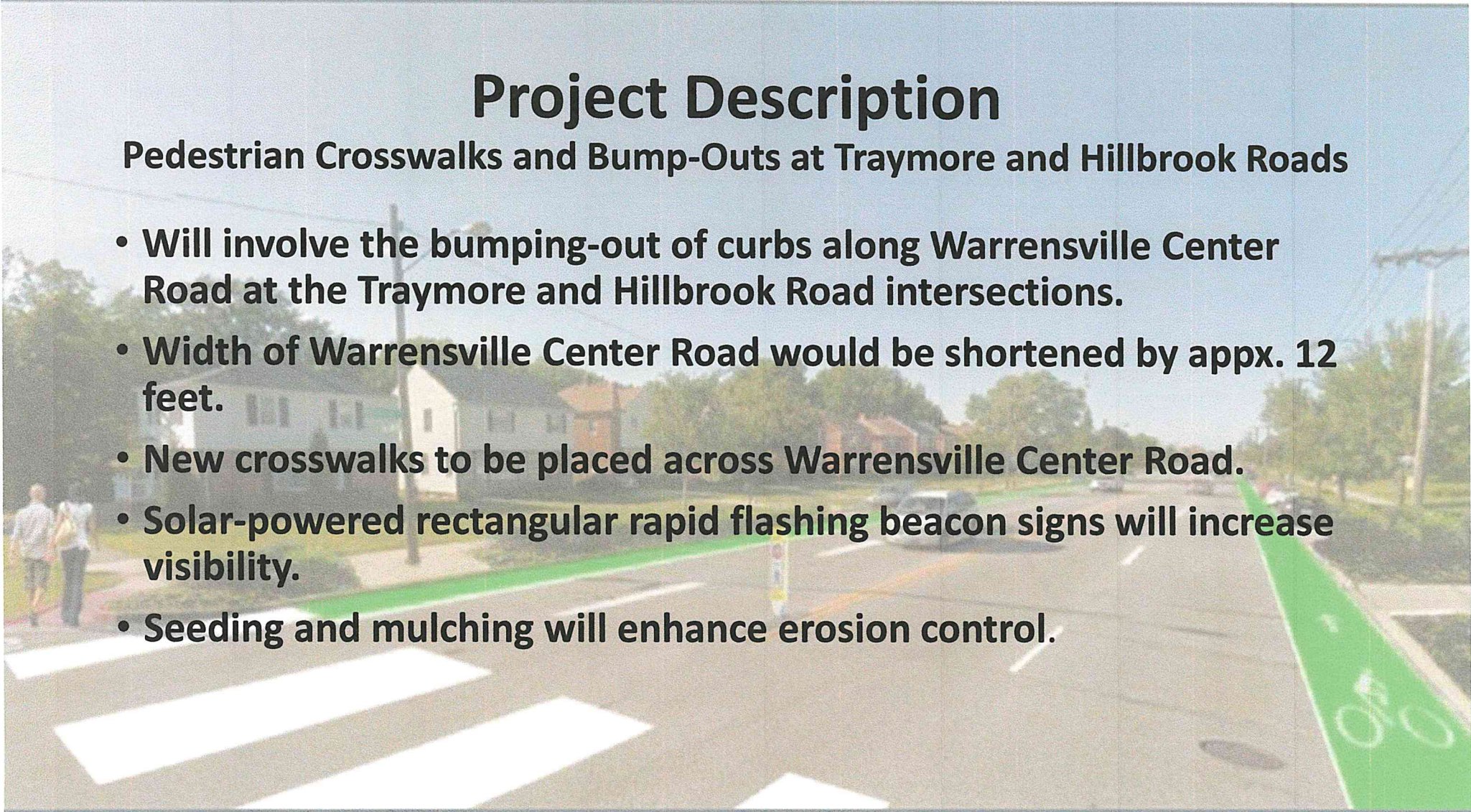
← 2240' →

Figure 13: Warrensville Center Road

Project Description

Pedestrian Crosswalks and Bump-Outs at Traymore and Hillbrook Roads

- Will involve the bumping-out of curbs along Warrensville Center Road at the Traymore and Hillbrook Road intersections.
- Width of Warrensville Center Road would be shortened by appx. 12 feet.
- New crosswalks to be placed across Warrensville Center Road.
- Solar-powered rectangular rapid flashing beacon signs will increase visibility.
- Seeding and mulching will enhance erosion control.



Project Rendering

Image from the Warrensville Center Road and Cedar Road Multimodal Transportation Plan



Project Need

Pedestrian Crosswalks and Bump-Outs at Traymore and Hillbrook Roads

- Warrensville Center Road is a major regional north-south thoroughfare; 65 feet wide, 8,000+ vehicles per day.
- Limited pedestrian crossings.
- Increases safety of pedestrians wanting to cross Warrensville Center Road by foot, bicycle, scooter, or other modes of transport.
- Better access to neighborhood institutions such as Gesu Church and School (721 total enrolled) and John Carroll University (3,017 undergrads).
- Continues transformation of Warrensville Center Road into a multimodal thoroughfare.

Traymore and Warrensville Center Road Intersection



Hillbrook and Warrensville Center Road Intersection



Regional Strategic Plan Goals and TLCI Objectives: First Objective

- The project meets the First, Third, and Sixth TLCI Objectives.
- First Objective: Develop transportation projects that provide more travel options through complete streets and context sensitive solutions, increasing user safety and supporting positive public health impacts while, also advancing NOACA's regional goals to BUILD a sustainable, multi-modal transportation system and to ENHANCE the quality of life in Northeast Ohio.

Meeting the First Objective

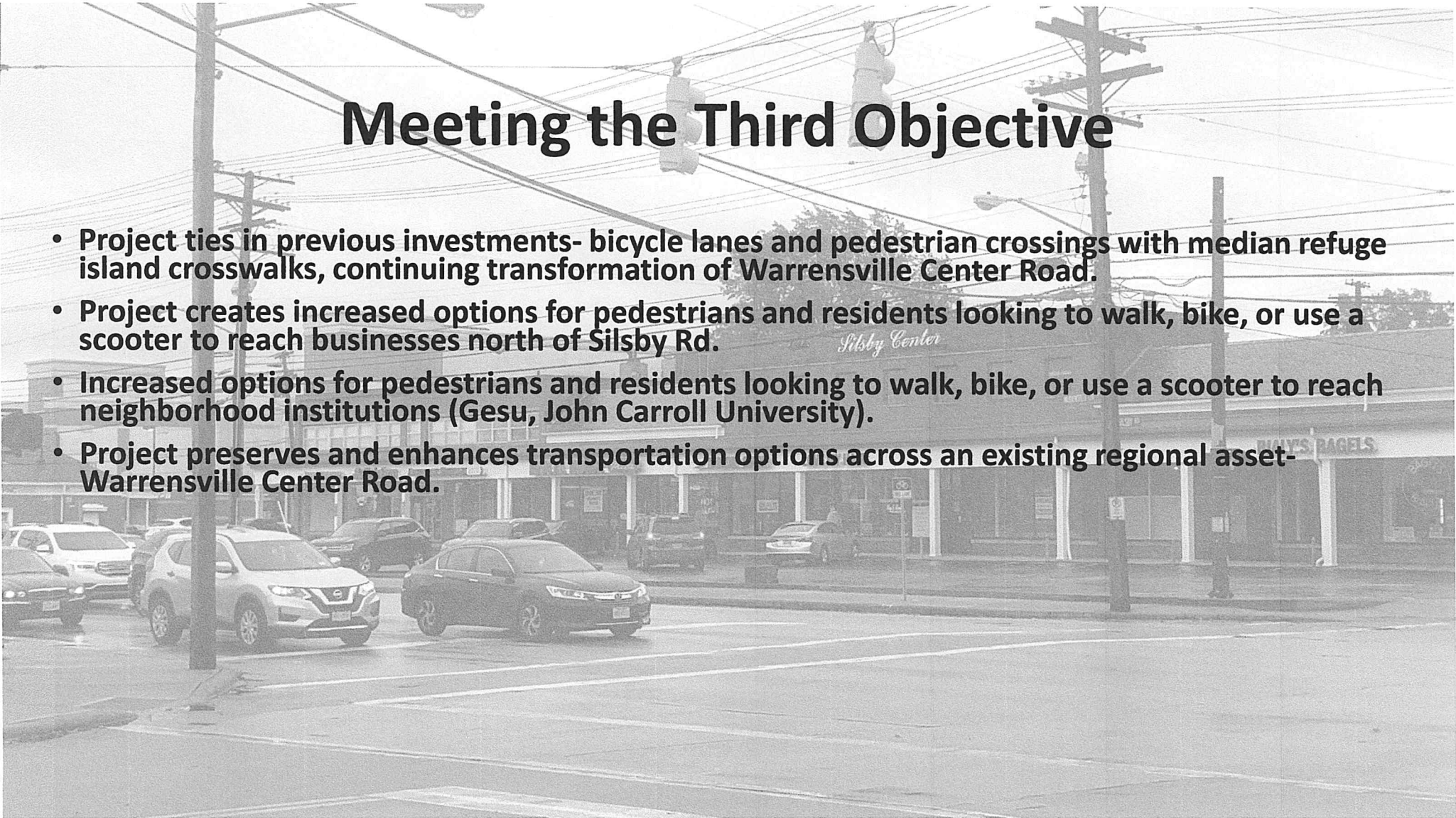
- **Project seeks to enhance the safety of pedestrians; major thoroughfare.**
- **Project creates the means for use of alternative transportation (walking, bicycle, electric scooter) leads to increase in physical activity, impacting public health.**
- **Warrensville Center Road's past form was ruled by the automobile; project enhances pedestrian usability.**
- **Along with past enhancements (bike lanes, pedestrian mid-block crossings) continues trajectory of Warrensville Center Road in truly becoming a multimodal artery.**

Regional Strategic Plan Goals and TLCI Objectives: Third Objective

- Support economic development through place-based transportation and land use recommendations, and connect these proposals with existing assets and investments and advance NOACA's regional goals to PRESERVE existing infrastructure and to SUPPORT economic development.

Meeting the Third Objective

- Project ties in previous investments- bicycle lanes and pedestrian crossings with median refuge island crosswalks, continuing transformation of Warrensville Center Road.
- Project creates increased options for pedestrians and residents looking to walk, bike, or use a scooter to reach businesses north of Silsby Rd.
- Increased options for pedestrians and residents looking to walk, bike, or use a scooter to reach neighborhood institutions (Gesu, John Carroll University).
- Project preserves and enhances transportation options across an existing regional asset- Warrensville Center Road.



Regional Strategic Plan Goals and TLCI Objectives: Sixth Objective

- Provide people with safe and reliable transportation choices that enhance their quality of life while also advancing NOACA's regional goal to ENHANCE the quality of life in Northeast Ohio.

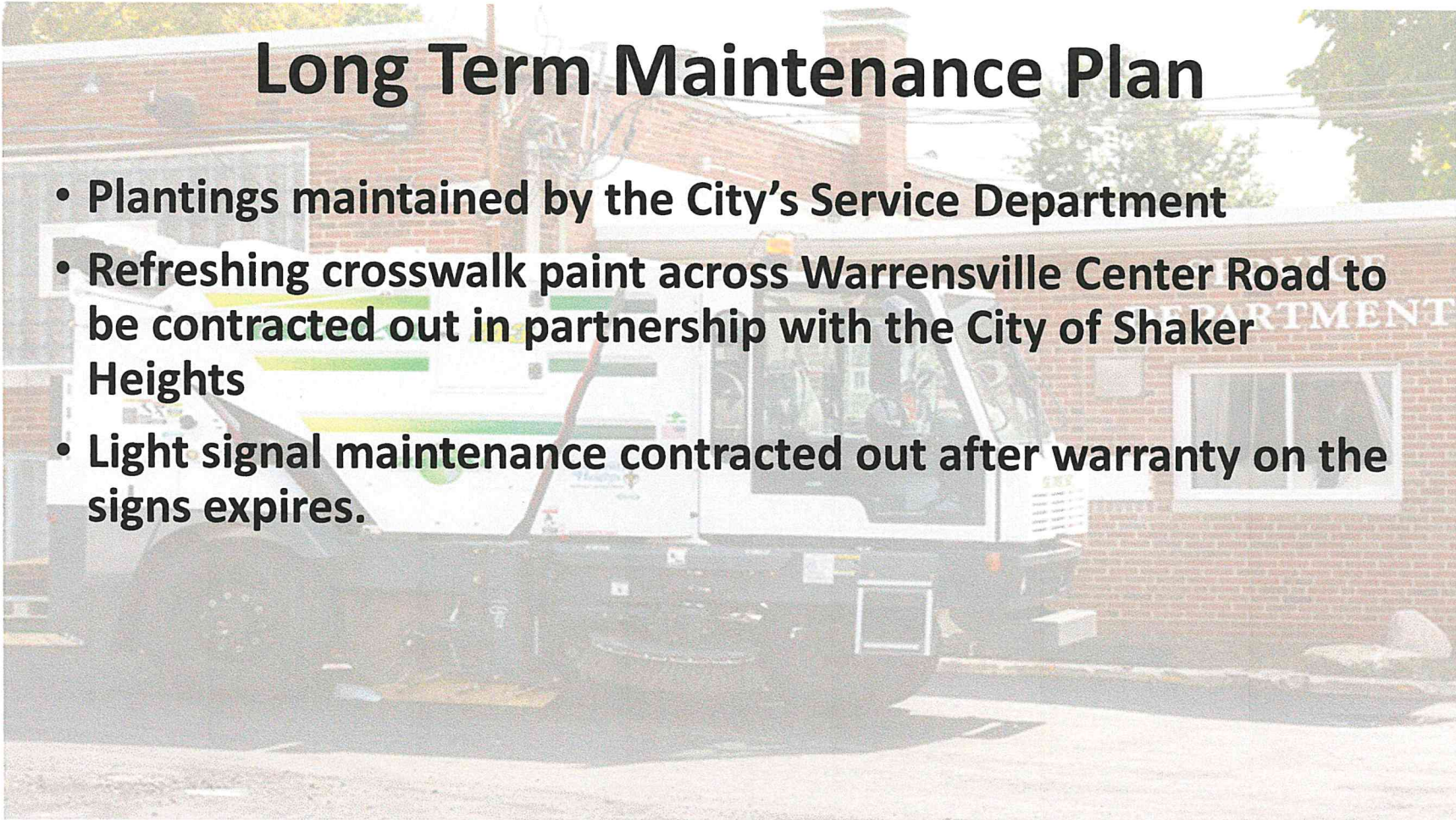


Meeting the Sixth Objective

- Gives pedestrians an additional choice in being able to safely cross major thoroughfare.
- Quality of life enhanced with transportation use options within the region (walking, bicycling, use of electric scooters, etc.) in addition to the automobile and public transit.
- Quality of life enhanced with creating the means to use alternative transportation to get to school, home, work, house of worship, nearby Walter Stinson Park, various businesses along Warrensville.

Long Term Maintenance Plan

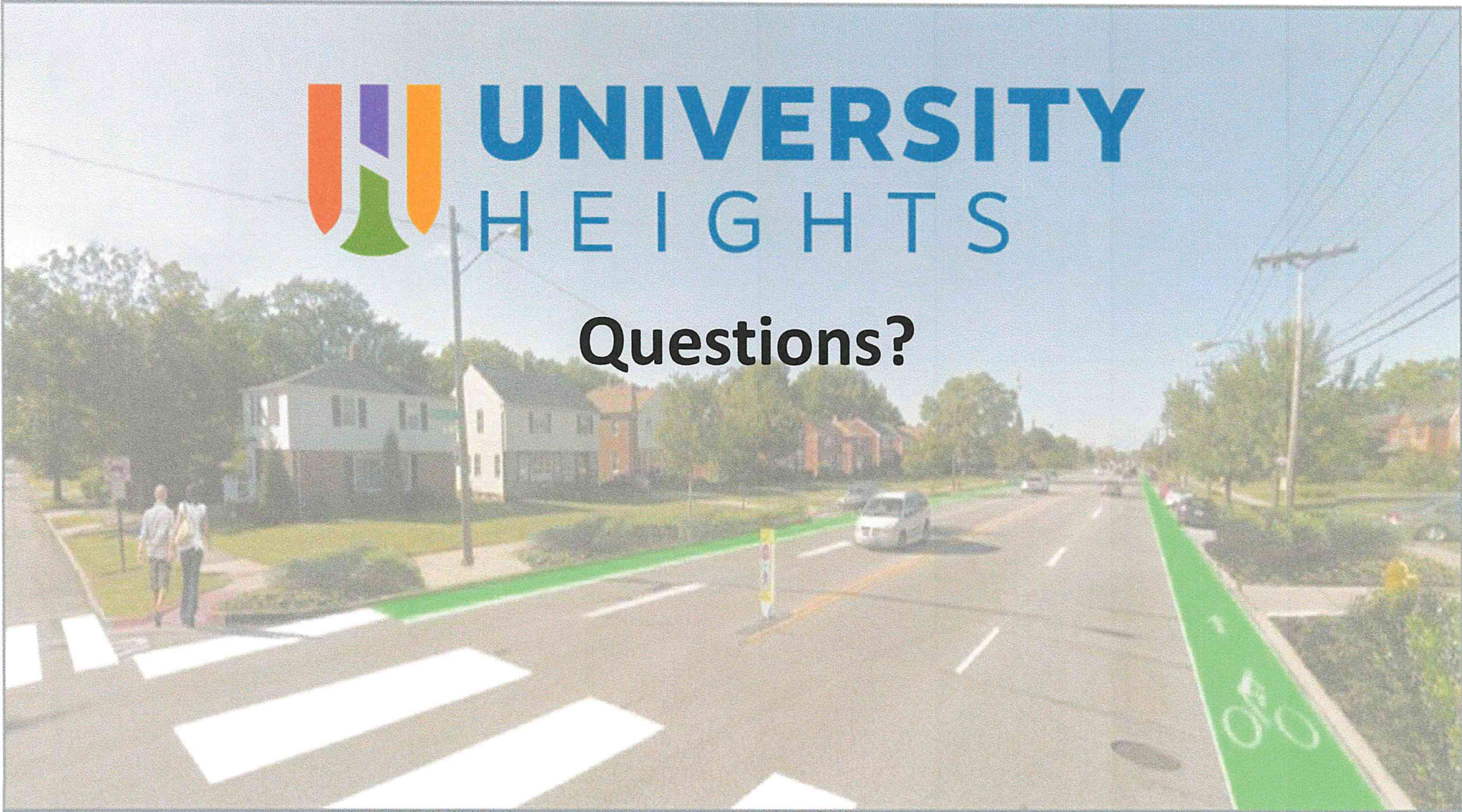
- Plantings maintained by the City's Service Department
- Refreshing crosswalk paint across Warrensville Center Road to be contracted out in partnership with the City of Shaker Heights
- Light signal maintenance contracted out after warranty on the signs expires.



The logo consists of three vertical bars in orange, purple, and orange, with a green shape below them that resembles a stylized 'U' or a mountain peak.

UNIVERSITY HEIGHTS

Questions?





Dustin Rogers
 Chief of Police
 (216) 932-1160

MEMORANDUM

City of University Heights Division of Police

2304 Warrensville Center Road
 University Heights, Ohio 44118



UNIVERSITY
 HEIGHTS

Michael D. Brennan
 Mayor/Safety Director
 (216) 932-7800

TO: Michael Dylan Brennan, Mayor and Safety Director

City Council

DR

Dennis Kennedy, Director of Finance

FROM: Dustin Rogers, Chief of Police

DATE: May 13, 2022

RE: Bureau of Justice Assistance-Small Rural Tribal Body Worn Camera Grant

 At the Safety Committee meeting on 05-02-22 in regards to the \$39,721 expense to purchase a WatchGuard Body Worn Camera (BWC) solution (recommended by Committee/ratified by Council later that evening), it was initially reported that our Bureau of Justice Assistance (BJA) grant award for this system was nominal and applicable to expenses that we didn't even apply for/actually incur.

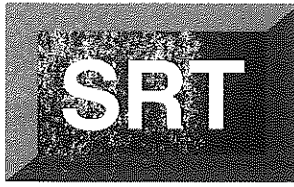
After follow up with the BJA, which has been ongoing for about a month now, we recently received an update/correction to our grant award in the following amount for related BWC equipment:

- BJA BWC Grant Award: \$16,412.50
- City BWC Match Requirement: \$16,412.50

The \$16,412.50 grant award would offset the \$39,721 expenses already authorized by council on 05-02-22, and would also fulfill the aforementioned grant city match requirement.

We are not yet in receipt of the BWC equipment, nor have we authorized payment for this equipment. In follow up with Finance Director Kennedy, the reporting requirements and establishment of a related special fund to track this grant award encumbrances would still be able to be accommodated at this time.

Subsequently, I am respectfully requesting that Council authorizes the city to receive the aforementioned grant award and fulfill grant match requirements in the amount of \$16,412.50 each.



Small Rural Tribal
BODY WORN CAMERA PROGRAM

(/sp/srtbwc_microgrant_program)

Award Budget ▾

[Close \(/sp/workflow/srtbwc_microgrant_program?path=29078188\)](#)

Budget Category ↕	Request Amount ↕	Match Amount ↕	
Personnel and Fringe Benefits	\$0.00	\$0.00	View (/sp/task_item_has_many_view/srtbwc_microgrant_program/4?path=290)
Equipment, Supplies and Other	\$16,412.50	\$16,412.50	View (/sp/task_item_has_many_view/srtbwc_microgrant_program/4?path=290)
Contracts and Consultants	\$0.00	\$0.00	View (/sp/task_item_has_many_view/srtbwc_microgrant_program/4?path=290)
Additional Project Costs	\$0.00	\$0.00	View (/sp/task_item_has_many_view/srtbwc_microgrant_program/4?path=290)



Small Rural Tribal
BODY WORN CAMERA PROGRAM

(/sp/srtbwc_microgrant_program)

Special Conditions ▾

Close (/sp/workflow/srtbwc_microgrant_program?path=29078188)

Micro-grantee Authorized Representative Approval

In partnership with the United States Department of Justice, Office of Justice Programs, and Bureau of Justice Assistance, Justice & Security Strategies, Inc. (JSS) received funding to establish and implement a body-worn camera micro-grant program for small, rural, and tribal agencies. Because your organization's funding (referred to below as a "subgrant" or "microgrant") utilizes OJP funds, DOJ requires your organization to comply with certain federal legal requirements in addition to the requirements of your Micro-grant Agreement with JSS. These additional requirements are:

Award Specific Requirements

1) Body-worn Camera ("BWC") Policy Review Required in Order to Receive Funding

Micro-grantee is required to successfully demonstrate that they have developed BWC policies that are purposeful, comprehensive, and deliberately designed and acceptable to DOJ's Office of Justice Programs (OJP) and JSS. All funding except 10% of the total award amount under this micro-grant will be held until Micro-grantee's BWC policy is approved in writing by JSS.

- (i) If Micro-grantee already developed a BWC policy, JSS must review and approve the policy, and Micro-grantee's executive officers must certify that their policy was developed in a comprehensive, deliberate, and planned manner, and is consistent with relevant state laws. Micro-grantee must also certify that the local prosecutor, or an equivalent party, has reviewed and was allowed to provide input to the policy before it was finalized; or
- (ii) If Micro-grantee has not yet developed a BWC policy, Micro-grantee must develop a BWC policy as a condition of this micro-grant. Micro-grantee must work with JSS to ensure that policy development is purposeful, comprehensive and deliberate.

2) Monthly Reporting Required

In order to be eligible for reimbursement under this micro-grant, Micro-grantee will be required to submit monthly reports, as well as a final report after the project end date, through the online micro-grant portal no later than dates to be specified by JSS. These reports will require submission of both financial and programmatic information. Micro-grantee must collect and maintain data concerning the work performed under this micro-grant in a manner specified by JSS. The financial and programmatic data elements, outputs and outcomes will be outlined by JSS in the online microgrant portal for this program.

3) Budget and spending restrictions

In addition to all restrictions in funding previously communicated to Micro-grantee, specified in the solicitation or budget submission form for this micro-grant, outlined in the special conditions below, or specified in applicable federal law and regulations, Micro-grantee may not use funds from this micro-grant to pay for:

- (i) Data storage costs.

- (ii) Costs associated conferences, including but not limited to costs for hosting, developing, sponsoring, or attending conferences. Important note: Conferences are defined by DOJ to mean "a meeting, retreat, seminar, symposium, workshop or event whose primary purpose is the dissemination of technical information beyond the non-Federal entity."
- (iii) Costs associated with a website, including software development, updating, programming, design, or otherwise any website-related expense.
- (iv) Any consultant rate in excess of \$650 per day unless approved in writing by JSS prior to expenditure.

4) Audit and Monitoring

a) Should Micro-grantee's audit, if applicable, under Part 2 CFR 200 or related regulations contain findings related to this micro-grant, Micro-grantee understands all payments under this micro-grant may stop until those findings are resolved in a manner approved by JSS.

b) Micro-grantee agrees to comply with all micro-grant monitoring guidelines, protocols, and procedures, and to cooperate with JSS and BJA (including its Office of the CFO) on all grant and program monitoring requests, including:

- (i) requests related to desk reviews, enhanced programmatic desk reviews, and/or site visits.
- (ii) providing all documentation requested or otherwise necessary to complete monitoring tasks, by the deadlines set by JSS or BJA.

Failure to cooperate with BJA's or JSS's grant monitoring activities may result in sanctions affecting Micro-grantee's DOJ awards, including, but not limited to: withholdings and/or other restrictions on access to this or other grant funds; termination of this or other grant awards, referral to the Office of the Inspector General for audit review; designation of Micro-grantee as a DOJ High Risk grantee.

5) Close-out

Micro-grantee will comply with all close-out procedures provided by JSS and submit its final report no later than the date specified by JSS during close-out.

General Specific Conditions

1) Federal rules that apply to this micro-grant

Micro-grantee is required to comply with the federal rules governing the financial management of federal grants like this micro-grant. These rules are called the Uniform Guidance and can be found at 2 CFR 200. The Uniform Guidance contains requirements about how an organization may spend federal funds, the tracking of receipt and spending of federal funds, and other financial requirements.

For additional details about these requirements, see the OJP website at <https://ojp.gov/funding/Part200UniformRequirements.htm> (<https://ojp.gov/funding/Part200UniformRequirements.htm>).

If you have a question or believe there is a conflict between any documents JSS provides you and the Uniform Guidance, contact JSS immediately for clarification.

2) Record retention and access

All Micro-grantee records of any kind that relate to this micro-grant must be kept by your organization for **3 years from the date you submit your final report** at the end of the micro-grant. Micro-grantee records that relate to this micro-grant means any document, record, or data or any kind whatsoever concerning this micro-grant. This includes but is not limited to: agreements, contracts, purchase orders, receipts, reports, financial documents, computer data, personnel files, and any other paper or document related to this micro-grant in any way.

Also, your organization must provide access to these records to JSS, OJP and other federal inspectors and agencies. For more details about this requirement, please see 2 C.F.R. 200.333. The records you must provide access to include performance measurement information about this micro-grant.

3) Requirement to report potentially duplicative funding

If Micro-grantee currently has other active federal grants, or if Micro-grantee receives any other award of federal funds during the period of performance for this micro-grant, Micro-grantee promptly must determine whether funds from any of those other federal awards have been, are being, or are to be used (in whole or in part) for one or more of the identical cost items for which funds are provided under this award. If so, Micro-grantee must promptly notify the DOJ awarding agency (OJP or OVW, as appropriate) and JSS in writing of the potential duplication, and, if so requested by the DOJ awarding agency or JSS, must seek a budget-modification or change-of-project-scope grant adjustment notice to eliminate any inappropriate duplication of funding.

4) Micro-grants

Micro-grantee is not permitted to award micro-grants—also referred to as subawards—with the funds from this micro-grant unless you have written approval from JSS in advance of issuing the subaward.

5) Compliance with DOJ Regulations pertaining to civil rights and nondiscrimination

Micro-grantee must uphold all requirements for an equal employment opportunity organization. This means it must comply with all applicable requirements of 28 CFR Part 42, relating to civil rights and nondiscrimination and includes the requirements for equal employment opportunity programs provided in 28 CFR 42 Subpart E if Micro-grantee is required to have such a program.

6) Civil Rights: Nondiscrimination on basis of religion

Micro-grantee must comply with all applicable requirements of 28 CFR 38 regarding nondiscrimination on the basis of religion or religious beliefs.

7) Prohibition on using micro-grant funds for lobbying or influencing government officials

Micro-grantee may not use any of the funds from this micro-grant for lobbying, whether directly or indirectly. Lobbying means supporting or opposing the enactment, repeal, modification or adoption of any law, regulation or policy at any level of government. See 18 USC 1913 for additional details.

Also, Micro-grantee may not use any of the funds from this micro-grant to pay any person to influence or attempt to influence any federal agency, member of Congress or any of their employees concerning a federal grant, contract, or any other federal award. There are exceptions, including an exception for tribal organizations. See 31 USC 1352 for details.

Contact JSS immediately if you have any questions about this section or whether a specific situation falls within these rules.

8) Duty to report fraud, waste, abuse, and misconduct

Micro-grantee **must promptly report** to the DOJ Office of the Inspector General (OIG) any credible evidence that any person (whether they work for your organization or not) has (1) submitted a claim that violates the False Claims Act; or (2) committed a criminal or civil violation of laws of fraud, conflict of interest, bribery, gratuity, or similar misconduct, in connection with funds under this award.

You can report potential fraud, waste, abuse, or misconduct involving or relating to these micro-grant funds by: (1) online submission accessible via the OIG webpage at <https://oig.justice.gov/hotline/contact-grants.htm> (<https://oig.justice.gov/hotline/contact-grants.htm>) (select "Submit Report Online"); (2) mail directed to: U.S. Department of Justice, Office of the Inspector General, Investigations Division, ATTN: Micro-grantee Reporting, 950 Pennsylvania Ave., NW, Washington, DC 20530; and/or (3) by facsimile directed to the DOJ OIG Investigations Division (Attn: Micro-grantee Reporting) at (202) 616-9881 (fax). Additional information is available from the DOJ OIG website at <https://oig.justice.gov/hotline> (<https://oig.justice.gov/hotline>).

9) No restriction on reporting fraud, waste or abuse permitted

Micro-grantee may not require any employee or contractor to sign a confidentiality agreement that restricts or bans reporting of waste, fraud or abuse to a federal agency. This does not apply to the federal Standard Forms 312 or 4414 regarding not disclosing

certain classified or sensitive information.

If JSS learns that Micro-grantee is requiring agreements or statements from its employees or contractors that restrict or prohibit reporting of fraud, waste, abuse or misconduct, JSS is required by law to stop all payments under this micro-grant to Micro-grantee.

10) No retaliation for reporting gross mismanagement of federal funds

Micro-grantee may not retaliate against an employee for the employee's disclosure of information related to gross mismanagement of a federal grant, a gross waste of federal funds, an abuse of authority relating to a federal grant, a substantial and specific danger to public health or safety, or a violation of law, rule, or regulation related to a federal grant. This requires that Micro-grantee comply with applicable provisions of 41 USC 4712.

11) Copyright and data rights

Micro-grantee acknowledges that OJP has a royalty-free, non-exclusive, and irrevocable license to reproduce, publish, or otherwise use for Federal purposes: (1) any copyrighted work developed under this micro-grant; and (2) any rights of copyright to which Micro-grantee purchased with micro-grant funds.

Micro-grantee acknowledges that OJP has the right to (1) obtain, reproduce, publish, or otherwise use the data first produced under this micro-grant; and (2) authorize others to receive, reproduce, publish, or otherwise use this data for Federal purposes.

If Micro-grantee refuses to accept terms affording the Government such rights, JSS is required to report this to OJP and not proceed with an agreement with Micro-grantee.

The information, certifications and representations above have been read, signed and made by an authorized official of the Micro-grantee named herein. The appropriate programmatic and administrative personnel involved in this application are aware of sponsor policy in regard to micro-grants and are prepared to establish the necessary inter-institutional agreements consistent with those policies. Any work begun and/or expenses incurred prior to execution of a Micro-grant agreement are at the Micro-grantee's own risk. Micro-grantee also certifies to the best of Micro-grantee institution's knowledge, that (1) financial disclosures have been made related to the activities for all investigators who may be funded by or through a resulting agreement; and, (2) all identified conflicts of interest have or will be satisfactorily managed, reduced or eliminated in accordance with Micro-grantee's conflict of interest policy prior to the expenditure of any funds under a resulting agreement.

Accept

Signature of Micro-grantee's Authorized Official

Printed Name

Dustin Rogers

Title

Chief of Police

Date

01/05/2022

The fields below are for internal use only.

SC 3a

SC 4a

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